

**Per City Council's direction Staff has complied the historical records related to the Town Square (Center) Concept. Attached are:**

- Applicable sections of the Sanibel Plan
- Summary and Minutes of City Council Actions and Discussion with relative minute page (2001 to Present)
- Planning Department Records and Maps (1996 to Present)

**FOLLOWING IS A COMPULATION OF ACTION AND  
DISCUSSION REGARDING A TOWN SQUARE (CENTER)  
BY SANIBEL CITY COUNCIL SINCE 2001**

**TOWN SQUARE (CENTER) TIMELINE  
CITY COUNCIL TIMELINE  
2001 - PRESENT**

**June 19, 2001** – City Council Regular Meeting (Minutes and portion of CIP Attached)  
Planning Commission Report mention of Town center consideration

**July 03, 2001** – City Council Regular Meeting (Minutes Attached)  
Discussion of Planning Department staffing level needed to maintain application review and study other issues

**August 06, 2002** – City Council Regular Meeting (Minutes and Resolution 02-78 Attached)  
RESOLUTION 02-78 APPROVING THE DRAFT PARKS AND RECREATION SYSTEM MASTER PLAN; AND PROVIDING AN EFFECTIVE DATE

**September 04, 2001** – City Council Regular Meeting (Planning Department Pipeline Report Attached)  
Discussion regarding the re-development policy.  
Report regarding all Planning Department projects and permitting numbers.  
Approval of Planning Department priorities

**September 21, 2004** – City Council Regular Meeting (Minutes and Resolution Attached)  
RESOLUTION 04-074 A RESOLUTION DIRECTING THE PLANNING STAFF TO DEVELOP PROPOSED LAND USE REGULATIONS TO BE SUBMITTED TO THE PLANNING COMMISSION AND CITY COUNCIL IN ORDER TO ADDRESS THE LAND USE ISSUES RELATED TO THE COMBINATION OF SMALLER COMMERCIAL UNITS INTO LARGE COMMERCIAL UNITS, AND LAND USE ISSUES RELATED TO CERTAIN NON-RESIDENT ORIENTED RETAIL USES, WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY OF SANIBEL; DIRECTING THAT THE PLANNING COMMISSION PROVIDE RECOMMENDATIONS WITH REGARD TO ANY SUCH LAND USE AND DEVELOPMENT REGULATIONS PROPOSED OR DEVELOPED BY THE CITY PLANNING STAFF; DECLARING THAT THE DEVELOPMENT OF SUCH

REGULATIONS CONSTITUTES “ZONING IN PROGRESS” AND PROHIBITING THE COMBINING OF SMALL COMMERCIAL UNITS INTO LARGER COMMERCIAL UNITS, AND THE NEW ESTABLISHMENT OF CERTAIN NON-RESIDENT ORIENTED RETAIL USES WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY, UNTIL SUCH LAND USE REGULATIONS CAN BE DEVELOPED BY CITY STAFF, CONSIDERED BY THE PLANNING COMMISSION AND CONSIDERED BY THE CITY COUNCIL; AND PROVIDING AN EFFECTIVE DATE

**November 01, 2005** – Nave Property (Minutes Attached)

Status report on letter from the Nave’s dealing with granting an extension

City Attorney advised the Nave’s sent a letter declining to grant the extension.

Motion carried to direct Mr. Cuyler to ascertain what an appraisal would cost and if the cost was no more than \$5,000 then begin the appraisal process.

**November 17, 2005** – City Council Workshop (Minutes Attached)

Nave Property Follow-Up

**December 06, 2005** – City Council Meeting (Minutes and Adopted Resolution Attached)

RESOLUTION 05-171 DIRECTING THE PLANNING STAFF TO CONTINUE TO DEVELOP PROPOSED LAND USE REGULATIONS TO BE SUBMITTED TO THE PLANNING COMMISSION AND CITY COUNCIL IN ORDER TO ADDRESS THE LAND USE ISSUES RELATED TO THE COMBINATION OF SMALLER COMMERCIAL UNITS INTO LARGE COMMERCIAL UNITS, AND LAND USE ISSUES RELATED TO CERTAIN NON-RESIDENT ORIENTED RETAIL USES, WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY OF SANIBEL; DIRECTING THAT THE PLANNING COMMISSION PROVIDE RECOMMENDATIONS WITH REGARD TO ANY SUCH LAND USE AND DEVELOPMENT REGULATIONS PROPOSED OR DEVELOPED BY THE CITY PLANNING STAFF; DECLARING AND REAFFIRMING THAT THE DEVELOPMENT OF SUCH REGULATIONS CONSTITUTES “ZONING IN PROGRESS” AND REQUIRING COMPLIANCE WITH INTERIM ARCHITECTURAL STANDARDS AND PROHIBITING THE COMBINING OF SMALL COMMERCIAL UNITS INTO LARGER COMMERCIAL UNITS, AND THE NEW ESTABLISHMENT OF

CERTAIN NON-RESIDENT-SERVING RETAIL USES WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY AND THE NEW ESTABLISHMENT OF FORMULA RETAIL USES, UNTIL SUCH LAND USE REGULATIONS CAN BE DEVELOPED BY CITY STAFF, CONSIDERED BY THE PLANNING COMMISSION AND CONSIDERED BY THE CITY COUNCIL; AND PROVIDING AN EFFECTIVE DATE

**December 14, 2005** – City Council/Planning Commission Workshop (Minutes Attached)  
Redevelopment Study  
Preparation and Review of a Draft Sanibel Plan Implementation Program  
Guidelines for a possible town center

**January 31, 2006** – City Council/Planning Commission Workshop (Partial Report)

**March 09, 2006** - Joint Council/Planning Commission Workshop (Partial Report Attached)  
Preliminary Redevelopment Planning Work Program

**November 21, 2006** – City Council Regular Meeting (Minutes Attached)  
New Business – Draft RFP to secure professional services for Periwinkle Way West – Town Center District

**December 19, 2006** – City Council Regular Meeting (Minutes and Ordinance Attached)  
First Reading and First Public Hearing  
ORDINANCE 06-022 AMENDING THE SANIBEL CODE, PART II, SUBPART B LAND DEVELOPMENT CODE: BY AMENDING CHAPTER 126 ZONING, ARTICLE VIII COMMERCIAL DISTRICTS, TO AMEND DIVISION 1 GENERALLY, TO ADD A NEW SECTION 126-470 PURPOSE OF COMMERCIAL ZONING DISTRICTS; AND TO AMEND DIVISION 2 GC GENERAL COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-490 PURPOSE OF THE DISTRICT; AND TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-491; AND TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-492; AND TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-494; AND TO AMEND DIVISION 3 TCG TOWN CENTER GENERAL COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-510 PURPOSE OF THE DISTRICT; AND TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-511; AND TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-512, AND TO AMEND THE REQUIRED

CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-514; AND TO AMEND DIVISION 4 TCL TOWN CENTER LIMITED COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-530 PURPOSE OF THE DISTRICT; AND TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-531; AND TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-532; AND TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-534; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY, TO ADD A NEW SECTION 126-1024 MAXIMUM PERCENTAGE OF COMMERCIAL FLOOR AREA (BALANCE AND MIX OF BUSINESSES) OCCUPIED BY FORMULA RETAIL STORES; AND TO ADD A NEW SECTION 126-1025 MAXIMUM SIZE FOR A COMMERCIAL BUILDING; AND TO ADD A NEW SECTION 126-1026 MAXIMUM SIZE FOR A RETAIL COMMERCIAL UNIT; AND TO ADD A NEW SECTION 126-1027 MAXIMUM STREET FRONTAGE FOR A COMMERCIAL UNIT; AND TO ADD A NEW SECTION 126-1028 ARCHITECTURAL STANDARDS TO ESTABLISH ARCHITECTURAL STANDARDS FOR COMMERCIAL BUILDINGS AND STRUCTURES; AND TO ADD A NEW SECTION 126-1029 SITE PLANNING STANDARDS TO ESTABLISH SITE PLANNING STANDARDS FOR COMMERCIAL LAND USES; AND TO ADD A NEW SECTION 126-1030 STANDARDS FOR COMPATIBILITY WITH RESIDENTIAL AREAS, WILDLIFE HABITAT AND CONSERVATION LANDS, BY AMENDING CHAPTER 126 ZONING, ARTICLE XV OFF-STREET PARKING AND LOADING, DIVISION 2 OFF-STREET PARKING, SUBDIVISION III NONRESIDENTIAL USES, SECTION 126-1361 REQUIRED PARKING SPACES, TO EXEMPT THE DIVISION AND REESTABLISHMENT OF COMMERCIAL UNITS THAT HAD PREVIOUSLY BEEN COMBINED FROM COMPLYING WITH THE REQUIREMENTS OF THIS SECTION; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE IV CONDITIONAL USES, TO ADD A NEW SECTION 126-102 FORMULA RETAIL STORES THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR FORMULA RETAIL STORES; AND TO ADD A

NEW SECTION 126-103 COMMERCIAL BUILDINGS LARGER THAN 6,000 SQUARE FEET OF COMMERCIAL FLOOR AREA THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR COMMERCIAL BUILDINGS LARGER THAN 6,000 SQUARE FEET; AND TO ADD A NEW SECTION 126-104 VARIETY OR DEPARTMENT STORES AND COMMERCIAL RETAIL STORES WITH MORE THAN 2,000 SQUARE FEET OF COMMERCIAL FLOOR AREA THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR THIS USE; AND TO ADD A NEW SECTION 126-105 COMMERCIAL UNITS WITH STREET FRONTAGE EXCEEDING 50 LINEAR FEET THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR COMMERCIAL UNITS EXCEEDING 50 LINEAR FEET; AND BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-1 RULES OF CONSTRUCTION AND DEFINITIONS, TO ADD A DEFINITION FOR DELICATESSEN STORE, DRUG STORE AND PHARMACY, FOOD MARKET, FORMULA RETAIL STORE, GROCERY STORE; AND BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-9 ACTIVITIES CONSTITUTING DEVELOPMENT, TO AMEND THE DESCRIPTION OF ACTIVITIES THAT INVOLVE DEVELOPMENT TO INCLUDE THE DECREASE IN THE NUMBER OF DWELLING UNITS OR COMMERCIAL UNITS IN A STRUCTURE AND THE ESTABLISHMENT OF A NEW FORMULA RETAIL STORE, EVEN IF THE PRIOR USE WAS A FORMULA RETAIL STORE, REGARDLESS OF WHETHER THE PRIOR FORMULA RETAIL STORE HAD OBTAINED CONDITIONAL USE APPROVAL FOR THAT USE; AND BY AMENDING CHAPTER 82 ADMINISTRATION, ARTICLE IV DEVELOPMENT PERMITS, DIVISION 2 PROCEDURE, SUBDIVISION II SHORT FORM, SECTION 82-401 APPLICATION, TO MAKE SHORT FORM APPLICATIONS AVAILABLE FOR COMMERCIAL BUILDINGS NOT EXCEEDING 2,000 SQUARE FEET OR FLOOR AREA AND ADDITIONS, NOT EXCEEDING 2,000 SQUARE FEET OF FLOOR AREA, TO COMMERCIAL BUILDINGS; AND PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT AND SEVERANCE; AND PROVIDING AN EFFECTIVE DATE

Second Reading and Second Public Hearing scheduled for **January 16, 2007**

Revised RFP – Periwinkle Way, Palm Ridge and Tarpon Bay Road Commercial District Plan (Minutes Attached)

**January 16, 2007** – City Council Regular Meeting (Minutes Attached)

Second Reading and Second Public Hearing of Ordinance 06-022

Second Reading and Second Public Hearing continued until **February 20, 2007**.

**February 6, 2007** – City Council Regular Meeting (Minutes Attached)

Update of RFP for Commercial District Plan (Periwinkle Way District) with February 22, 2007 deadline. (Attached)

**February 20, 2007** Regular City Council Meeting (Minutes and Ordinance Attached)

**CONTINUATION OF SECOND READING AND SECOND PUBLIC HEARING OF ORDINANCE 06-022**

Adopted with amendments

**April 03, 2007** – City Council Regular Meeting (Minutes Attached)

Planning Commission Report – Distributed a report for the RFP for the Periwinkle Way Commercial District Plan

**May 01, 2007** – City Council Meeting (Minutes and Status Report Attached)

Distribution of status report of Neighborhood Commercial regulations to enable mixed commercial/residential use for discussion May 15, 2007

**May 09, 2007** – Joint City Council/Planning Commission Workshop (Minutes Attached)

Discussion regarding Town Center Plan and timeline

**May 15, 2007** – City Council Regular Meeting (Minutes Attached)

Approved negotiation of contract with Wallace Roberts & Todd, LLC to perform specific planning, design and zoning services associated with the preparation of Periwinkle Way, Palm Ridge Road, Tarpon Bay and Dunlop Road District Plan as recommended by the Sanibel Plan

**May 16, 2007** – City Council Goals Workshop (Minutes Attached)

Continue Redevelopment efforts plan for the commercial district of Dunlop Road to Tarpon Bay Road Palm Ridge Road and Periwinkle Way

**June 05, 2007** – City Council Regular Meeting (Minutes and Contract Attached)

Approved contract with Wallace Roberts and Todd to perform specific planning, design and zoning services for the Periwinkle Way, Palm Ridge Road, Tarpon Bay and Dunlop Road district

**June 19, 2007** – City Council Regular Meeting (Minutes and Contract Attached)

Approved an amendment to the agreement with Farnam & Associates, Inc. for Professional Services to support community involvement associated with the Periwinkle Way West District Planning Program

**July 17, 2007- City Council Regular Meeting** (Minutes Attached)

Work session with Wallace Roberts and Todd regarding Periwinkle Way West District Plan

**August 21, 2007 – City Council Regular Meeting** (Minutes Attached)

Under Planning Commission Report it was reported the Periwinkle Way West consultants would attend the September Planning Commission meeting

**September 18, 2007 – City Council Regular Meeting** (Minutes Attached)

**Consideration of a schedule and milestones for the Periwinkle West District Plan**

Motion carried to hold joint workshops with the Planning Commission on October 16 and November 06, 2007

**October 02, 2007 – City Council Regular Meeting** (Minutes Attached)

Land Development Subcommittee discussion for outdoor dining as it relates to take-out restaurants, Periwinkle Way West District Plan

**October 16, 2007 – Joint City Council/Planning Commission Workshop** (Minutes Attached)

Presentation of Draft Preliminary Phase I existing conditions, constraints, and opportunities report for the Periwinkle Way West District Plan by Wallace Roberts and Todd, LLC

**November 6, 2007 – City Council Regular Meeting** (Minutes & Report Attached)

2007 Land Development Code Review Subcommittee Annual Report, which include Periwinkle Way West District Plan.

**November 20, 2007 – City Council Regular Meeting** (Minutes Attached)

Council Comment - Vice Mayor Johnston asked that Council direct the City Attorney to evaluate on a future agenda the specific direction to the Periwinkle Way West District Plan consultants

Planning Commission Report Mr. Duffy, Planning Director asked City Council to considered 3 items from the Sanibel code subcommittee, which included the Periwinkle Way West District Plan

**December 04, 2007 – City Council Regular Meeting** (Minutes Attached)

Under Public Comment - Claudia Burns spoke to the plan for the Periwinkle Way West District Plan by including the Nave property and transferring residential density from other properties.

**December 18, 2007 Joint City Council/Planning Commission Workshop** (Minutes Attached)

**Toward a Vision for the Periwinkle Way West District:  
Project Introduction, Background and Overview of Report and Presentation**

**Presentation of Alternative Vision Plans and Strategies  
Summary of Commercial District Market Analysis**

Next joint City Council/Planning Commission meeting January 15, 2008.

**January 15, 2008 – City Council/Planning Commission Workshop (Minutes Attached)  
Continuation of Review of Phase II Report: Toward a Vision for the Periwinkle Way  
West District**

**Discussion by City Council and Planning Commission**

**Next Steps**

Discussion ensued regarding increasing density for the Town Center (Knave property)

**February 05, 2008 – City Council Regular Meeting (Minutes Attached)**

Planning Commission Report it was noted there was discussion regarding Periwinkle Way West Plan

Motion carried that the Sanibel Plan commits to a Town Center and the hierarchy of needs is to preserve natural systems and spaces in commercial areas are scarce and Council expresses in principle the willingness to work with the seller and buyers of the Knave property to look at the possibility of paths, pocket parks, and conservation areas that would connect with cultural institutions and businesses within existing density

The motion carried (4 to 1) choosing Alternative 2.

**February 19, 2008 – City Council Regular Meeting (Minutes Attached)**

Council Comments discussion ensued regarding further discussion of a Town Center at a future meeting, confusion among residents, focus on whole Periwinkle Way West Town Center and invite Planning Commission, Planning Commission hold a similar workshop, not enough input from consultant for \$150,000 and important to get info to public

**March 04, 2008 – City Council Regular Meeting (Minutes Attached)**

Consent Agenda item q. Approval of Phase 3 of the Wallace Roberts & Todd, LLC (WRT) agreement

**March 18, 2008 – City Council Regular Meeting (Minutes and Partial Report Attached)  
Preliminary Redevelopment Planning Work Program, Schedule and Reports for FY  
2007-2008 and FY 2008-2009**

It was noted that the final report had 4 primary focuses; one of which was the commercial district/town center.

**April 15, 2008 – City Council Regular Meeting (Minutes Attached)**

**Report regarding council's position and profile of Town Center District**

Ms. Zimomra stated that Council comments would be incorporated and come back to Council

**May 6, 2008 – City Council Regular Meeting (Minutes Attached)**

## **Report regarding Council's position on Town Center District re-development principle and Policy Report**

**Goals Workshop** (Minutes Attached)

### **Continuing Re-Development Efforts**

Plan for Commercial District of Dunlop Rd to Palm Ridge and Tarpon Bay by developing a vision for Central Commercial District

**July 15, 2008** – **City Council Regular Meeting** (Minutes and Adopted Resolution Attached)  
RESOLUTION 08-080 OF THE SANIBEL CITY  
COUNCIL ADOPTING ARCHITECTURAL AND SITE  
PLANNING DESIGN STANDARDS AND GUIDELINES  
FOR THE TOWN CENTER GENERAL (TCG) AND THE  
TOWN CENTER LIMITED (TCL) COMMERCIAL  
ZONING DISTRICTS; AND PROVIDING AN  
EFFECTIVE DATE

**April 21, 2009** **Goals Workshop** (Minutes Attached)

Discussion included re-thinking Town Center

**May 05, 2009** – **City Council Regular Meeting** (Minutes Attached)

Council Members' Report discussion regarding previous town center discussion and was not allowed because there was no increase density, but the town center was not economically viable.

**July 21, 2009** – **City Council Regular Meeting** (Minutes Attached)

Discussion regarding DRAFT goals from the April 21, 2009 Council Meeting

Town Center moved into a direction that was not part of the original strategy, Council should give direction to the Planning Commission. Families and B.I.G. Arts established an idea for the property and asked community any guidance should come from Council.

**October 20, 2009** – **City Council Regular Meeting** (Minutes Attached)

Council Comments - Councilman Pappas spoke to an article in the Island Sun regarding the Town Center and he asked that the subject not be revisited and have resort-housing be taken up next. He stated that there would be more impact.

**March 16, 2010** – **City Council Regular Meeting** (Minutes and Report Attached)

Annual report of the Planning Commission Land Development Code Sub-committee  
Periwinkle Way, Guidelines for Town Center General

**September 20, 2011** – **City Council Meeting** (Minutes Attached)

Council Comments regarding having an agenda item for a future City Council meeting discussion

**October 04, 2011** - **City Council Meeting** (Minutes Attached)

Discussion of area plan Donax Road to Palm Ridge Road including Periwinkle Way  
Review and approval of City Council FY 2011/12 goals  
Planning Department Current Work Plan

**November 01, 2011** – **City Council Meeting** (Minutes Attached)

Follow-up discussion regarding the area plan for Dunlop Road to Palm Ridge Road including Periwinkle Way  
Define the Area  
Map/List of Land Ownership  
As a City Council, “What is Our Vision of a Town Square?”  
Next Steps

**November 21, 2011** Island Reporter article

**APPLICABLE SECTIONS  
OF THE SANIBEL PLAN  
(SEE HIGHLIGHTS)**

# SANIBEL PLAN

the Comprehensive Land Use Plan  
of the  
City of Sanibel, Florida



Initially Adopted  
July 19, 1976 - Ordinance no. 76-21

Extensively Revised  
November 27, 1985 - Ordinance no. GA-85-04

Extensively Revised  
February 8, 1989 - Ordinance no. 89-04

Extensively Revised  
August 15, 1997 - Ordinance no. 97-16

Extensively Revised  
September 18, 2007 - Ordinance no. 07-005

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Recipient of the



American Planning Association  
2007 National Planning Landmark Award

### Objective 3

Implement the *Surface Water Management Plan* for the Freshwater Management Area of the Sanibel River.

**Policy 3.1.** Implement the surface water management program and wetlands enhancement features recommended in this Plan.

**Policy 3.2.** The Tarpon Bay and Beach Roads weirs will be maintained so that the elevation of the weir crest of the Beach Road weir and the Tarpon Bay weir is consistent with the SWMP.

**Policy 3.3.** Stormwater drainage facility and system improvements warranted by this study are to be included in the City's Capital Improvements Program.

### Section 3.3.7.

### Recreation and Open Space Element

*Pursuant to Section 163.3177(3), Florida Statutes and Chapter 9J-5.014(3) of the Florida Administrative Code.*

#### Background Discussion

The purpose of the recreation and open space element, as stated in the Florida Administrative Code, is to plan for a comprehensive system of public and private recreation and open space sites that are available to the public.

The data and analyses for this element of the *Sanibel Plan*, pursuant to *Section 163.3177(6)(e), Florida Statutes* and the minimum review criteria of *Chapter 9J-5.014 of the Florida Administrative Code*, are also provided in the background materials for the 2004/2005 Evaluation and Appraisal Report for the *Sanibel Plan*, adopted April 19, 2005.

In the City of Sanibel there are a variety of open spaces and recreation sites and facilities. An abundance of Federal, County, Municipal, and private recreation facilities and open space exist on Sanibel. The Federally owned and administered J. N. "Ding" Darling Wildlife Refuge attract thousands of visitors from all over the world.

It is anticipated that Sanibel will always attract tourists to its famous beaches and other natural resources. This situation produces a major impact on the Island and must be planned for so that the social and environmental values and the character of the community are protected and so that the commerce generated by such visits can be a benefit to the City and its residents.

When the City was incorporated, it was recognized that recreational facilities required upgrading and plans were made for improving existing and providing for additional facilities. In 2001, the City Council appointed a Parks and Recreation

management of the seemingly unlimited demand on the resource. It can easily be assumed, with the City's 15 miles of Preservation Districts along the Gulf Beach and Bay Beach and 6,000-acre Conservation District on environmentally sensitive lands, that there is a sufficient amount of open spaces on Sanibel. Yet, a level of demand for use that can produce overuse threatens the quality of some of these extensive resources, particularly the beaches.

A stable portion of this demand comes from residents, both permanent and seasonal, but a significant and increasing demand for use of these open spaces comes from day visitors. As the City of Sanibel continually adjusts to its role in the region, the City's management and participation in the management of these treasured resources must include programs to protect against their overuse and consequent degradation. This is true for Sanibel's beaches, its wildlife refuge and other conservation lands.

About one third of the linear mileage of beaches in Lee County accessible by car is in the City of Sanibel. Although the functional population of the City of Sanibel grows slowly, the functional population of Southwest Florida is growing rapidly. The City of Sanibel has added about 1,100 people to its functional population since 1995. Since 1995, Lee County has added 90,000 people to its population. No hotel rooms and only 12 units for short-term occupancy have been built on Sanibel since 1995. During that same time, the number of hotel and motel units in Lee County increased by about 2,250 units. This significant increase in the population and visitors of Lee County increases the demand for day trips to the City of Sanibel. Demand for the beaches is increasing. The supply of beaches is not.

The maintenance of a natural beach as a vital natural resource is important to the community's quality of life and the economy of the City. For a variety of environmental, social and economic

reasons, it is important that the carrying capacity of the beach for wildlife is not diminished. As the City expresses its objective to preserve the natural condition of Sanibel beaches, there is a need to determine acceptable limits of change, if any, to the Gulf Beach Zone. There remains a need to develop a scientific methodology to establish baseline conditions; to monitor the change of conditions over time and to assess the extent to which these changes can be attributed to human activities.

The demand for recreation facilities comes largely from permanent and seasonal residents and has been well addressed since the City's incorporation. Consequently, the City of Sanibel has and is adequately providing for its existing and foreseeable needs for active recreational facilities. An exception to this situation is the increasing use of the City's shared use path system by day visitors.

The schedule to replace and upgrade recreational facilities, in accordance with the *Master Parks and Recreation Plan*, will depend on the City's ability to fund construction and maintenance of these improvements.

### **Plan for Recreation and Open Space**

The provisions of the City's Plan for Recreation and Open Space are as follows:

1. After renovating and replacing outdated and worn-out facilities, maintain recreational facilities to keep them functional and to extend their usefulness.
2. Operate recreational facilities and programs in a fiscally responsible manner, employing user fees when this funding is found to be equitable and appropriate.
3. Continue to provide shared use paths throughout

the Island that are outside the pavement of major streets and in the right-of-way within the vegetation, in accordance with the *Master Plan for Shared Use Paths*, which is being revised to identify the need to improve and extend the shared use path system.

4. Finalize plans for future use of the Gulfside City Park and the Bayview Park properties.
5. The Gulf and Bay beaches of Sanibel, a natural resources that are hard to visit without having recreational experiences, are to be maintained in their natural conditions, thereby ensuring passive recreational opportunities, such as bird watching, that are compatible with wildlife's use of this rare and limited natural resource. Commercial uses of the Gulf and Bay beaches, except for those incidental to recreation use that is compatible with scenic preservation and conservation uses, will be prohibited. Recreational activities in the Gulf and Bay beaches shall not interfere with the conservation of these vital natural resources.



Playground at Sanibel Community Park

6. Maintain all existing beach access easements and restrict public access across private property except where such easements exist. The establishment of new public accessways to the beach and the expansion of parking areas at existing beach accessways should only be approved if these areas of human activity will not cause further infringement on the carrying capacity of the beach for wildlife.
7. Provide bicycle racks at beach access points and parks as a means of encouraging use of bicycles for transportation to the beach, parks and recreational facilities.
8. Provide restrooms and changing areas at heavily used beach access areas where they can be compatible with surrounding land uses.
9. Restore dunes and beach ridges and dune and beach ridge vegetation in areas of erosion near beach access points.
10. Provide a launching facility for non-motorized water craft, such as canoes and kayaks at Bayview Park. This task is to be carried out in a manner that is both consistent with the carrying capacity of the impacted water body and compatible with surrounding land uses.
11. Continue the ongoing commitment to provide easy access to recreation facilities for the general population and particularly for the very young, senior citizens and people with disabilities.
12. Provide a recreation center for all ages on Sanibel.
13. Continue to provide a senior center on Sanibel.

14. Continue to promote cultural activities in the City.
15. Consider development of an area to serve as a focal point for community activity, special events and informal assembly.
16. Support the continued provision of private recreational facilities available to the public (such as the Community Center and golf courses) that are compatible with the goals, objectives and policies of the *Sanibel Plan*. The private sector is expected to continue to play a major role in providing recreation and leisure opportunities to residents as well as visitors.
17. Include preservation and conservation areas in the City of Sanibel such as tidal wetlands and beaches as the heart of the City's open space network. This resource is a vital component in the Plan for Scenic Preservation.
18. Prohibit the exploitation of the natural resources in preservation and conservation areas, including the prohibition of commercial activities on the beach, except for limited activities that are accessory to resort housing uses.
19. Implement programs and measures that further protect the beaches on Sanibel so that the extent of land use and other human activity is diminishing the carrying capacity of the beach for wildlife.
20. Pursue opportunities for "unimproved" natural trails for biking and hiking on appropriate City properties.



Accessway to Bowman's Beach

## Goals, Objectives and Policies

### Goal Statement

**Ensure that adequate recreational facilities and open spaces are provided to satisfy the recreational needs of residents to the extent practicable, in a manner that preserves and protects the fragile natural resources of the Island.**

### Objective 1

Through the implementation of the *Master Parks and Recreation Plan*, the City of Sanibel's system of recreational facilities will continue to provide adequate recreational opportunities for its residents that are compatible with the wildlife's use of natural resources, through the initial and long-range planning periods of this Plan.

**Policy 1.1.** Preserve and maintain existing recreational facilities by providing proper management supported by an adequate operating budget.

## Section 3.6.2.

### Future Land Use Element

Pursuant to Section 163.3177, Florida Statutes and Chapter 9J-5.006(3) of the Florida Administrative Code.

#### Background Discussion

The data and analyses for this element of the *Sanibel Plan*, pursuant to Section 163.3177(6)(a) and (7)(f), Florida Statutes and the minimum review criteria of Chapter 9J-5.005(2), .006 and .009 of the Florida Administrative Code, are also provided in the background materials for the 2004/2005 Evaluation and Appraisal Report for the *Sanibel Plan*, adopted April 19, 2005.

#### Approximate Acreage Of Land Uses – 2006 compared to 1995 –

| Land Use Category          | 2006          |            | 1995          |            |
|----------------------------|---------------|------------|---------------|------------|
|                            | Acreage       | %          | Acreage       | %          |
| Conservation Uses          | 7200          | 62.1       | 6850          | 59.1       |
| Residential Uses           | 2550          | 22.0       | 2475          | 21.3       |
| Vacant/Underdeveloped Land | 400           | 3.4        | 815           | 7.0        |
| Recreation Uses            | 575           | 5.0        | 575           | 5.0        |
| Roadways                   | 500           | 4.3        | 500           | 4.3        |
| Commercial Uses            | 150           | 1.3        | 150           | 1.3        |
| Public Facilities          | 50            | 0.4        | 60            | 0.5        |
| Other Uses                 | 175           | 1.5        | 175           | 1.5        |
| Industrial Uses            | --            | --         | --            | --         |
| Agricultural Uses          | --            | --         | --            | --         |
| <b>Total</b>               | <b>11,600</b> | <b>100</b> | <b>11,600</b> | <b>100</b> |

The Residential Land Use Category includes about 500 acres used for multifamily development. The Other Uses category includes churches, marinas, theaters and the like.

Source: Sanibel Planning Department

Sanibel, located on a barrier Island, is approximately 17.5 square miles in area (11,600 acres). The principal use of over 60 percent of the area in the City of Sanibel is conservation use. More than eight square miles of the City are owned and managed by the federal government as the J. N. "Ding" Darling Wildlife Refuge. The Sanibel-Captiva Conservation Foundation owns more than a square mile of additional land that is managed for conservation purposes.

The City of Sanibel is located entirely within the coastal floodplain. The City has participated in the Federal flood program since 1979. Flood and stormproofing regulations, which implement this program, are part of the Sanibel Land Development Code.

In accordance with Chapter 9J-5.009 of the Florida Administrative Code, a Ports, Aviation, and Related Facilities Element is not required for the *Sanibel Plan*. There are no ports, harbors or aviation facilities in the City of Sanibel and there are no plans for any of these facilities. Air access for emergency vehicles is maintained.

There are no areas of designated critical State concern, pursuant to Section 380.05, Florida Statutes, within or adjacent to the City of Sanibel. The Sanibel tidal wetlands are part of the Pine Island Sound Aquatic Preserve.

#### Land Uses Adjacent to Sanibel

State submerged lands are the adjacent land use to the City of Sanibel. The quality of these surrounding waters has been deteriorating, in spite of the City's extensive efforts and investments in eliminating virtually all septic tanks within the City. Rapid development in the Caloosahatchee River watershed, much of which is continuing to rely on septic systems for wastewater disposal, contributes to this degradation of water quality. This situation is only exacerbated by the water releases from

dwelling unit for the medium range projection; and 2.5 people per dwelling unit for the high range projection.

During peak season, the seasonal population of the City of Sanibel is approximately twice as large as the resident population. For this reason, the functional population (comprised of the resident population and the seasonal population) is the important population to consider for the analyses and evaluation of service delivery systems and impacts of development.

In addition to the functional population, the City of Sanibel is impacted by the daily influx of day visitors. This population, which does not use overnight accommodations within the jurisdiction of Sanibel, is mentioned here because of its potential impact on service delivery and maintenance of adequate level of service standards.

On an average day in peak season, the City of Sanibel estimates that approximately 13,000 day visitors enter the jurisdiction. A recent decline in day visits has occurred, but this short-term trend may be reversed following completion of the reconstruction of the Sanibel Causeway. It would be difficult to project the number of day visitors for future years, but it is reasonable to expect that the number will increase over time.

For the planning purpose of analyzing and evaluating service delivery systems, the medium range functional population estimates and projections are utilized in this Plan. However, to retain consistency with development of the *Sanibel Plan*, the number of dwelling units may be utilized for the preparation of level of service standards.

**Land Use Projections**

At buildout, an additional 800 dwelling units are projected to be constructed in the City of Sanibel. Six hundred of these units are expected to be located within existing developments. The remaining 200 units are projected to be located on the vacant and undeveloped land shown on the Existing Land Use Map.

Approximately 35,000 square feet of additional commercial floor area can be developed in the City of Sanibel, in accordance with the Commercial District Map and regulations of the Land Development Code.

| Land Use Category       | Acreage       | %          |
|-------------------------|---------------|------------|
| Conservation Uses       | 7375          | 63.6       |
| Residential Uses        | 2625          | 22.6       |
| Vacant/Undeveloped Land | --            | --         |
| Recreation Uses         | 600           | 5.2        |
| Roadways                | 525           | 4.5        |
| Commercial Uses         | 175           | 1.5        |
| Public Facilities       | 75            | 0.7        |
| Other Uses              | 225           | 1.9        |
| Industrial Uses         | --            | --         |
| Agricultural Uses       | --            | --         |
| <b>TOTAL</b>            | <b>11,600</b> | <b>100</b> |

Note: There are approximately 475 acres of multifamily development included in the Residential Land Use Category. The Other Uses category includes churches, marinas, theaters and the like.

Source: *Sanibel Planning Department*

In 1997, the extensively revised *Sanibel Plan* was found in compliance with school siting requirements. Since then, the City has entered into an interlocal agreement with the Lee County School District to coordinate the planning and siting of new schools.

In 2002, a Plan amendment removed 6.5 acres of land from the Commercial District, as recommended by the Economic Assumptions of the Plan. This Plan amendment was part of establishing Pond Apple Park, a preservation and passive recreation alternative to commercial development.

The development of a *Master Plan for the Periwinkle Way West Commercial District*, including the Palm Ridge Road area, called for in the Plan for Commercial Development will be included as part of the City's Redevelopment Planning Work Program.

The recovery of the local economy, negatively impacted by the change of conditions due to the destruction caused by Hurricane Charley, is needed specifically in the commercial sector, including resort housing. The local economy has also been negatively impacted by the substantial increase, instituted by Lee County, in tolls to cross the Sanibel Causeway. The condition of the local economy is a special topic in the 2004/2005 Evaluation and Appraisal Report of the *Sanibel Plan*.

The community's interest in the development of a Town Center/Town Square, considered in the Plan for Community Design, has evolved. The *Master Parks and Recreation Plan* recognizes the community benefit in providing a place to serve as a focal point for community activity, special events and informal assembly. Implementation of the *Master Parks and Recreation Plan* is a major issue in the 2004/2005 Evaluation and Appraisal Report of the *Sanibel Plan*.

A master plan for the shared use path system is being updated. The shared use path system, a valued component of the Transportation Element and the Recreation and Open Space Element of this Plan, also contributes to many of the sectors that comprise the land uses within the City.

As part of the City's Redevelopment Planning Work Program, an analysis of residential land use and zoning regulations will be conducted to ensure that neighborhood and community compatibility is retained when new, expanded and redeveloped single family dwellings are built. Based on this analysis the City will prepare appropriate land development regulations.

To clarify that frequent turnover in occupancy is not permitted in residential areas limited to long-term occupancy, a provision has

been included in the land development regulations that prohibit timeshare (including fractional ownership) dwelling units outside the Resort Housing District.

The natural Gulf Beach, including its waters, is recognized for its significant contribution to the character of the community. Offshore areas, such as Captiva, the Causeway islands and other near-Island lands, and the waters of San Carlos Bay, Pine Island Sound and the Caloosahatchee River also impact the character of the community. The replacement of the bridges of the Sanibel Causeway will have a significant impact on the character of the community. The maintenance of the character of the community is assessed as a major issue in the 2004/2005 Evaluation and Appraisal Report of the *Sanibel Plan*.

A City Council goal is to undertake a study of the carrying capacity of Sanibel's beaches to evaluate current policies, plans, regulations and management strategies and advance recommendations to maintain and improve the Island's natural beach for its value to wildlife and contribution to the community's character.

There remains in the City of Sanibel, development that exceeds the density permitted in accordance with the Development Intensity Map (i.e., nonconforming densities). The majority of nonconforming densities are located in the Resort Housing District. A small number of single family dwellings are located on lots that are "unbuildable" if vacant. Strategies to address non-conforming densities in "building-back" from damage caused by a natural disaster are assessed as a major issue in the 2004/2005 EAR of the *Sanibel Plan*. Since the EAR, the City has adopted comprehensive land development regulations that address buildback.

Strategies to address non-conforming densities in redeveloping existing land uses is a second part of this major issue in the 2004/2005 Evaluation and Appraisal Report. As part of the City's Redevelopment Planning Work Program, a survey and analysis

The Vision Statement further states that:

*“ . . . the dominant principle is Sanibel's sanctuary quality. Sanibel shall be developed as a community only to the extent to which it retains and embraces this quality of sanctuary. Sanibel will serve as attraction only to the extent to which it retains its desired qualities as sanctuary and community.”*

Prohibitions on formula restaurants and on drive-ins and drive-throughs at eating places are recent examples of land development regulations intended to maintain the character of the City of Sanibel. Other land development regulations, intended to achieve other objectives, also contribute to maintenance of the character of the community. Yet every development/redevelopment in the City impacts the character of the community. It is also important to continue to monitor the incremental, as well as the cumulative, impacts of developments on the character of the community.

The character of the community is also impacted by near-Island development and activities and by more distant development and activities that affect the quality and quantity of surrounding waters.

A substantial effort is being devoted to the study of neighborhood and community compatibility for single family dwellings. Public participation and the identification of conditions and evaluation of alternatives have not yet produced a consensus on the statement of the problem. As part of the City's Redevelopment Planning Work Program, City Council has directed the preparation of regulations focused on maintaining the character of the community by better ensuring neighborhood and community compatibility for new, expanded and replacement single family dwellings. New, expanded and replacement single family dwellings shall not be constructed or altered, so that their size, bulk, mass, height, location or orientation unreasonably infringe upon adjoining properties or interrupt the rhythm, harmony and character of the established neighborhood.

Zoning is “in progress” to update the City's land development regulations to help retain and accommodate existing and new businesses that serve the City's residents. To maintain and enhance the attractiveness of the streetscape and the existing character of the community, buildings should have architectural features and patterns that provide visual interest from the perspective of the pedestrian, bicyclist and motorist, appear to reduce building mass and recognize and respect local character and site conditions.

The *Master Parks and Recreation Plan* recognizes the community benefit in providing a place to serve as a focal point for community activity, special events and informal assembly. The Sanibel Community Park is intended to fulfill a portion of this function.

The City's FY06 budget includes funding to commence the Redevelopment Planning Work Program for the City of Sanibel as a part of this ongoing planning process. This study is intended to be a comprehensive effort to ascertain community needs in addressing redevelopment activities. The Evaluation and Appraisal Report has been a starting point for the Redevelopment Study. It is anticipated that the Redevelopment Study will address: redevelopment in residential neighborhoods, in the Resort Housing District and in the Commercial District. The maintenance of the character of the community will be a primary objective of the Redevelopment Study.

### **Provisions of the Plan for Preservation and Community Design**

1. Analyze, and appropriately revise, the regulations of the Land Development Code to better address local concerns for the adequate protection of the character of the community.
2. Consider development of a specific district plan for the Periwinkle Way West Commercial District, including the

Palm Ridge Road area, that will include strategies to improve and integrate City Hall and the surrounding civic, cultural and recreational uses to serve as a focal point for community activity, special events and informal assembly.

3. Consider establishing standards to better ensure neighborhood and community compatibility for single family dwellings. These land development regulations will likely be Citywide with further restrictions based on neighborhood characteristics and the size and characteristics of the site.

### Historic Preservation

#### Structures

- Historic structures should be preserved and maintained in a condition that represents their historic and architectural features. The City has identified a need to reassess its land development regulations pertaining to historic sites and structures.

#### Roadways

- The Sanibel road system has historically served an area that is rural in character. Improvements to this road network should be consistent with the maintenance of the historic rural nature of this roadway system and the surrounding land uses.
- People experience Sanibel by driving its streets and roads. The appearance of these streets and roads does as much to set the tone for the community as does any element of community design. Traffic calming and other techniques should be incorporated into the design and maintenance of Sanibel's streets and roads to reinforce the community's desired sanctuary quality and to alert motorists that the roadway is shared with non-motorist.

#### Beaches

- Uses of the natural beaches of the City, and uses of surrounding lands, should be consistent with the maintenance of the historic character of this natural resource.

#### Shared Use Path System

- Shared use paths should be constructed for bicycles, pedestrians, wheelchairs, and other non-motorized users, setback from the edge of the traveled-way for motor vehicles where possible, meandering in the right-of-way without sharp curves or obstructions to vision.
- Major arterial and collector roads should all have bike paths connecting residential areas to other residential and commercial and non-residential sections of the Island. Wherever possible the City should acquire sufficient right-of-way to permit a buffer between the edge of the road and the shared use path. Neighborhood roads can be used for bicycle and pedestrian travel and automobile speeds on roads should be regulated in all neighborhood areas to maintain safety for the health and welfare of all citizens. Traffic calming techniques should be employed to let the motor vehicle operator know that non-motorists share the streets and roads.

#### Beach Access Walkovers

- Beach walkovers should be constructed to protect the beach dune system and beach vegetation essential for continued preservation of shorelines.

- Consideration of the concept of a town center, as identified in the Sanibel Plan.
- Provide a separate line item for bike path projects in the CIP.
- Implementation of Capital Improvements required by the Sanibel Plan are economically feasible.
- Review of the effectiveness of the City's Below Market Rate Program; be done by another Planning Commission sub-committee, and revisions to the Capital improvements element of the Sanibel Plan have not been indicated.

Discussion ensued regarding having a sub-committee of the Five-Year Budget Projection Review Committee.

Councilman Brown asked that the resolutions regarding air conditioning the gym and proposed funding for a skate park be discussed next due to some children and their parents being in attendance.

Councilmember Workman asked that those resolutions not be heard because more people may be interested.

Discussion ensued regarding taking the above-mentioned resolutions. Council decided to wait until after lunch.

#### **Public Comments:**

Hazel Schuller spoke to Council regarding the incorporation of the City and that it was founded with a commitment to land use planning and asked Council to form a committee.

Ann McCullough spoke to Council regarding Sanibel Beautification, Inc.

William Mankin spoke to Council regarding his mother's duplex located at 1137 Sabal Street. He gave Council a brief history of the duplex and of renting one side, but was recently advised they could no longer rent because of the 28-day minimum rental ordinance. He further stated speaking with Mr. Rogers, Planning Director, and asked if his mother's house could be grandfathered as other houses were and was told to come before Council with his request. He asked that Council allow the house to be grandfathered.

Mayor Theiss stated she understood that if the property owner requested the change there was a large fee, but if Council sponsored the request there would be no fee.

Council asked Mr. Wyckoff for a legal opinion.

Mr. Wyckoff stated all property owners received notice regarding being grandfathered as a rental unit. He further stated that the information Mr. Mankin provided showed the residence had not been rented since 1978. He advised Council that authorizing the request would set a precedence and any owner could go through the proper procedures and pay the permitting fees accordingly.

Discussion ensued regarding Council following Mr. Wyckoff's advice and the concern that any request would be heard appropriately.

Mr. Mankin asked for clarification on the procedure mentioned by Mr. Wyckoff. He stated that Mr. Bruce Rogers suggested he come to Council and make his request.

Mr. Wyckoff replied that Mr. Mankin should make his application to the Planning Department.

## CAPITAL IMPROVEMENT PLAN (CIP)

**Topic 6:** Before his departure, as City Manager, Mr. Sealover prepared a Five-Year Capital Improvement Plan (CIP) for fiscal years 2002-2006. (Appendix E) The Committee assumes that Council will review the Draft dated 3/30/01. Since the CIP was developed for presentation to the Council, the Committee did not feel it appropriate for it to make changes in the allocations. However, after careful review of the CIP and a discussion with Mr. Sealover, the Committee makes the following observations:

1. The potential purchase of any available commercial properties along Periwinkle Way and other locations is not considered in the CIP. Such purchase would affect the debt level for the City.
2. The much-discussed ~~causeway~~ is not funded in any fashion in the CIP.
3. Though the already authorized Planning Study for the Recreation Department is due to be completed by the end of FY 2003, the only funding scheduled for the recreation center is \$213,000 for air conditioning in FY 2005 --- two years later. The reason for this delay is not obvious. It would seem prudent to project some expenditures earlier.
4. The \$35,000 allocated for computerizing maps of properties in FY 2002 and FY 2003 may not be sufficient
5. Public discussion of purchasing the Causeway has surfaced, and naturally, no funding for such a major project is included in the CIP.

The Committee makes the following recommendation:

**Recommendation #6: That the City Council**

- a. Approve the new vehicle replacement policy using age, mileage and frequency of repair rather than just age
- b. Adopt, as a standard for future budgets, a minimum of a 17% fund balance
- c. Establish a separate category under Public Works that would encompass all expenditures for bike paths – reconstruction, maintenance of existing paths and cost of new paths, as well as delineating the portion of road repairs applicable to the bike path reconstruction.
- d. Include the \$1.3 million to be collected from other sources for the construction of the next two BMRH complexes in the budget, so that the public can see that the City is not providing all of the funds
- e. Increase the level budgeted for acquisition of environmentally sensitive land to \$750,000 per year, consistent with City Council decision in 2000.
- f. Ask the new City Manager to carefully review the proposed upgrade of the AS400 in FY 2004 based upon this Committee's Recommendation #\_
- g. That the current projections for beach renourishment be revised to reflect the following contributions based upon the last beach renourishment project: private landholders 81%, Lee County 12% and City of Sanibel 6%. These numbers will be update when the economic benefits/costs allocations study, now underway, is completed.

Mr. Rogers replied that three (3) weeks had been the norm for getting on the calendar for an appointment regarding the permitting process. He stated the discussion is about getting direction from Council regarding balancing projects and permitting. He also mentioned that over the last sixteen (16) to eighteen (18) months the Planning Department had put their focus on permitting.

Discussion ensued regarding the length of time to get a permit that three (3) weeks was unacceptable, the need for additional employees, work requested by Council and the Planning Commission, the number of permits annually, employee hours needed for requested work, application process for new single-family dwellings and environmental issues resulting in buildable lots, as well as Planner of the Day.

### **Discussion regarding the Planning Department staffing level needed to maintain application review and study other issues.**

Mr. Rogers further explained the workload of the Planning Department.

Mayor Theiss asked if Council wanted to give direction to the Planning Department regarding the following issues:

- ◆ Revising regulations on special events.
- ◆ Large houses.
- ◆ Development of a Town Center.

She also suggested looking at the Planning Department workload at the August 03 meeting for Council direction.

Discussion ensued regarding not adding additional burden on the Planning Department and Council changing priorities during a project.

Mr. Rogers stated his top two (2) priorities are the following:

- ◆ Revise applicability of Resort Housing Regulations
- ◆ Revising resort housing accessory beach equipment regulations.

Mr. Ackley stated that anytime there was a professional staff Council might wonder what they are doing as well as deciding what results are wanted and are those results being given. He further stated City Departments need feedback. He explained that Sanibel requires a development permit as well as a building permit and the standard for single-family dwellings is much higher than other places. He also stated that when desired lots are already consumed and when build out is at hand a public policy issue develops. He concluded by saying that Council may want to set only three (3) priorities per issue and never change those priorities.

### **Discussion regarding the Traffic Study Committee.**

Mayor Theiss stated that when setting up the Traffic Committee a membership of nine (9) members was established and there were nine (9) applicants that were appointed. She further stated that Mr. Dan Steves a current member is out of town three quarters of the year; has submitted his resignation and Michael Hannan is interested in being on the Committee. She asked Council to accept the resignation of Mr. Steves and to appoint Mr. Mike Hannan to the Traffic Committee. She further stated that she would like to amend the resolution at the August meeting to add either adjunct/alternate members to the committee since the two (2) traffic engineer members are only available on a part-time basis and having adjunct committee members would allow Mr. Steves and the other engineer to participate on the committee.

Councilman Brown disagreed with the concept of adjunct members.

Mayor Theiss made a motion, seconded by Vice Mayor Walsh to accept the resignation of Mr. Dan Steves and appoint Mr. Hannan to the Traffic Committee, which was unanimously adopted.

September 04, 2001

MEMORANDUM

TO: O. Sam Ackley  
FROM: Bruce A. Rogers   
DATE: August 28, 2001  
RE: Planning "Pipeline" Report

There is no "official" list of projects "in the pipeline". The following list includes projects that have been identified by the Planning Department and/or Planning Commission.

I **recommend** the City Council assign priority to the following 3 projects for the reasons noted.

1. **Disproportionate House Size Ordinance.**—Council directed work to go ahead on this project at its August 21, 2001 meeting.
2. **Clarify applicability of resort housing regulation to specific parcels.**—With all the recent attention on resort housing through code enforcement and the Land Development Code amendment, we are getting a lot of inquiries that can only be answered through historical file research. This information should be readily available in the Land Development Code.
3. **Revise resort housing accessory beach equipment regulations.**—This is consistent with Planning Commission's recommendations in its Permitting Process report and is needed before the Planning Commission considers any more applications under the current code requirements.

The Projects List Follows:

A. Feasibility of a Town Center

- 
- A study is called for in Sanibel Plan.
  - Planning Commission suggested City Council give further consideration of the concept in its report on annual review of Capital Improvements Element of the Sanibel Plan presented to City Council on June 19, 2001.
  - Included in "Planning Projects" June 26, 2001 report presented to City Council on July 3, 2001.

Status: Pending Council direction.

Vice Mayor Walsh asked Acting Chief Tomlinson if the D.A.R.E. program was working in the Sanibel School and how much Lee County gave toward the program.

Acting Chief Tomlinson replied that the program was needed and working well and that Lee County supplied twenty-five percent of the officer's salary.

Councilman Brown made a motion, seconded by Councilman Harrity, to adopt Resolution 02-80.

Public Comment:  
None.

The motion carried.

**OLD BUSINESS:  
RESOLUTION 02-78 APPROVING THE DRAFT PARKS AND RECREATION  
SYSTEM MASTER PLAN; AND PROVIDING AN EFFECTIVE DATE.**

Ms. Zimomra read the title of Resolution 02-78.

Discussion ensued regarding the master plan being a concept only, funding identified within the budget process, approval from the Parks and Recreation Committee and commending Helene Phillips, Recreation Director, Armand Ball, Parks and Recreation Committee Chair and the Parks and Recreation Committee for their hard work.

Mayor Theiss made a motion, seconded by Councilman Brown, to adopt Resolution 02-78.

Public Comment:  
None.

The motion carried.

**Discussion regarding funding for Woodhaven project.**

Ms. Zimomra stated that the current budget did include for the Woodhaven project and questions had been raised regarding an appropriate level of involvement and inclusion in the upcoming budget.

Jan Hyatt, CHR Director, Ray Pavelka and George Kohlbrenner, CHR Board of Directors discussed the funding with Council.

Discussion ensued regarding \$140,900 CDBG funding that could not be used for the proposed Woodhaven project as such funds were used at Casa Mariposa, County staff looking at two types of federal funding (Safetronics and Home Funds), the twelve new units proposed for the Woodhaven project, vacancy rate and demand for below market housing, requesting the same funding be used for the proposed Woodhaven project as was used for Casa Mariposa, meeting with Ann Arnell, Lee County Human Services

**CITY OF SANIBEL  
RESOLUTION NO. 02-78**

**A RESOLUTION APPROVING THE DRAFT PARKS AND RECREATION SYSTEM MASTER PLAN; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City Council approved the development of a Parks and Recreation System Master Plan; and

**WHEREAS**, the Parks and Recreation Committee has reviewed the draft Master Plan attached hereto and marked "Exhibit A" and recommends adoption by City Council; and

**WHEREAS**, the Planning Commission in Resolution No 02-17 has reviewed the plan and finds the Master Plan is not inconsistent with the Sanibel Plan; and

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Sanibel, Lee County, Florida:

**SECTION 1.** The Parks and Recreation System Master Plan is hereby adopted.

**SECTION 2.** Effective date.

This resolution shall take effect immediately upon adoption.

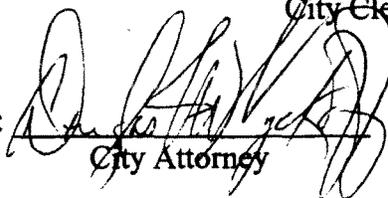
**DULY PASSED AND ENACTED** by Council of the City of Sanibel, Lee County, Florida, this 6<sup>th</sup> day of August, 2002.

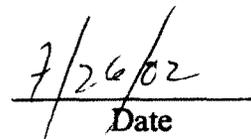
**AUTHENTICATION:**

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
City Attorney

  
\_\_\_\_\_  
Date

RESOLUTION NO. 02- 17  
CITY OF SANIBEL  
PLANNING COMMISSION

IN THE MATTER OF: Draft Parks and Recreation System Master Plan

PUBLIC MEETING DATES: June 11, 2002 and July 23, 2002

ADOPTION OF RESOLUTION: July 23, 2002

WHEREAS, the City of Sanibel employed the services of the consulting firm of Glatting Jackson Kercher Anglin Lopez Rinehart to prepare a Parks and Recreation System Master Plan; and

WHEREAS, said consulting firm prepared a draft Master Plan dated April 30, 2002; and

WHEREAS, the Planning Commission reviewed this draft Master Plan pursuant to its functions, powers and duties as set out in City of Sanibel Ordinance No. 75-13, an Ordinance providing for the establishment of a Planning Commission; and

WHEREAS, the City Council has designated the Planning Commission the Local Planning Agency pursuant to Florida Statutes, Chapter 163.3174; and

WHEREAS, the draft Master Plan has been considered by the Planning Commission in public meetings for consistency with the Sanibel Plan.

NOW, THEREFORE, be it resolved by the Planning Commission that the Commission concludes the draft Parks and Recreation System Master Plan is not inconsistent with the Sanibel Plan;

HOWEVER, be it further resolved, that the Planning Commission concludes implementation of the Parks and Recreation System Master Plan will have to be done in a manner consistent with the following analysis in order for the Master Plan to be consistent with the Sanibel Plan.

**ANALYSIS**

The Parks and Recreation System Master Plan reviewed by the Planning Commission is a generalized plan. No site master plans were available for review, except for the Sanibel School/Community Park Conceptual Master Plan. At this point in the planning process it would be premature to prepare other site master plans.

The Planning Commission reviewed the Parks and Recreation System Master Plan against applicable provisions of the Sanibel Plan.

RESOLUTION NO. 02- 17

CITY OF SANIBEL

PLANNING COMMISSION

IN THE MATTER OF: Draft Parks and Recreation System Master Plan

PUBLIC MEETING DATES: June 11, 2002 and July 23, 2002

ADOPTION OF RESOLUTION: July 23, 2002

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**ANALYSIS**

The Parks and Recreation System Master Plan reviewed by the Planning Commission is a generalized plan. No site master plans were available for review, except for the Sanibel School/Community Park Conceptual Master Plan. At this point in the planning process it would be premature to prepare other site master plans.

The Planning Commission reviewed the Parks and Recreation System Master Plan against applicable provisions of the Sanibel Plan.



**"14. Consider development of a Town Center/Town Square in the area of City Hall to serve as a focal point for community activity, special events and informal assembly." (Sanibel Plan, p. 113)**

Finding – The parks and Recreation System Master Plan identifies the small area between Dunlop Road and the Library as a Town Green area suitable for staging special events. This area is suitable for smaller special events, and the Planning Commission supports this recommendation. However, this small area is not large enough to serve as a focal point for community activity, special events and informal assembly. The Master Plan does suggest that the City investigate the possibility of expanding the Town Green onto SCA-owned lands, and otherwise expanding the site. The Planning Commission supports expanding the Town Green concept to include Sanibel Community Association-owned lands, and other City-owned lands as such expansion would be consistent with the Sanibel Plan.

**"15. Support the continued provision of private recreational facilities available to the public (such as the Community Center and golf courses) which are compatible with the goals, objectives and policies of the Sanibel Plan. The private sector is expected to continue to play a major role in providing recreation and leisure opportunities to residents as well as visitors." (Sanibel Plan, p. 113)**

Finding – Permitting public use of private recreation facilities (e.g., tennis courts) is good public policy where this shared use conserves natural resources, avoids duplication of facilities and can be done in a manner consistent with the Sanibel Plan and Land Development Code. When the private recreation facilities are accessory uses to resort housing an amendment to the Land Development Code may be needed to permit public use of these facilities.

### **Section 3.3.7 Recreation and Open Space**

#### **"Goal Statement**

**Ensure that adequate recreational facilities and open spaces are provided to satisfy the recreational needs of residents to the extent practicable, in a manner that preserves and protects the fragile natural resources of the island." (Sanibel Plan, p. 113)**

To be consistent with the Sanibel Plan, the Parks and Recreation System Master Plan will have to be implemented in a manner that preserves and protects the fragile natural resources of the Island.

## **OLD BUSINESS**

**RESOLUTION 04-074 DIRECTING THE PLANNING STAFF TO DEVELOP PROPOSED LAND USE REGULATIONS TO BE SUBMITTED TO THE PLANNING COMMISSION AND CITY COUNCIL IN ORDER TO ADDRESS THE LAND USE ISSUES RELATED TO THE COMBINATION OF SMALLER COMMERCIAL UNITS INTO LARGE COMMERCIAL UNITS, AND LAND USE ISSUES RELATED TO CERTAIN NON-RESIDENT ORIENTED RETAIL USES, WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY OF SANIBEL; DIRECTING THAT THE PLANNING COMMISSION PROVIDE RECOMMENDATIONS WITH REGARD TO ANY SUCH LAND USE AND DEVELOPMENT REGULATIONS PROPOSED OR DEVELOPED BY THE CITY PLANNING STAFF; DECLARING THAT THE DEVELOPMENT OF SUCH REGULATIONS CONSTITUTES "ZONING IN PROGRESS" AND PROHIBITING THE COMBINING OF SMALL COMMERCIAL UNITS INTO LARGER COMMERCIAL UNITS, AND THE NEW ESTABLISHMENT OF CERTAIN NON-RESIDENT ORIENTED RETAIL USES WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY, UNTIL SUCH LAND USE REGULATIONS CAN BE DEVELOPED BY CITY STAFF, CONSIDERED BY THE PLANNING COMMISSION AND CONSIDERED BY THE CITY COUNCIL; AND PROVIDING AN EFFECTIVE DATE:**

Ms. Zimomra read the title of Resolution 04-074.

Vice Mayor Walsh made a motion, seconded by Councilman Brown, to adopt Resolution 04-074.

Mr. Cuyler stated that Resolution 04-074 would allow regulations to be drafted by staff. He further stated it would mean the regulations would affect a limited number of areas, give notice in the event that someone wanted to split or incorporate two or more spaces for one use and allows an aggrieved party to come before Council.

Mr. Pfalzer stated the following areas would be affected:

- Dixie Beach
- Casa Ybel Road
- Rabbit Road
- San-Cap Road
- East Gulf Drive
- Periwinkle Way
- Palm Ridge Road

The motion passed unanimously

## **BOARDS, COMMITTEES AND COMMISSIONS**

**RESOLUTION 04-120 APPOINTING A MEMBER TO SEAT NO. 5 OF THE SANIBEL BOARD OF TRUSTEES OF THE MUNICIPAL POLICE OFFICERS' RETIREMENT TRUST FUND; AND PROVIDING AN EFFECTIVE DATE.**

Ms. Zimomra read the title of Resolution 04-120.

Mayor Harrity made a motion, seconded by Vice Mayor Walsh, to adopt Resolution 04-120.

Discussion ensued regarding if the applicant had any experience, seat 5 selected by members and ratifying the appointment.

**CITY OF SANIBEL  
RESOLUTION NO. 04-074**

**A RESOLUTION DIRECTING THE PLANNING STAFF TO DEVELOP PROPOSED LAND USE REGULATIONS TO BE SUBMITTED TO THE PLANNING COMMISSION AND CITY COUNCIL IN ORDER TO ADDRESS THE LAND USE ISSUES RELATED TO THE COMBINATION OF SMALLER COMMERCIAL UNITS INTO LARGE COMMERCIAL UNITS, AND LAND USE ISSUES RELATED TO CERTAIN NON-RESIDENT ORIENTED RETAIL USES, WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY OF SANIBEL; DIRECTING THAT THE PLANNING COMMISSION PROVIDE RECOMMENDATIONS WITH REGARD TO ANY SUCH LAND USE AND DEVELOPMENT REGULATIONS PROPOSED OR DEVELOPED BY THE CITY PLANNING STAFF; DECLARING THAT THE DEVELOPMENT OF SUCH REGULATIONS CONSTITUTES "ZONING IN PROGRESS" AND PROHIBITING THE COMBINING OF SMALL COMMERCIAL UNITS INTO LARGER COMMERCIAL UNITS, AND THE NEW ESTABLISHMENT OF CERTAIN NON-RESIDENT ORIENTED RETAIL USES WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY, UNTIL SUCH LAND USE REGULATIONS CAN BE DEVELOPED BY CITY STAFF, CONSIDERED BY THE PLANNING COMMISSION AND CONSIDERED BY THE CITY COUNCIL; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, a Vision Statement was adopted as an integral element of the Sanibel Plan; and

**WHEREAS**, said Vision Statement establishes a hierarchy of values with "sanctuary" and "community" being higher than "attraction"; and

**WHEREAS**, the City desires to maintain a balance between the residential and resort (tourist) segments of the community, so that Sanibel remains an attractive and desirable residential community; and

**WHEREAS**, commercial developers often view Sanibel as primarily a nonresident commercial market; and

**WHEREAS**, left unregulated, this trend can be expected to continue to the point that Sanibel could become a resort-oriented market, contrary to public desires; and

**WHEREAS**, demand, preferably internal demand, needs to be found for surplus retail space; and

**WHEREAS**, it would be counter-productive to attempt to fill these spaces by stimulation of additional activity from off-island; and

**WHEREAS**, it can and should be expected that the residential component of the Sanibel community will grow larger over time; and

**WHEREAS**, businesses that primarily serve the resort community tend to demand larger spaces with greater visibility and can afford to pay higher rents than those primarily serving the residential community; and

**WHEREAS**, it will require reconsideration of certain development regulations relating to permissible uses and unit sizes in certain commercial areas of the City; and

**WHEREAS**, time is needed for consideration to assure Sanibel's regulations do not discourage the continuation of existing businesses, or establishment of new businesses, serving Sanibel's residential segment; and

**WHEREAS**, it is necessary that such aggregation of commercial spaces, and the establishment of certain new non-resident oriented retail uses, cease in the interim while such Zoning-in-Progress is developed for consideration and, as appropriate, legislation by City Council with the requisite public input and public hearings;

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Sanibel, Florida:

**SECTION 1.** The City Council hereby determines that it is appropriate and in the best interests of the citizens of Sanibel to study, consider and develop land use regulations to address certain land use matters as set forth more particularly in this

Resolution. Until such time as the City Council has an opportunity to consider such recommendations and proposed land use regulations developed and proposed by the Planning Staff and submitted for consideration by the Planning Commission and ultimately the City Council, the following uses and development shall be prohibited:

- (a) The combining of commercial units if the resulting unit size would exceed 2000 square feet in floor area within those commercial areas designated on attached Exhibit "A".
- (b) The combination of commercial units if the resulting unit would have 50, or more, linear feet of street frontage within 200 feet of the street right-of-way, within those commercial areas designated on attached Exhibit "A".
- (c) The establishment of any of the following retail uses within those commercial areas designated on attached Exhibit "A":
  - (1) Apparel and apparel accessory stores;
  - (2) Children's and infant's wear stores;
  - (3) Gift, common novelty and souvenir shops, including shell shops;
  - (4) Jewelry stores.
- (d) This Resolution is not intended to affect, and shall be not be construed to affect, existing retail uses of the types set forth above, whether or not located in the commercial areas designated on attached Exhibit "A".

**SECTION 2.** In the event that any person or other entity is denied a Development Permit, Building Permit, Occupational License or other City approval as a direct result of the prohibitions set forth above, such person or other entity may appeal such denial to City Council. The City Council may authorize such approval as it deems necessary or appropriate upon a finding that such approval is not contrary to the long term goals of this Resolution and is not disadvantageous to the health, safety and welfare of the general public.

**SECTION 3.** The Planning Staff is hereby directed to study, consider and, as appropriate, propose land use regulations for consideration by the Planning Commission and the City Council with respect to those matters set forth in the recitals of this Resolution, and, at least, the following issues:

- (a) The combination of smaller commercial units into large or larger commercial units in those commercial areas designated on attached Exhibit "A", or such other commercial areas as determined necessary for consideration by the Planning Staff, Planning Commission and City Council.
- (b) The combination of units in that area described in Exhibit "A", or similar commercial areas, where the resulting unit would have, for example, 50 linear feet or more, of street frontage within a street right-of-way of, for example, 200 feet. Said footages are set forth as guidelines only for Staff review and study, and Staff's recommendation and/or proposed land use regulations to address this issue may be more or less than such guidelines.
- (c) The establishment of certain retail uses within the area described on attached Exhibit "A", or such other commercial locations as may be recommended through proposed land use regulations, such retail uses may include, but not be limited to, apparel and apparel accessories stores, children's and infant's wear stores, gift, novelty and souvenir shops, including shell shops, and jewelry stores.

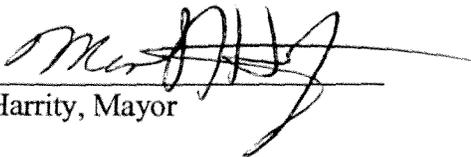
**SECTION 4.** The Planning Staff and the Planning Commission are hereby directed to study, consider and develop any applicable land use regulations for Council consideration in a timely manner. It is City Council's position that this direction constitutes a priority and the timely completion of these matters shall be considered a priority by Staff and the Planning Commission.

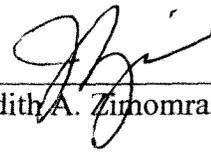
**SECTION 5.** Effective date.

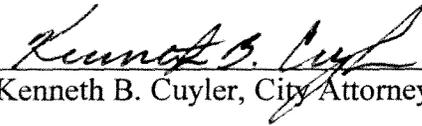
This Resolution shall take effect immediately upon adoption.

DULY PASSED AND ENACTED by the Council of the City of Sanibel, Florida,  
this 21 day of September, 2004.

**AUTHENTICATION:**

  
Marty Harrity, Mayor

  
Judith A. Zimomra, City Clerk

**APPROVED AS TO FORM:**   
Kenneth B. Cuyler, City Attorney

9/14/04  
Date

Vote of Council members:

|          |     |
|----------|-----|
| Harrity  | yea |
| Walsh    | yea |
| Brown    | yea |
| Jennings | yea |
| Workman  | yea |

Date filed with City Clerk: September 23, 2004







DESIGNATED  
AREA

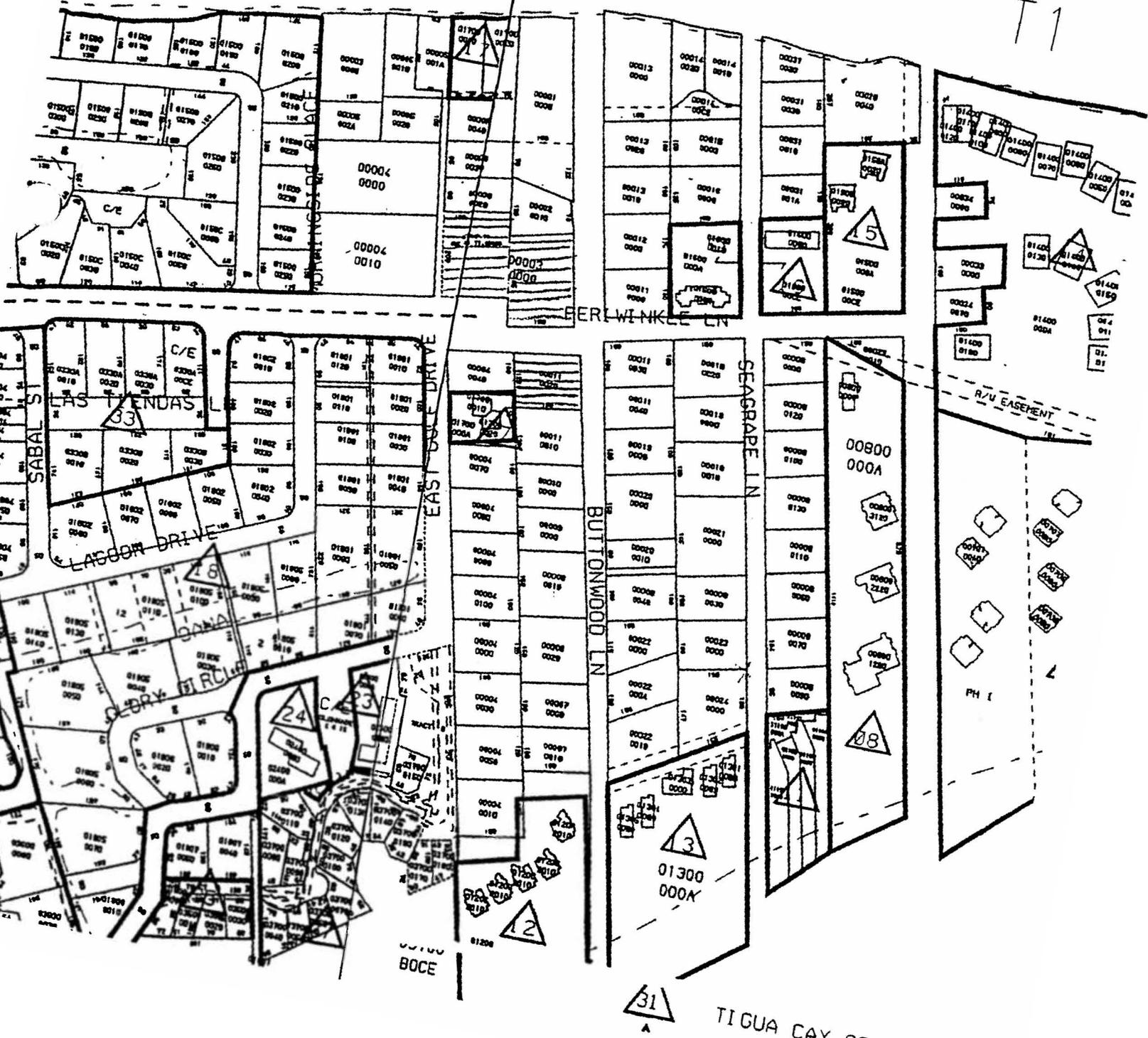
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CITY OF SANIBEL

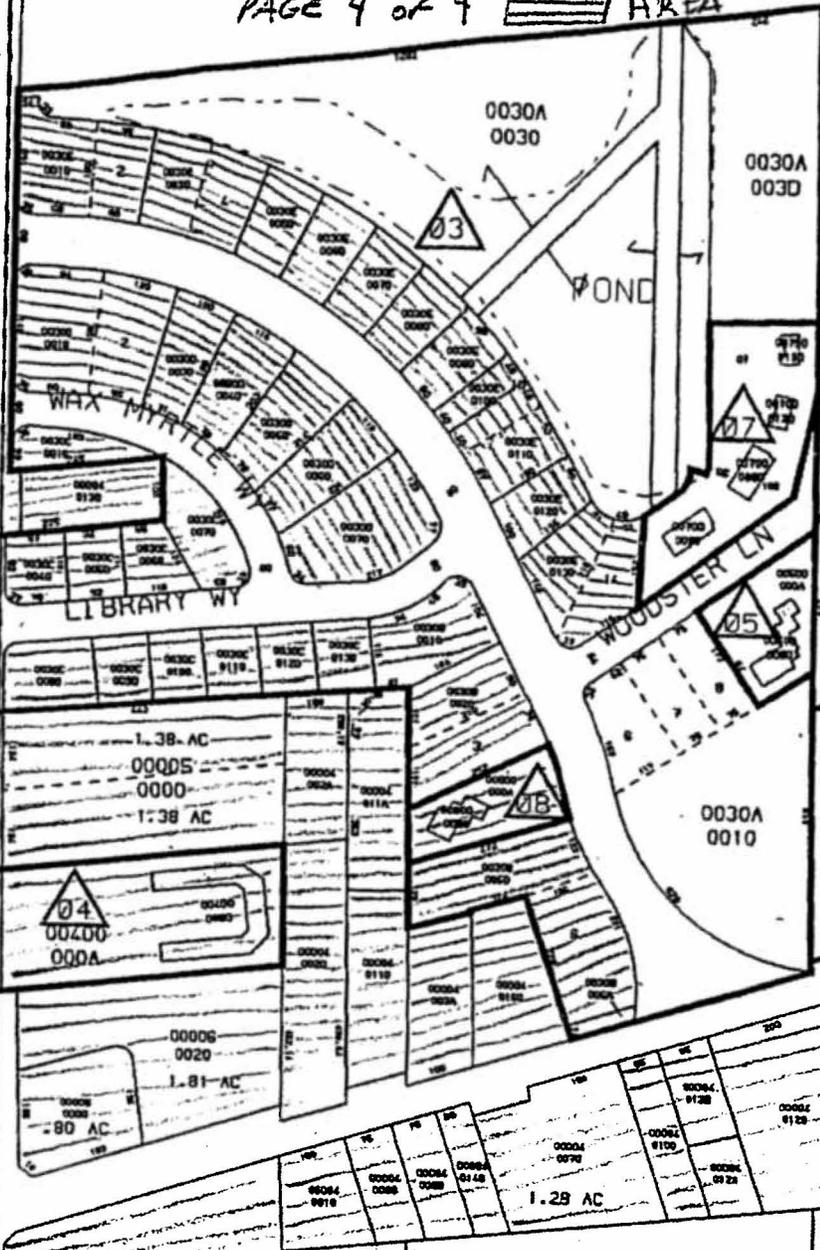
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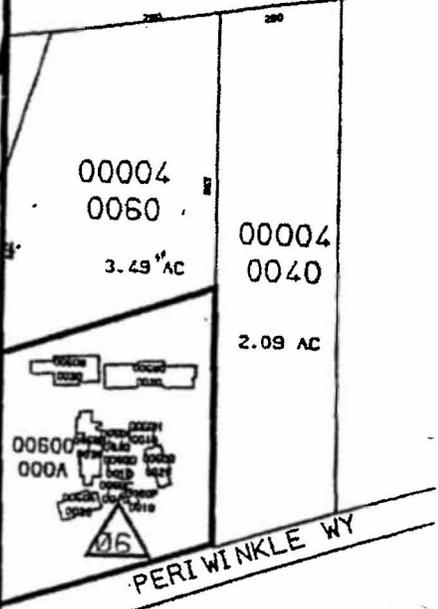
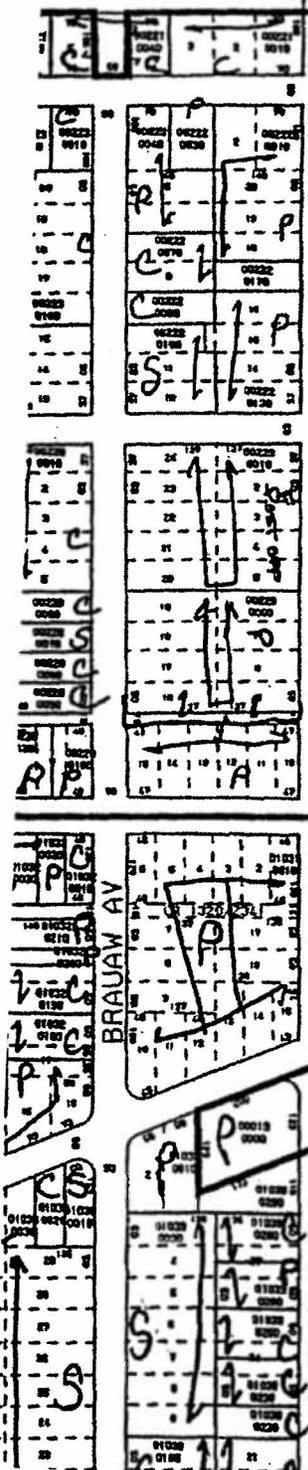
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S26-T46-R22  
CITY OF SANIBEL



The motion carried by consensus.

## **CITY MANAGER'S REPORT**

### **Informational items:**

#### **Hurricane Wilma Recovery Update**

Ms. Zimomra explained that the estimate of expenses for Hurricane Wilma was approximately \$1 million. She also spoke to the following:

- Burn site at Sanibel Gardens
- Portico damage at City Hall
- Lee County would meet threshold for FEMA reimbursement – 75% - State and Locals would split the remaining 25%.
- Fishing pier had suffered erosion at base of the pier and was more serious than initially thought.
- An evaluation was done immediately after Hurricane Wilma as to amount of vegetation down
- Deadline for vegetation debris – November 4, 2005 – Crowder Gulf City contractor
- Waste Pro would pick up if debris was cut, bundled and stacked properly after November 4
- No stump removal
- Staff would evaluate the City's right-of-ways

Ms. Zimomra stated the draft letter for SFWMD was ready for review. She also spoke to the City Manager's personnel evaluation had been delayed. She gave a standard evaluation form to City Council and noted that City Council would do a public evaluation of the City Manager. She further stated that the City Attorney's evaluation would follow the same process.

Councilman Brown spoke to the uniform process for these evaluations and recommended the evaluation not be done in public. Ms. Zimomra stated that any salary adjustment must be done in the public forum for both the City Manager and the City Attorney.

#### **CHR Quarterly Financial Statement**

Ms. Zimomra noted that the Financial Statements statement was in the agenda packet and the new director for CHR would start within the week.

#### **CHR Woodhaven Ribbon Cutting**

Ms. Zimomra stated that the Woodhaven ribbon cutting would be Saturday, November 7, 2005.

## **CITY ATTORNEY'S REPORT.**

### **Status report on letter from the Nave's dealing with granting an extension**

Mr. Cuyler reported the following:

- The Nave's sent a letter declining to grant the extension

Public Comment:

Daniel Dix, Sanibel business owner spoke to the following:

- Do not want a strip mall
- Need to institute careful planning for the Nave property
- Not healthy for one or two people to own all the commercial property on Sanibel
- There was interest in a collaborative movement to purchase the Nave property
- Would like to see positive outcome from the sale of the Nave property
- Encouraged the City to provide resources and expertise to purchase the Nave property

Discussion ensued regarding the City should get an appraisal of the Nave property, the cost of an appraisal, Mr. Cuyler stated that it would take between 8 and 12 weeks and the cost would be approximately \$5 to

\$10 thousand, the previous John Adler study for Sanibel, Mr. Cuyler stated that Mr. Adler could do an analysis, but not the market value, a copy of the Adler 1996 study to Council, Mr. Cuyler would speak to Mr. Adler, impressed by the attitude of small business and the concept of a collaborative movement to purchase the Nave property, the need for a valid figure that could be used for negotiations, Council directed Mr. Cuyler to speak with someone about the value of the property, ways an appraisals was conducted, and the need for a business analysis in addition to an appraisal, the need for staff to meet with professionals to help visioning regarding the Nave property, could non-profit organizations help, and the intent was to benefit the small businesses on Sanibel.

Barbara Cooley spoke to her concerns about the City getting into commercial ventures.

Daniel Dix spoke to not looking for the City to purchase or develop the property, but requesting direction from the City on what to do. He further stated that this was an opportunity.

Council agreed for Councilman Brown to meet with John Adler.

Karen Storijohan, spoke to The Bean being the only business attending the meeting and speaking to the Nave property.

Daniel Dix, spoke again that businesses located beside The Bean were weary of the Nave property being for sale.

Karen Storijohan, spoke a second time to setting time aside at the next Council meeting to discuss the sale of the Nave property.

Discussion ensued regarding Vice Mayor offering to speak to the Main Street Center, a non-profit organization that could possibility offer guidance, and Council agreed.

Ms. Zimomra stated that Vice Mayor Denham should talk with the City Manager and City Attorney prior to the discussion with Main Street.

Discussion ensued regarding starting the appraisal process, initiative for a possible partnership, private sector could hold a meeting and council members could attend, hold discussion during the first City Council meeting in December, the private sector could hold meetings; Councilman Brown could meet with Mr. Adler, Vice Mayor Denham would speak to the Main Street Center and Mr. Cuyler would inquire to the cost of an appraisal and the timing for an appraisal.

Councilman Rothman made a motion, seconded by Vice Mayor Denham, to direct Mr. Cuyler to ascertain what an appraisal would cost and if the cost was no more than \$5,000 then begin the appraisal process.

The motion carried 3 to 2 with Councilman Brown and Councilman Jennings voting in opposition to the motion.

Ms. Zimomra stated that the Small Business Initiative would be presented at the November 17, 2005 City Council meeting.

## **COUNCILMEMBERS' REPORT.**

### **Mayor Johnston's attendance to the League of Cities Legislative Conference in November.**

Mayor Johnston reported the following:

- Effort made to form a Mayor's organization
- Small cities need to attend

Council spoke to sending a letter to the Army Corps of Engineers.



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CITY OF SANIBEL  
ADMIN./LEGIS.

October 19, 2005

Sanibel City Council,

The Nave Family would like to thank the City of Sanibel for their time and consideration of the possible purchase of the Nave property known as Sanibel Square. The Family has decided not to grant the extension of time requested by the Council.

As of today October 19, 2005, the property will be available to be purchased in two separate parcels. The front commercial section, is listed for \$10,000,000, the residential side, at \$5,000,000.

If the City of Sanibel would have any further interest, the Nave Family will cooperate in making the property available for appraisal or planning studies.

Attached is the release form for the refund of \$10,000.

OWNER:

Charles A. Nave, Co-Trustee

Goldie M. Nave, Co-Trustee

Date: Oct 19, 2005

Web Address: [www.c21novelli.com](http://www.c21novelli.com)

- 
- |  |  |   |   |  |
|--|--|---|---|--|
| <input type="checkbox"/> 959 Periwinkle Way<br>Sanibel Island, Florida 33957<br>(239) 395-1200 | <input type="checkbox"/> 12453 S. Cleveland Ave<br>Fort Myers, Florida 33907<br>(239) 931-0600 | <input type="checkbox"/> 4061 Bonita Beach Rd.<br>Bonita Springs, Florida 34134<br>(239) 992-8482 | <input type="checkbox"/> 25243 Elementry Way<br>Bonita Springs, Florida 34135<br>(239) 498-2555 | <input type="checkbox"/> 9955 N. Tamiami Trl.<br>Naples, Florida 34108<br>(239) 514-0900 |
|--|--|---|---|--|

Ms. Zimomra spoke to the basic premise of listening to the residents and gives the opportunity for comments. She also spoke to the struggles of cities that have a season opposite of Sanibel, and how it feeds into the whole economic mix.

Discussion ensued regarding any comments forward them to the City Manager, being scheduling roundtable meetings, and having roundtable discussions in the evenings and Council agreed to schedule roundtable discussions.

Council recessed at 11:22 a. m.

Council reconvened at 11:38 a. m.

#### **NAVE PROPERTY FOLLOW-UP**

##### **City Attorney**

Mr. Cuyler stated that staff was moving forward in receiving quotes for the appraisal of the Nave property. He further stated he had received a bid from John Adler for \$5,000 as well as two other bids that were more than each. He also stated that he wanted to discuss the appraisal with Mr. Adler. He further stated that Council discussed the fact that they would be open to a possible coalition in purchasing the Nave property.

Discussion ensued regarding looking at a previous study done by John Adler, community involvement of the development of the Nave property, ownership of property and the financial package, the vision for the property, Vice Mayor Denham being designated by Council to continue to gather information relative to the Nave property, each Council member having the ability to gather information, Ms. Zimomra stated that Council could direct staff to look at other avenues, if a Wal-Mart or Publix wanted to build in Sanibel would the Land Development Code (LDC) prohibit that construction, and Mr. Cuyler answered that Council would want to analyze if the LDC could even be viewed trying to prohibit a business and if it met all City ordinances, the need to get the interim regulations in final form, LDC does defend general development standards, and the possible mixed use vision for the Nave property.

##### **Public Comment:**

Daniel Dix spoke to Council's hesitation in putting together a plan for the Nave property, a lot of rumors and misinformation, and possible articles explaining Council's position.

Billy Kirkland spoke to not wanting the City being involved in the purchase of the Knave property.

Mr. Cuyler advised that there was no problem with discussing the issue of a developer purchasing the Nave property.

Daniel Dix stated that he felt people were looking to the City for direction with the purchase of the Nave property.

Linda Jambeck spoke to her understanding that Mr. Adler might be opposed to a town center and if so could he be objective.

Discussion ensued regarding the December 14, 2005 re-development meeting and asked if Council would begin the joint meeting at 11:00 a. m.

Council agreed.

Discussion ensued regarding the Mayor's attendance at a Mayoral function being held at the Florida League of Cities Legislative Conference and what the bylaws should include, possibility of representation of the municipality other than the mayor, and Ms. Zimomra stated that the Board should be reflective of its members.

There being no further business the meeting was adjourned at 12:39 p. m.

Respectfully submitted by,

Pamela Smith, CMC  
City Clerk

**CONSENT AGENDA:**

Council pulled b,c,d,e, and j for discussion.

Vice Mayor Denham made a motion, seconded by Councilman Rothman to approve Consent Agenda items a, f, g, and h.

Council approved by consensus.

a. **Approval of minutes - August 02, 2005 Regular Meeting, August 16, 2005 Regular Meeting, August 23, 2005 Special Meeting, and August 25, 2005 Special Meeting**

f. **Request from the Sanibel Fire District to add City of Sanibel as a link to their new website**

g. **Request from the Historical Preservation Committee to serve wine and champagne at the annual holiday party for docents and members Sunday, December 11, 2005 at the Historical Village 950 Dunlop Road**

h. **Approval of Change Order No. 2 for the Sanibel-Captiva Road Project in the amount of \$11,648.45 and authorize the City Manager to execute same (additional asphalt costs and toll charges)**

i. **RESOLUTION 05-172 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2006-016 AND PROVIDING AN EFFECTIVE DATE** (to roll-forward Beginning Fund Balance in the amount of \$125,000 for the Rabbit Road to Sanibel School portion of San-Cap Road Improvement project which was not completed prior to September 30, 2005. See attached memorandum from the Public Works Director requesting this Budget Amendment in order to appropriate funds for the completion of the project in FY 2006)

Ms. Zimomra read the title of Resolution 05-172

Councilman Rothman made a motion, seconded by Vice Mayor Denham, to adopt Resolution 05-172.

Public Comment:  
None.

The motion carried unanimously.

k. **RESOLUTION 05-171 DIRECTING THE PLANNING STAFF TO CONTINUE TO DEVELOP PROPOSED LAND USE REGULATIONS TO BE SUBMITTED TO THE PLANNING COMMISSION AND CITY COUNCIL IN ORDER TO ADDRESS THE LAND USE ISSUES RELATED TO THE COMBINATION OF SMALLER COMMERCIAL UNITS INTO LARGE COMMERCIAL UNITS, AND LAND USE ISSUES RELATED TO CERTAIN NON-RESIDENT ORIENTED RETAIL USES, WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY OF SANIBEL;**

**DIRECTING THAT THE PLANNING COMMISSION PROVIDE RECOMMENDATIONS WITH REGARD TO ANY SUCH LAND USE AND DEVELOPMENT REGULATIONS PROPOSED OR DEVELOPED BY THE CITY PLANNING STAFF; DECLARING AND REAFFIRMING THAT THE DEVELOPMENT OF SUCH REGULATIONS CONSTITUTES "ZONING IN PROGRESS" AND REQUIRING COMPLIANCE WITH INTERIM ARCHITECTURAL STANDARDS AND PROHIBITING THE COMBINING OF SMALL COMMERCIAL UNITS INTO LARGER COMMERCIAL UNITS, AND THE NEW ESTABLISHMENT OF CERTAIN NON-RESIDENT-SERVING RETAIL USES WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY AND THE NEW ESTABLISHMENT OF FORMULA RETAIL USES, UNTIL SUCH LAND USE REGULATIONS CAN BE DEVELOPED BY CITY STAFF, CONSIDERED BY THE PLANNING COMMISSION AND CONSIDERED BY THE CITY COUNCIL; AND PROVIDING AN EFFECTIVE DATE**

Ms. Zimomra read the title of Resolution 05-171.

Vice Mayor Denham made a motion, seconded by Councilman Rothman to adopt Resolution 05-171.

Public Comment:  
None.

The motion carried unanimously.

- ~~b. **Approval of a grant agreement (FDACS# 010509) with the Department of Agriculture and Consumer Services for an urban forestry grant for replanting the Periwinkle Way Corridor in the amount of \$124,973 and authorize the City Manager to execute said contract and RESOLUTION 05-167 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2006-016 AND PROVIDING AN EFFECTIVE DATE** (to appropriate the \$124,972.88 Urban and Community Forestry (U&CF) Grant for the Tarpon Bay Road to Dunlop section of the Periwinkle Way Corridor tree planting pursuant to (U&CF) Grant Application Number 05H-137 approved by Resolution 05-099 on June 21, 2005)~~
- ~~c. **Approval of a grant agreement (FDACS# 010510) with the Department of Agriculture and Consumer Services for an urban forestry grant for replanting the Periwinkle Way Corridor in the amount of \$124,953 and authorize the City Manager to execute said contract and RESOLUTION 05-168 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2006-017 AND PROVIDING AN EFFECTIVE DATE** (to appropriate the \$124,942.50 Urban and Community Forestry (U&CF) Grant for the Dunlop Road to Dixie Beach Boulevard section of the Periwinkle Way Corridor tree planting project pursuant to U&CF Grant Application Number 05H-139 approved by Council Resolution 05-099 dated June 21, 2005)~~
- ~~d. **Approval of a grant agreement (FDACS# 010511) with the Department of Agriculture and Consumer Services for an urban forestry grant for replanting the Periwinkle Way Corridor in the amount of \$124,953 and**~~

CITY OF SANIBEL  
RESOLUTION NO. 05- 171

A RESOLUTION DIRECTING THE PLANNING STAFF TO CONTINUE TO DEVELOP PROPOSED LAND USE REGULATIONS TO BE SUBMITTED TO THE PLANNING COMMISSION AND CITY COUNCIL IN ORDER TO ADDRESS THE LAND USE ISSUES RELATED TO THE COMBINATION OF SMALLER COMMERCIAL UNITS INTO LARGE COMMERCIAL UNITS, AND LAND USE ISSUES RELATED TO CERTAIN NON-RESIDENT ORIENTED RETAIL USES, WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY OF SANIBEL; DIRECTING THAT THE PLANNING COMMISSION PROVIDE RECOMMENDATIONS WITH REGARD TO ANY SUCH LAND USE AND DEVELOPMENT REGULATIONS PROPOSED OR DEVELOPED BY THE CITY PLANNING STAFF; DECLARING AND REAFFIRMING THAT THE DEVELOPMENT OF SUCH REGULATIONS CONSTITUTES "ZONING IN PROGRESS" AND REQUIRING COMPLIANCE WITH INTERIM ARCHITECTURAL STANDARDS AND PROHIBITING THE COMBINING OF SMALL COMMERCIAL UNITS INTO LARGER COMMERCIAL UNITS, AND THE NEW ESTABLISHMENT OF CERTAIN NON-RESIDENT-SERVING RETAIL USES WITHIN SPECIFIED COMMERCIAL AREAS OF THE CITY AND THE NEW ESTABLISHMENT OF FORMULA RETAIL USES, UNTIL SUCH LAND USE REGULATIONS CAN BE DEVELOPED BY CITY STAFF, CONSIDERED BY THE PLANNING COMMISSION AND CONSIDERED BY THE CITY COUNCIL; AND PROVIDING AN EFFECTIVE DATE.

**WHEREAS**, a Vision Statement was adopted as an integral element of the Sanibel Plan; and

**WHEREAS**, said Vision Statement establishes a hierarchy of values with "sanctuary" and "community" being higher than "attraction"; and

**WHEREAS**, the City desires to retain the local character of its Commercial Districts and maintain a balance between the residential and resort (tourist) segments of the community, so that Sanibel remains an attractive and desirable residential community; and

**WHEREAS**, commercial developers often view Sanibel as primarily a nonresident commercial market; and

**WHEREAS**, left unregulated, this trend can be expected to continue to the point that Sanibel could become a resort-oriented market, contrary to public desires; and

**WHEREAS**, demand, preferably resident demand, needs to be found for surplus retail space; and

**WHEREAS**, it would be counter-productive to attempt to fill these spaces by stimulation of additional activity from off-island; and

**WHEREAS**, it can and should be expected that the residential component of the Sanibel community will grow larger over time; and

**WHEREAS**, businesses that primarily serve the resort community tend to demand larger spaces with greater visibility and can afford to pay higher rents than those primarily serving the residential community; and

**WHEREAS**, the City intends to develop, in a timely manner, regulations intended to retain commercial land uses in its existing General Commercial District that are located in outlying areas, but not including the areas in the General Commercial District fronting on Periwinkle Way from Causeway Boulevard to Tarpon Bay Road; and

**WHEREAS**, the City intends to develop land use regulations, in a timely manner, intended to retain the local character of its Commercial Districts, including restrictions on "Formula Retail" uses and architectural standards for all development and redevelopment of commercial land uses and to major improvements to the exterior of existing commercial buildings; and

**WHEREAS**, it will require reconsideration of certain development regulations relating to permissible uses, architectural standards and unit sizes in certain commercial areas of the City; and

**WHEREAS**, more time is needed for consideration to assure Sanibel's regulations do not discourage the continuation of existing local businesses, or establishment of new businesses, serving Sanibel's residential sector; and

**WHEREAS**, it is critical that compliance with interim architectural standards commence immediately, that aggregation of commercial spaces, as described herein, and the establishment of certain new non-resident-serving retail uses, and new formula

retail uses cease in the interim while such Zoning-in-Progress is developed for consideration and, as appropriate, legislation by City Council with the requisite public input and public hearings;

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Sanibel, Florida:

**SECTION 1.** The City Council hereby determines that it is appropriate and in the best interests of the citizens of Sanibel to study, consider and develop land use regulations to address certain land use matters as set forth more particularly in this Resolution. Until such time as the City Council has an opportunity to consider such recommendations and proposed land use regulations developed and proposed by the Planning Staff and submitted for consideration by the Planning Commission and ultimately the City Council, the following interim regulations shall be in effect:

1. The following development shall be prohibited:
  - a) The combining of commercial units if the resulting unit size would exceed 2000sf in commercial floor area or the development or redevelopment of new commercial units that exceed 2000sf in commercial floor area.
  - b) The combining of commercial units if the resulting unit would have more than 50 linear feet or more of commercial unit frontage within 200' of the street right-of-way or the development or redevelopment of new commercial units that have more than 50 linear feet or more of commercial unit frontage within 200' of the street right-of-way.
2. The following uses shall be prohibited:
  - a) The establishment of any of the following retail uses within those commercial areas designated on attached Exhibit "A":
    - Apparel and apparel accessory stores;
    - Children's and infant's wear stores;

Gift, common novelty and souvenir shops, including shell shops;  
Jewelry stores.

- b) The establishment of any new residential dwelling units in the outlying areas of the General Commercial District. This does not include the areas in the General Commercial District fronting on Periwinkle Way from Causeway Boulevard to Tarpon Bay Road.
- c) Any Formula Retail Use, except for financial and medical uses, gas and service stations, non-formula restaurants and any business that initially stated in the City of Sanibel. Formula Retail Uses is defined in Section 2.
- d) This Resolution is not intended to affect, and shall not be construed to affect, existing retail uses of the types set forth above, whether or not located in the commercial areas designated on attached Exhibit "A".

3. The following architectural standards shall apply to all development or redevelopment of commercial land uses, and to major improvements to the exterior of existing commercial buildings:

- a) Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.
- b) Commercial buildings shall not appear monolithic.
- c) Commercial buildings shall have architectural features and patterns that provide visual interest from the perspective of the pedestrian, bicyclist and motorist, appear to reduce building mass, and recognize and respect local character and site conditions.
- d) Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses, if any. The following provides a basis for general standards:

1. Facades shall be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls.
  2. Articulation of facades and roofing shall be used to vary the building's mass, in height and width, so that it appears to be divided into distinct elements and details.
  3. Facades shall provide, through the use of detail and scale, visual interest that is consistent with the character of the community.
- e) All rooftop mechanical equipment protruding from the roof must be screened from public view by integrating it into a building and roof design.

**SECTION 2.** Formula Retail Use means a type of retail sales activity or retail sales establishment that is required by contractual or other arrangement to maintain any of the following:

Standardized name of business

Standardized business signage

Standardized architecture

Standardized (formula) array of services or merchandise

Trademark

Logo

Uniforms

**SECTION 3.** In the event that any person or other entity is denied a Development Permit, Building Permit, Occupational License or other City approval as a direct result of the prohibitions set forth above, such person or other entity may appeal such denial to City Council. The City Council may authorize such approval as it deems necessary or appropriate upon a finding that such approval is not contrary to the long term goals of this Resolution and is not disadvantageous to the health, safety and welfare of the general public.

**SECTION 4.** The Planning Staff is hereby directed to study, consider and, as appropriate, propose land use regulations for consideration by the Planning Commission and the City Council with respect to those matters set forth in the recitals of this Resolution, and, at least, the following issues:

- (a) The size of commercial units and the size of the combination of small commercial units.
- (b) The length of commercial unit frontage and the length of the combination of small commercial units.
- (c) The establishment of certain retail uses within the area described on attached Exhibit "A", or such other commercial locations as may be recommended through proposed land use regulations, such retail uses may include, but not be limited to, apparel and apparel accessories stores, children's and infant's wear stores, gift, novelty and souvenir shops, including shell shops, and jewelry stores.
- (d) Restrictions, or in some cases prohibitions, on formula retail uses.
- (e) Architectural standards for all development and redevelopment of commercial land uses and to major improvements to the exterior of existing commercial buildings.

**SECTION 5.** The Planning Staff and the Planning Commission are hereby directed to study, consider and develop any applicable land use regulations for Council consideration in a timely manner. It is City Council's position that this direction constitutes a priority and the timely completion of these matters shall be considered a priority by Staff and the Planning Commission.

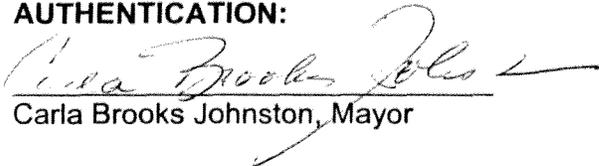
**SECTION 6.** Resolution no 04-074 is hereby amended and to the extent of any conflict, is hereby superceded by this resolution.

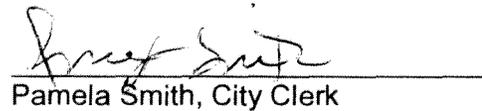
**SECTION 7.** Effective date.

This Resolution shall take effect immediately upon adoption.

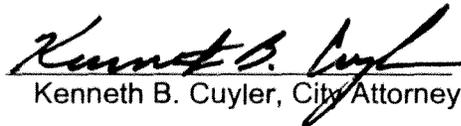
DULY PASSED AND ENACTED by the Council of the City of Sanibel, Florida,  
this 6th day of December, 2005.

**AUTHENTICATION:**

  
Carla Brooks Johnston, Mayor

  
Pamela Smith, City Clerk

**APPROVED AS TO FORM:**

  
Kenneth B. Cuyler, City Attorney

11/29/05  
Date

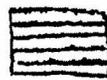
Vote of Council members:

Johnston       yea  
Denham         yea  
Brown           yea  
Jennings        yea  
Rothman         yea

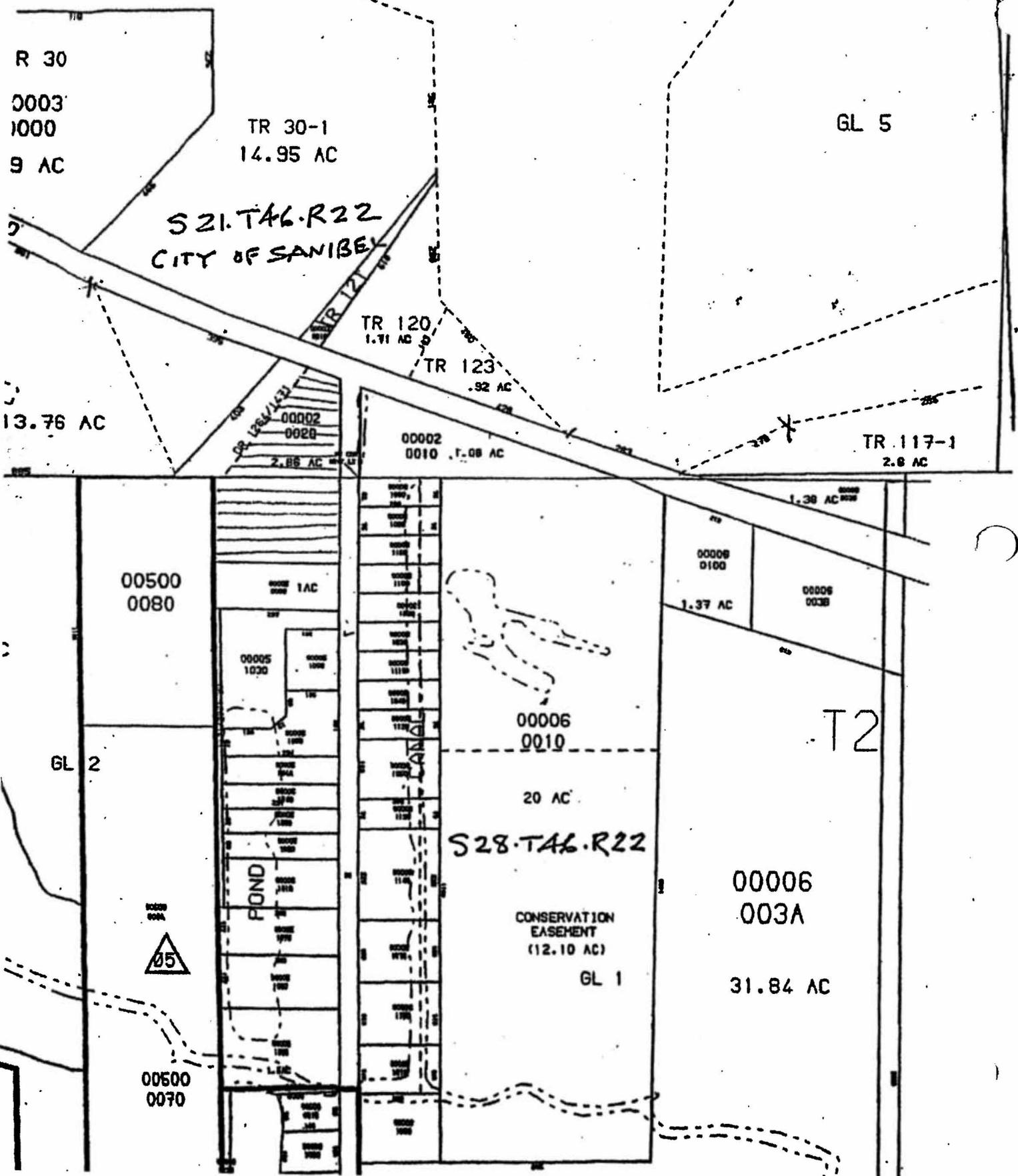
Date filed with City Clerk: December 06, 2005



EX 'A'  
PAGE 2 OF 4



DESIGNATED  
AREA



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TR 30-1  
14.95 AC

GL 5

S21-T46-R22  
CITY OF SANIBEL

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TR 123  
.92 AC

13.76 AC

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00020  
2.86 AC

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0010 .7.08 AC

TR 117-1  
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S28-T46-R22

POND

CONSERVATION  
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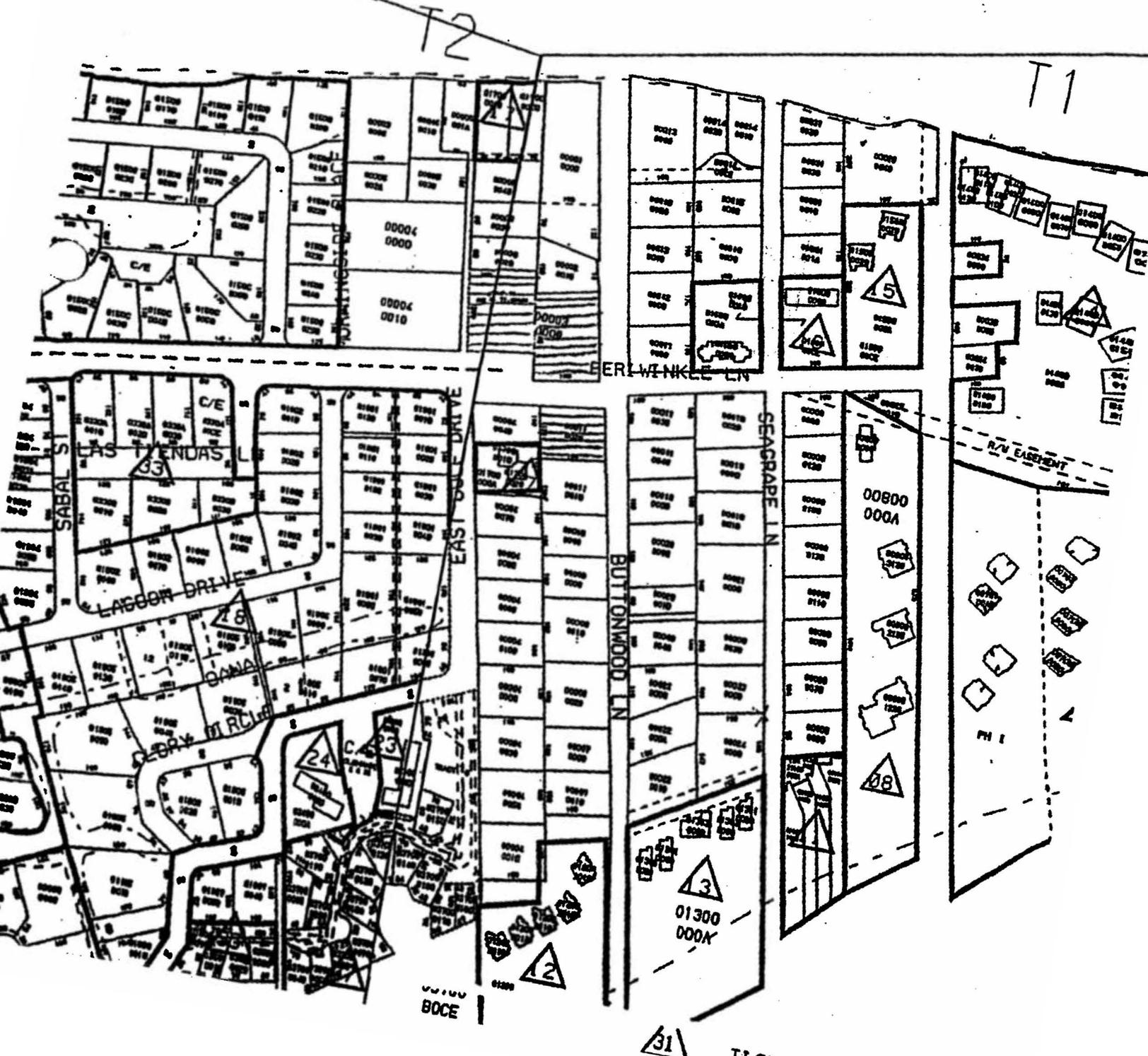


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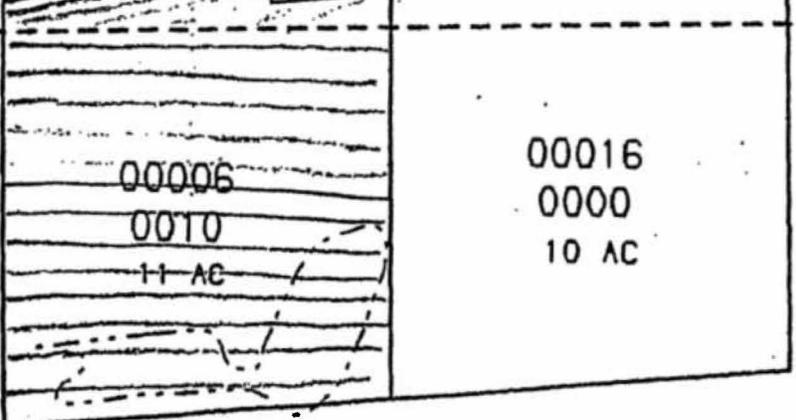
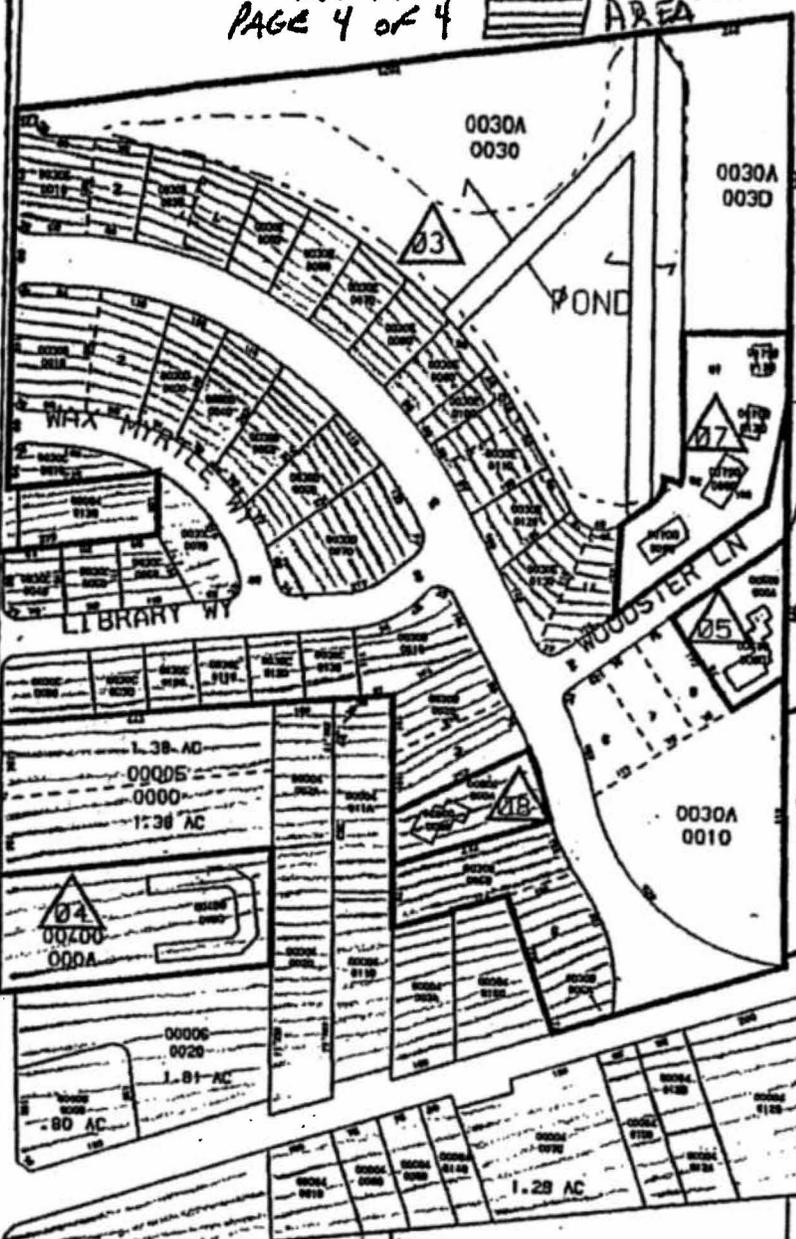
S21.T46.R23  
CITY OF SANIBEL



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S26-T46-R22  
CITY OF SANIBEL

**CITY COUNCIL/PLANNING COMMISSION WORKSHOP  
DECEMBER 14, 2005**

Vice Mayor Denham called the meeting to order at 6:00 p. m.

Councilman Brown spoke to members being absent that voted for the evening meeting.

Councilman Rothman made a motion, seconded by Vice Mayor Denham, that Mayor Johnston and Councilman Jennings be excused from the meeting

The motion carried 2 to 1 with Councilman Brown voting in opposition.

Members present: Vice Mayor Denham, Councilman Brown, Councilman Rothman, Commissioner Veenschoten, Commissioner Sprankle, Commissioner Valiquette, Chairman Samler, Commissioner Billhiemer and Commission Marks. Commissioner Tony Lapi was absent.

Chairman Jack Samler gave the Invocation.

Councilman Brown led the Pledge of Allegiance.

Ms. Zimomra reminded Council that this was the

Councilman Rothman explained that the Army Corps of Engineers stated that when Lake Okeechobee's level was less than 14 feet the water releases would be pulsed. He further stated that all the studies show that the lower limit was 500 feet per second and the upper limit was 1,600 feet per second.

Discussion ensued regarding Keen Lollar calling Councilman Brown with the information and he thought that Councilman Rothman should be the person to make a statement, pulsating the water was better for the estuaries, but good enough, and the Army Corps of Engineers working through a change of command.

**Review of Workshop Agenda and Objectives**

**Redevelopment Study**

**Summary of Key Issues or "Forces" from November 29, 2005 Workshop**

**Redefining Redevelopment – Implementation of the Sanibel Plan**

**Implementation Strategies**

**Current Commitments**

**Potential Strategies**

**Next Steps**

**Preparation and Review of a Draft Sanibel Plan Implementation Program**

Mr. Bob Duffy, Planning Director spoke to the following:

- 2<sup>nd</sup> workshop on re-development to further define the issues and set priorities
- Provided a summary of the November 29, 2005 workshop
- Worksheets on major issues and forces impacting the Sanibel Plan
- Worksheets on implementation priorities, current commitments and potential Strategies
- Preliminary Summary of work program and schedule for completion of the EAR amendments to the Sanibel Plan
- Short and long range strategies
- Define a manageable set of priorities for the next 18 months

Discussion ensued regarding enforcing existing code i.e. town center, recommendation to have guidelines for a possible town center, no definitive plan had been established for a town center, the need to enforce the code, and Planning Commission by statute had a sub-committee that identifies those codes that need attention.

| MAJOR ISSUES AND FORCES | SANIBEL PLAN GOALS, POLICIES & OBJECTIVES | 2004/2005 EAR REPORT | WORK PROGRAM IMPLEMENTATION |                  |          |
|-------------------------|---|----------------------|-----------------------------|------------------|----------|
|                         |   |                      | STRATEGIES                  | RESPONSIBILITIES | SCHEDULE |

**Retention/Attraction of Island Serving Businesses (Cont'd.)**

Potential

Small Business Retention and Attraction Strategy report based on results of Round Tables, surveys and outreach associated with Small Business Initiative.

City Manager  
Department of Planning

September, 2006

Prepare a Master Plan for the Town Center/Town Square (Periwinkle-Dunlop-Tarpon Bay-Palm Ridge) area to address: small business retention; coordination of public and private investment and redevelopment; and preservation of the rural character and scenic appearance of the Island.

Department of Planning  
City Departments

TBD

PRELIMINARY – FOR DISCUSSION ONLY

**PART 4  
WORK PROGRAM  
COMPLETION OF 2006 EVALUATION AND APPRAISAL REPORT (EAR)-BASED  
AMENDMENTS TO THE SANIBEL PLAN**

**DEPARTMENT OF PLANNING  
DECEMBER 14, 2005**



**City of Sanibel  
Redevelopment Workshops**

*Preliminary – For Discussion Only*

**SUMMARY REPORT  
Respondent Rankings, Issues, Strategies and Comments  
from Redevelopment Worksheets**

Source: Completed Worksheets Submitted by City Council and Planning Commission

January 31, 2006

**Issues and Potential Strategies**

**Preliminary Rankings from  
Worksheets Submitted\***

**Issue: Town Center/Town Square Master Plan**

**1(1) 3(1) 4(1) 5(2) 6(2) 8(1) 10(1)**

**Strategy:** Prepare Master Plan for the Town Center/  
Town Square (Periwinkle-Dunlop-Tarpon Bay-Palm Ridge)  
area and adopt amendments to the Land Development Code  
to address: small business retention; coordination of public  
and private investment and redevelopment; and presentation  
of the rural character and scenic appearance of the Island.

**Issues, Strategies and Comments from Worksheets**

- Should be addressed before “Commercial Conversion” and “Commercial Design, Functional Obsolescence or Non-conformity of Commercial Buildings” are addressed.
- Need to be included as part of the Periwinkle Way Plan.
- Planning Commission has had this issue for many years. There seems to be little interest in the community for development of a Town Square. Sanibel may not need it.
- Need to also address preservation of Historic, Cultural and Architectural character.
- Include conceptual pedestrian oriented town center design for Nave property.
- Broaden to “Main Street” to incorporate businesses from Causeway to Town Center and other outlying properties.

**\*NOTE:** Worksheet rankings define how the number of respondents (in parenthesis) ranked the Issue and Strategies. For example, 1(1) = 1 (respondent) ranked the Issue and Strategies as the number 1 priority.

**Worksheets for Sanibel Redevelopment Issues and Potential Strategies**

**Issues and Potential Strategies**

**Preliminary Ranking**

*Issue:* **Town Center/Town Square Master Plan**

*Strategy:* Prepare Master Plan for the Town Center/Town Square (Periwinkle-Dunlop-Tarpon Bay-Palm Ridge) area and adopt amendments to the Land Development Code to address: small business retention; coordination of public and private investment and redevelopment; and preservation of the rural character and scenic appearance of the Island.



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*Issue:* **Gateway East**

*Strategy:* Prepare Gateway East design, improvement and redevelopment plan for area surrounding intersection of Causeway Blvd., Lindgren Blvd. and Periwinkle Way.

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*Other Issues:* \_\_\_\_\_

*Strategy:*  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Table 1**

| <u>Issues/Strategies</u>   | <u>1</u> | <u>2</u> | <u>3</u> | <u>4</u> | <u>5</u> | <u>6</u> | <u>7</u> |
|--|----------|----------|----------|----------|----------|----------|----------|
| <b>Design and Compatibility of Single Family Residential Construction</b>  | 1        | 1        | 1        | 1        |          |          | 2        |
|  <b>Town Center/Town Square Master Plan</b> | 1        |          | 1        | 1        | 2        | 2        |          |
| <b>Transportation System Performance and Capacity</b>  |          | 3        |          |          | 1        |          | 1        |
| <b>Guidelines for Preservation of Historic, Cultural and Architectural Character</b>   |          | 1        | 2        |          |          | 1        |          |
| <b>Gateway East</b>  |          |          |          | 1        | 1        |          | 1        |

PINE ISLAND SOUND

SAN

PINE ISLAND SOUND

TARPON BAY

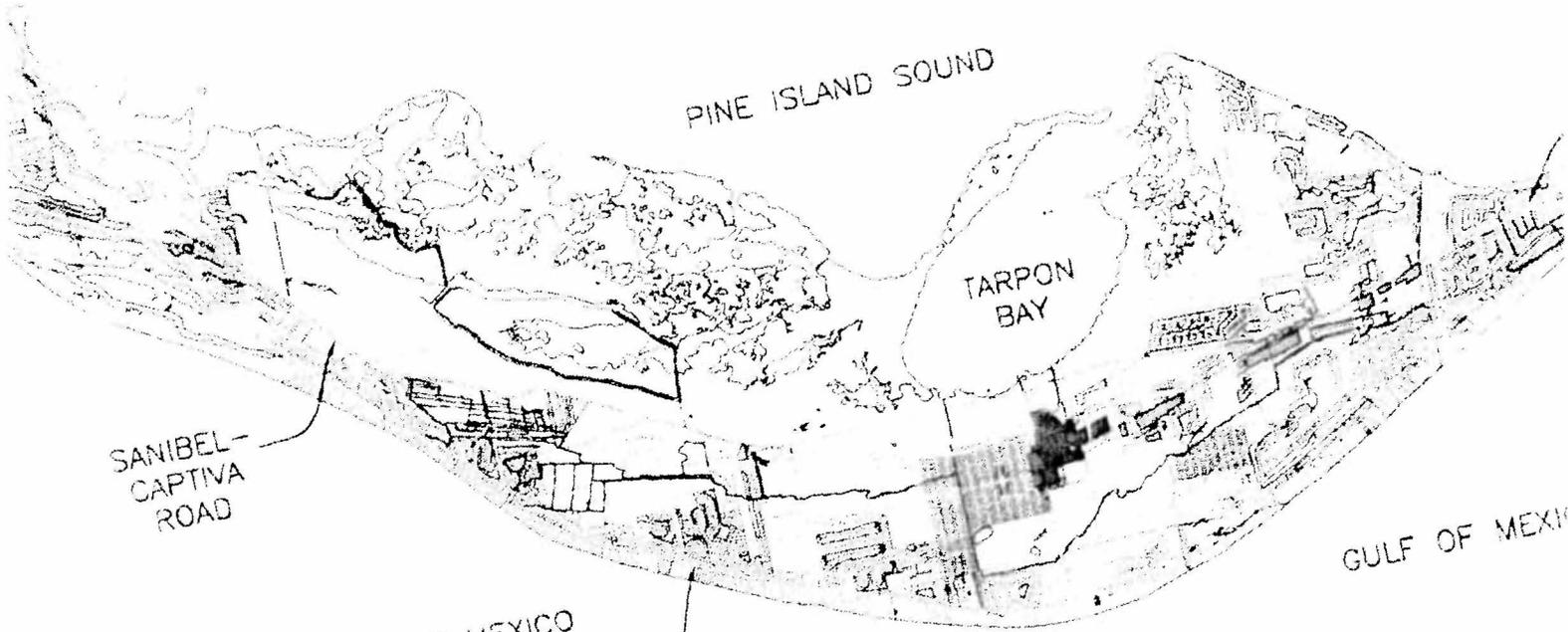
GULF OF MEXICO

SANIBEL-CAPTIVA ROAD

GULF OF MEXICO

GULF DRIVE

-  GENERAL COMMERCIAL DISTRICT
-  TOWNCENTER COMMERCIAL DISTRICT
-  TOWNCENTER DISTRICT



March 09, 2006



# City of Sanibel

Planning Department

## MEMORANDUM

**DATE:** March 2, 2006

**TO:** Judie Zimomra, City Manager

**FROM:** Robert J. Duffy, AICP, Planning Director

**SUBJECT:** Preliminary Redevelopment Planning Work Program

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Enclosed is the Preliminary Redevelopment Planning Work Program for consideration by City Council and the Planning Commission at the March 9, 2006 joint workshop.

Part 1 of the enclosed report provides an overview of the objectives and results of the joint redevelopment workshops and an introduction and summary of the preliminary work programs.

Parts 2 and 3 present five general work programs based on the following summary of the conclusions and recommendations from the January 31, 2006 joint work shop.

1. Further review and consideration should be given to the following issues that were ranked as potential priorities by the worksheets submitted by City Council and the Planning Commission:
  - Non-conforming residential structures and uses within the Gulf Beach and Bay Beach zones.
  - Retention and improvement of resort hotels, motels and related accommodations and facilities.
  - Conversion of commercial properties to residential and non-commercial uses.
  - Design, functional obsolescence and non-conformity of commercial buildings.
  - Design and compatibility of single family residential construction.

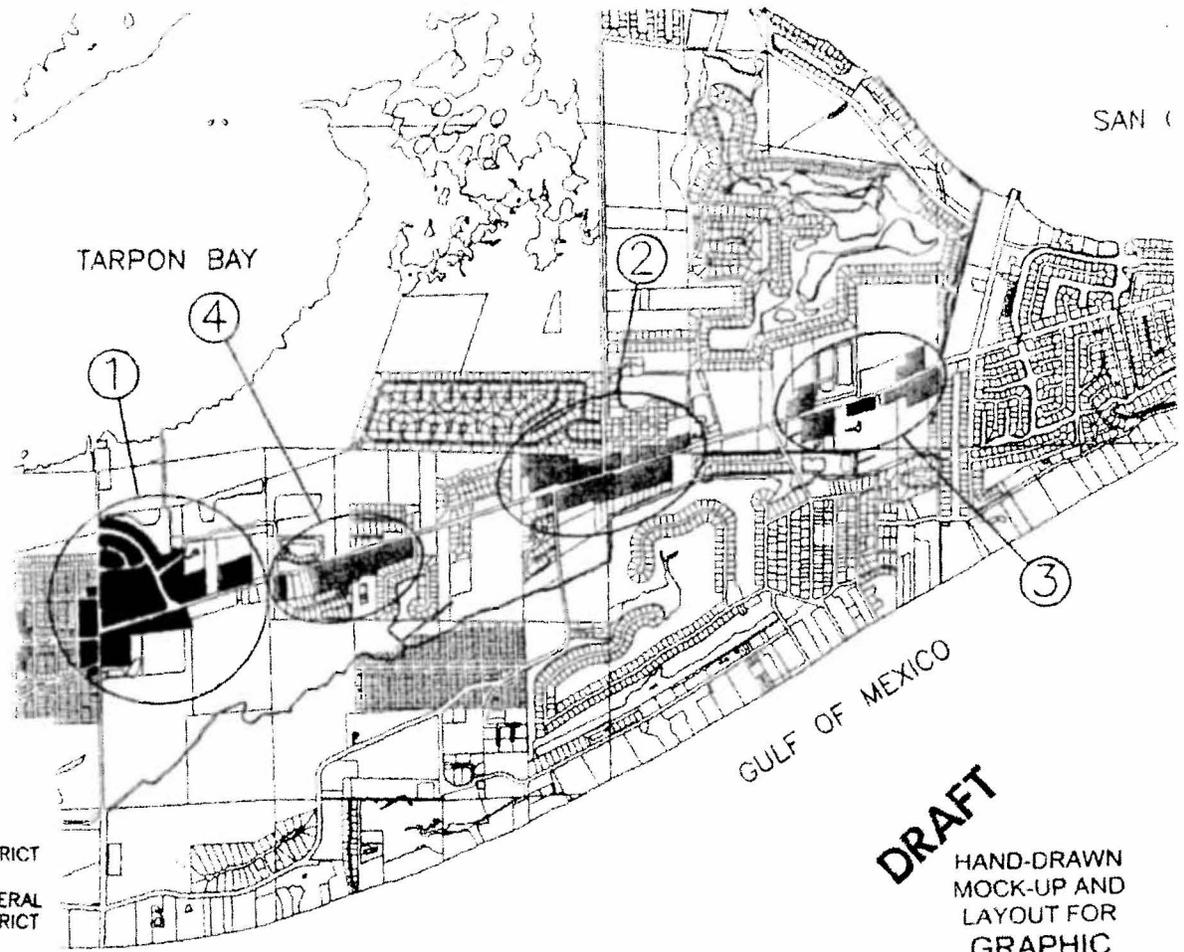


b) **The specific plans will focus on each of the five commercial “nodes” or clusters** (See Figure 1) along Periwinkle Way. The plans will be developed in phases, beginning with the Town Center District planning area, to insure: effective deployment of staff and financial resources; detailed analysis of both the unique and common issues facing each commercial node and the entire commercial district; and that a successful and detailed plan can be produced to guide private and public investment decisions and the formulation of appropriate amendments to the Land Development Code.

c) **At a minimum, each specific plan will include the following elements:** detailed surveying and GIS based mapping; identification and evaluation of key physical, environmental and economic conditions, trends and issues; illustrated vision and goal statements; evaluation of alternative concept plans and strategies; specific plan for future land use, environmental protection and enhancement, commercial redevelopment and capital improvements; and amendments to the Land Development Code, including design guidelines.

d) **An open and extensive public process** will be conducted during the formulation of each the formulation of each specific plan. The process will actively involve property owners, businesses, residents, City department, other stake holders and the Sanibel community during each phase of the work program. The public process will be structured to engage City Council and the Planning Commission during the identification of key commercial conditions and issues, evaluation of alternative strategies and, most importantly, during the formulation of key policy and planning decisions.

Figure 1-A outlines the general work program and planning process associated with the above objectives. Figure 1 delineates the general planning area and specific focus areas or sub-areas to be addressed as part of the work program and planning process.



**LEGEND**

-  GENERAL COMMERCIAL DISTRICT
-  TOWNCENTER GENERAL COMMERCIAL DISTRICT
-  TOWNCENTER LIMITED COMMERCIAL DISTRICT

**DRAFT**  
 HAND-DRAWN  
 MOCK-UP AND  
 LAYOUT FOR  
 GRAPHIC

**The Five (5) Commercial Nodes**  
 Along Pertwinkle Way

- Page 26 reflects the construction of the Sanibel Causeway and the possible 2-lane off component for evacuation purposes

Discussion ensued regarding Lee County never allowing 2-lanes off for evacuation, should work with Lee County and the need for 2-lanes off at the tolls, no permanent re-striping for 2-lanes off, and Lee County not preparing for 2-lanes off.

- Page 28 reflects 130 mph building code under the Florida Building Code

Discussion ensued regarding the Dade County wind speed, which was the same as the Florida Building Code.

- Page 29 reflects changes in the flood maps by changing the A Zone to AE Zone
- Page 29 and Page 30 removed some of the redundancies
- The need to change inaccurate numbering
- Page 32 no change in gulf statement Objective 1 through 3; Policy 3.8 changed speaking to a consideration in the EAR process saying “to secure improvement to the Lee County bridges and since the project was near completion the statement was changed to, “to ensure adequate operation and maintenance of Lee County bridges

Discussion ensued regarding page 32 using the past tense when speaking to bridge elevations and should reflect the present tense, and statement on page 32 “be of sufficient width to permit motor vehicle traffic to bypass disable vehicles,” had already been incorporated in the construction and should reflect the change.

- Page 34 policy deleted, “new structures that are a type which have common spaces will be developed in a manner amenable for uses emergency refuges of last resort”
- Page 35 Policy 3.6 deleted the phrase, “the Land Development Code needs to be monitored to ensure it is responsive to the threats posed by tropical storms”
- Included a graphic of Sanibel’s hurricane evacuation routes

Public Comment:

Hazel Schuller spoke to beach paraphernalia.

Council decided to discuss the following:

### **Draft Request for Proposals (RFP) to secure professional services for Periwinkle Way West – Town Center District**

Mr. Duffy spoke to the following:

- Draft memo explaining the proposed RFP for professional services to undertake a commercial district plan in a defined area
- Area includes the western portion of Periwinkle Way west of Dunlop Road, Tarpon Bay Road and Palm Ridge Road
- The original draft proposal included the word town center, but the revised proposal would be for a comprehensive commercial district plan
- RFP structured to incorporate 7 key objectives
  - Consistency with the Sanibel Plan
  - Stems from the joint City Council/Planning Commission meetings
  - Redevelopment work program would be brought to City Council in 2 parts
  - City Council key goal for 2006/07

Discussion ensued regarding the map including Periwinkle Place, concern of redevelopment and where the redevelopment was headed, was the plan like Celebration, and why should the City pay a consultant.

Mr. Duffy answered:

- There was a series of joint City Council/Planning Commission meetings that resulted in a work plan
- Planning Department issued several detailed reports and how the redevelopment would be accomplished
- The project stemmed from the Sanibel Plan particularly in the area of Palm Ridge and Tarpon Bay Road that would translate the policies, goals and objectives of the plan that would enable if additional amendments to the Sanibel Plan
- The skill set, level of citizen involvement, level of design, economic and planning expertise would require outside services
- Consultants would work in partnership with staff
- A public process would be important to reflect the values, the Vision Statement and the goals and objectives of the Sanibel Plan
- Consistent with the City Charter as it applies to density

Discussion ensued regarding if Council wanted to be proactive or reactive, force people to develop in the way the City wants, town center a misnomer, Mr. Duffy spoke to the City taking control of the future in the above-mentioned areas as land was developed over time to ensure the Vision Statement remains intact, depends on businesses in the area to initiate redevelopment, last large parcel privately owned that might one day be developed and this plan would provide a framework, the City would not fund the redevelopment, but use as a template for redevelopment, would work as the Periwinkle Corridor plan, identified the commercial area as far as Tahitian Gardens what about the remainder, Mr. Duffy spoke to previous identification of 3 target areas; 1) Causeway Boulevard, Lindgren Boulevard and Periwinkle Way intersection defined as gateway east, 2) Jerry's at Casa Ybel Road and Dixie Beach Boulevard the second largest commercial concentration, 3) Periwinkle Place, Forever Green and Tahitian Gardens was a linkage between the commercial centers due to floor area and consumer activity, linkage between the commercial areas, governmental, cultural, civic, historical and civic corridor, change the focus to incorporate Council comments, began the focus due to small business failure after 9/11 and Hurricane Charley, to look at ways that business owners paying rent and ownership of property, Mr. Duffy stated that the plan would try to provide incentives to ensure the appropriate retention of island serving businesses unique to Sanibel, the need for an economic component for small business tenants, and City Council to weigh in on the public process.

Public Comment:

David Berger spoke to language leading to a different understanding of a town center.

Mr. Duffy stated the language was an attempt to have a clearer understanding of the plan and over an extensive amount of time would allow the community input.

Discussion ensued regarding a town center being included in the Sanibel Plan and the need to remove town center from the Sanibel Plan, impacts of potential real estate deals with the proposed plan, the need for a medical center on the island, value of properties would increase with possible adoption of proposed plan, build in to the plan the ability of Council to discontinue at any time, consultants not knowing Sanibel, Mr. Duffy explained that the consultant would be given a copy of the Sanibel Plan and demonstrate an understanding of the community, the Sanibel Plan and listening, responding to citizens, and purporting ideas from another community.

Miriam Kaplan spoke to having a town center that would have retail space, senior living quarters, residential clusters and multi-family dwellings for families and workforce housing.

Sidney Picker agreed with the prior speaker's comment.

Mr. Duffy stated that on page 3 were objectives that were defined to introduce opportunities for mixed uses.

Hazel Schuller spoke to mitigation in the proposal. She further spoke to a past mitigation when Sedgemoor was built off West Gulf Drive. She also spoke to eminent domain possibilities.

Jane Picker asked for an explanation of how things would work together.

Mr. Cuyler stated that when the RFP was returned Council would need to discuss a zoning-in-progress would be put in place as Council reviews new regulations.

Bernie Lubetkin spoke to consultant following Council ideas and the need for Council to consolidate those ideas.

Mr. Cuyler stated that consultants would give Council the opportunity for expertise and options.

Councilman Rothman made a motion, seconded by Vice Mayor Denham, to incorporate Council discussion and bring back to Council at the December 19, 2006.

The motion carried unanimously.

Council decided to discuss the following:

## **NEW BUSINESS**

### **Requesting Council direction on the upcoming funding cycle for State grants for Workforce Housing:**

Mr. Mike Cuscaden, President of CHR spoke to Council regarding to opportunities as follows:

- November 01 memo for possible developments on Court Street and Airport Way
- Not requesting approval of the concepts
- Would like to have Council's approval to apply for grants
- If funds were awarded, funds could be returned

Discussion ensued regarding allowing CHR to proceed to see if funding could be achieved, City owns the airport land, 1466 Court Place was owned by CHR, airport land part of the interior wetlands zone, City needs to move forward to allow CHR to see if they could qualify for funds for workforce housing, Horizon Council created a work plan for workforce housing, Mr. Marcelias stated the map could be change not to call wetlands as they were, wetlands, Mr. Cuscaden stated that a piece of interior wetlands was included and then removed to build the Woodhaven project, Mr. Cuyler stated that if Council was interested in pursuing Airport Road then those items could be discussed, draw up application in 2 ways for Council consideration and work on paperwork to transfer properties that CHR was currently leasing.

Council asked that Mr. Marcelias prepare the grant application with and without the Airport Road property.

Mr. Marcelias spoke to the disposition for purchase and rehabilitation of Island Inn Road and Algiers for workforce housing.

Ms. Zimomra stated that Council discussed the question of the City being a landlord when the employee leases come up for renewal.

Mayor Johnston stated it was clear that Council wanted to review the grant application at the December 05 Council meeting and clear that Council suggests CHR go ahead and begin the procedure to lease the properties as described above for workforce housing.

Council continued their previous discussion of water issues as follows:

### **Letter of November 09, 2006 to the South Florida Water Management District**

Mayor Johnston spoke to the following:



# City of Sanibel

Planning Department

## MEMORANDUM

**DATE:** November 1, 2006  
**TO:** Judie Zimomra, City Manager  
**FROM:** Robert J. Duffy, AICP, Planning Director  
**SUBJECT:** **Draft Request for Proposals for Professional Services  
Periwinkle Way West-Town Center District Plan**

Enclosed for review and consideration is a draft Request for Proposals (RFP) to secure professional planning and related services from qualified firms and teams necessary to prepare a specific district redevelopment plan for the western section of Periwinkle Way, Tarpon Bay Road and Palm Ridge Road. The draft RFP defines the subject district planning area, project objectives, desired scope of work, submission requirements, instructions to firms and teams and proposal evaluation criteria and process.

The enclosed draft RFP is based upon the following:

1. The Sanibel Plan, specifically Part 3.6 Land Use, Sec. 3.6.2 Future Land Use Goals, Objectives and Policies.
2. The joint public redevelopment planning workshops conducted by City Council and the Planning Commission.
3. Redevelopment Planning Work Program reports submitted to City Council and the Planning Commission by the Planning Department.
4. City Council's FY2006-2007 Goal to Implement the redevelopment work program.
5. The FY06-07 Redevelopment Planning Work Program Budget approved by City Council.
6. Planning Department's FY2006-2007 Goals and Objectives.
7. City of Sanibel Administrative Policy #06-04, Purchasing Policies and Procedures

I will schedule a meeting to review the enclosed draft RFP with both the City Manager and the City Attorney.

**C:** Ken Pfalzer, Deputy Director  
Ken Cuyler, City Attorney



City of Sanibel

**REQUEST FOR PROPOSALS**

**PERIWINKLE WAY WEST  
TOWN CENTER**

**COMMERCIAL DISTRICT PLAN**

**Legal Notice Pursuant to Chapter 287  
Florida Statutes  
Consultants Competitive Negotiation Act**

**Planning Department**

**November 2, 2006**



# City of Sanibel

**RFP 06 - 01**

## **LEGAL NOTICE TO FIRMS OR TEAMS**

### **REQUEST FOR PROPOSALS (RFP)**

#### **PERIWINKLE WAY WEST – TOWN CENTER COMMERCIAL DISTRICT PLAN**

The City of Sanibel is seeking proposals for professional services from experienced planning Firms and Teams to assist with the preparation of a specific commercial district plan and supporting amendments to the Land Development Code for the western portion of the Periwinkle Way corridor, including the areas zoned for Town Center commercial uses and Sanibel's governmental, civic, cultural, historic and recreational complex.

The following RFP defines the specific project planning area, objectives, process, work products, proposal requirements, submission procedures and proposal evaluation criteria associated with the Periwinkle Way commercial district plan.

#### **1. PLANNING AREA**

The enclosed Figure 1 defines the location of the proposed planning area within the City of Sanibel and in relation to existing commercial zoning districts. Figure 2 defines the specific land use pattern, commercially zoned land, market and below market rate residential uses, preserved and environmentally sensitive lands and governmental, historic, civic, cultural and recreational uses that comprise the planning area.

#### **2. PLANNING OBJECTIVES - SCOPE OF WORK**

It will be essential that the scope of work proposed for the Periwinkle Way West – Town Center commercial district planning process demonstrates that the products will be unique to Sanibel and depart from the traditional approaches to preparing a two dimensional and conceptual policy and land use plan and standardized zoning regulations. The scope of work shall produce a comprehensive, strategic and

achievable plan and Land Development Code amendments that will clearly visualize and articulate a sustainable future for the planning area consistent with the sanctuary and barrier island community character of Sanibel. The Plan will serve as a community based guide for private and public redevelopment decisions consistent with the vision (See Attachment 1), goals, objectives and policies of the Sanibel Plan (See [www.mysanibel.com](http://www.mysanibel.com)).

It is envisioned that the ultimate Plan will achieve the following objectives:

- Provide a specific plan that will guide and support the sustainable short and long term redevelopment of commercial properties consistent with the Sanibel Plan.
- Provide a clear and illustrated vision for the planning district based on an intensive community based process.
- Provide a unified open space and native landscape environment that will improve and expand visual and physical greenways and habitat connections to the surrounding conservation areas and reinforce the Periwinkle Way Corridor Restoration Master Plan.
- Create a true pedestrian oriented campus environment consistent with the sanctuary and barrier island characteristics of Sanibel. Reinforce and guide the integration of the commercial, residential, civic, arts, historic, cultural and governmental functions and facilities.
- Provide opportunities for a wide range of Sanibel based cultural and art facilities, events and activities to occur and flourish.
- Define a general short and long term plan to guide governmental, civic, arts and cultural use improvements.
- Provide a comprehensive short and long range plan to improve pedestrian and bicycle accessibility and safety consistent with the update of the Shared Use Master Plan.
- Establish unified parking plans, standards, designs and management strategies to better serve permanent and temporary uses and seasonal events.
- Introduce opportunities for alternative forms of transportation to provide access to and from outlying island locations to reduce vehicular trips.
- Introduce opportunities for mixed uses to create a true neighborhood consistent with the appropriate scale and density prescribed by the Sanibel Plan and City Charter. Include opportunities for both market rate and affordable housing that will serve a range of Island incomes and lifestyles.
- Develop special zoning districts and site planning, landscape, signage and dimensional standards as warranted consistent with the Sanibel Plan and City Charter that will reinforce and improve the character of commercial corridor

and buildings consistent with the desired forms and functions defined for specific sub-areas recommended by the commercial district plan.

- Provide an illustrated set of design guidelines, pattern book or potential form based zoning regulations as part of the Land Development Code to enable the transfer of the Plan's vision and recommendations into the Land Development Code to support consistent and predictable implementation.
- Define specific priority redevelopment opportunity areas and supporting strategies as part of an implementation or action plan.
- Provide incentives and other strategies to insure the appropriate retention of island serving businesses unique to Sanibel.

Proposals submitted shall include a scope of work that will address the above objectives and, at a minimum, include the following or comparable products:

1. Report of current conditions and key issues and opportunities
2. Community based vision
3. Evaluation of alternative concept plans
4. Preliminary Plan
5. Final District Plan and Focus Area Plans
6. Land Development Code amendments including design guidelines, pattern book or form based standards that will translate the plan's vision and recommendations into the Land Development Code.

The proposal shall demonstrate how the Firm or Project Team will produce preliminary and final plans that will address Sanibel's current economic conditions and trends and City Council's commitment to locally owned businesses.

Proposals shall also define the approaches and techniques that will be employed to maximize community, property owner and stakeholder participation during the development of the district plan. The planning and participation process shall also articulate key involvement and decision points for City Council and the Planning Commission.

The City will convene an interdepartmental advisory team composed of staff from key City departments. The team will provide technical information and serve as a resource during various phases of Plan development and review.

Proposals should also define how the project team from the Planning Department will be fully integrated into the project team and planning process to insure timely and productive communication, active participation, facilitate access to historical and existing information and the completion of various tasks and products in the most cost effective manner.

### 3. PROJECT MANAGEMENT

Robert J. Duffy, AICP, Planning Director for the City of Sanibel shall serve as the project manager. The Deputy Director and a project planner will also serve on the Planning Department's project team. Other members of the Planning Department staff will also participate during the planning process. As indicated above, an interdepartmental advisory team will also be convened to facilitate communication with key City departments throughout the planning process.

### 4. SUBMISSION REQUIREMENTS

#### 4.1 COPIES OF REQUEST FOR PROPOSALS (RFP)

4.1.1 A copy of the Request for Proposals (RFP) must be examined and/or obtained from the City of Sanibel Planning Department, 800 Dunlop Road, Sanibel, Florida 33957 (or by calling (239) 472-4136 at no charge or by downloading these documents from our Internet site at [www.mysanibel.com](http://www.mysanibel.com). Please Note: Proposals will not be accepted by the City if the RFP is not obtained and included in your submittal to the City of Sanibel Planning Department.

#### 4.2 SUBMITTAL OF PROPOSALS

4.2.1 Qualified planning Firms and Teams are invited to submit one (1) original and five (5) copies of their proposal to:

Robert J. Duffy, AICP  
Planning Director  
Planning Department  
City of Sanibel  
800 Dunlop Road  
Sanibel, FL 33957

4.2.2 **Complete proposals shall be submitted to the above address on or before 4 P.M. on \_\_\_\_\_, December \_\_\_\_\_, 2006.**

Proposals will be opened immediately and recorded by the Project Manager or his designee.

Proposals submitted shall not be valid unless sealed in an envelope marked "Sealed Proposal". Proposals shall identify the name of the Firm or Team; project name; and date and time of submittal.

The proper delivery of the proposal to the City of Sanibel is solely and strictly the Firm's or Team's responsibility. The City of Sanibel shall not be responsible for delays caused by the United States Postal Service or any other occurrence.

The proposal delivery time will be scrupulously observed. Under no circumstances will proposals delivered after the specified delivery time be considered. Late proposals will be returned to the Firm or Team unopened with the notation: "This proposal was received after the delivery time designated for the receipt of proposals."

4.2.3 Complete proposals shall, at a minimum, consist of the following:

- Letter of Intent
- Contact Information
- Proposal Introduction, Background and Objectives Statement
- Qualifications and Experience
  - Principal Firm or Team
  - Subconsultants
  - Comparable Projects
- Personnel
  - Resume
  - Roles and Responsibilities
  - Project Organization Chart
- Proposed Scope of Services
- Proposed Community Participation Process
- Proposed Time Frame for Project Completion

4.2.4 Proposals shall include a preliminary schedule for undertaking the scope of work assuming an authorization to proceed within 60 days from the proposed submission deadline. A twelve (12) month project schedule shall be assumed. The schedule shall define, through both text and diagrams, time periods associated with specific phases of work, participation processes, product delivery milestones and key decision points.

## 5. INSTRUCTIONS TO FIRMS OR TEAMS

### 5.1 CITY'S RESERVATION OF RIGHTS

The issuance of this RFP constitutes an invitation to present sealed proposals. The City reserves the right to determine, in its sole discretion, whether any aspect of the submittal satisfactorily meets the objectives and criteria established in the RFP, the right to seek proposal clarification from any Firm or Team, the right to solicit further qualifications from any Firm or Team submitting a proposal, and the right to reject any or all proposals with or without cause. The City also reserves the right to modify the Scope to be considered for this project. In the event that this RFP is withdrawn by the City, or the City does not proceed for any reasons, including but not limited to the failure to occur of any of those things or events set forth herein, the City shall have no liability to any Firm or Team for any costs or expenses incurred in connection with the preparation and submittal of this RFP or otherwise.

## 5.2 CITY'S INTERPRETATION/ADDENDA

No interpretation or clarification of the meaning of the RFP document will be binding if made to any Firm or Team orally. Every such request must be in writing, addressed to Robert J. Duffy, AICP, Planning Director, and received no later than December \_\_\_\_, 2006 by 4:00 P.M.

All such interpretations, any supplemental instructions, and/or any modifications to the RFP deemed advisable by the City will be issued as a written Addendum and mailed to all Firms or Teams at their addresses not later than three (3) calendar days (excluding Saturdays, Sundays, and Holidays), prior to the proposal deadline date. All Addenda shall become part of the RFP and must be acknowledged in the proposal submitted.

## 5.3 RULES, REGULATIONS, LAWS, ORDINANCES & LICENSES

The Firm or Team shall observe and obey all laws, ordinances, rules, and regulations of the federal, state, and local municipality, which may be applicable to the supply of this service.

## 5.4 WITHDRAWAL OR MODIFICATION OF PROPOSALS

Proposals may be withdrawn or modified on written, faxed or telegraphic requests dispatched by the Firm or Team in time for delivery in the normal course of business prior to the time fixed for the deadline of submittals provided, however, that written confirmation of any telegraphic withdrawal or modification over the signature of the Firm or Team is placed in the mail and postmarked prior to the proposal submission deadline.

If, within twenty-four (24) hours after proposals are received (excluding Saturdays, Sundays and Holidays), any Firm or Team providing a signed, written notice to the City of Sanibel and demonstrating to the reasonable satisfaction of the City that there was a material and substantial mistake in the preparation of its submittal, may withdraw its submittal.

## 5.5 SUBMISSION OF ALTERNATIVES

Although this RFP specifies the objectives for a basic scope of work for completion of the Project and should be responded to in all respects, Firms or Teams are invited and encouraged to define alternatives that may be of interest to the City.

## 5.6 ADDITIONAL INFORMATION REQUESTS

The City reserves the right to request additional information from Firms or Teams during any phase of the evaluation process. During the evaluation and selection process, the City may require the presence of Firm's or Team's representatives to make presentations and answer specific questions. Notification of any such requirements will be given as necessary.

## 5.7 CONDITIONS OF AWARD

The City may elect not to award a contract solely on the basis of this RFP, and will not pay for the information solicited or obtained. The information obtained may be used in determining the alternative that best meets the needs of the County.

## 6. CRITERIA FOR EVALUATION AND AWARD

The successful Firm or Team will be selected based in part on the completeness and quality of the proposal submitted to the City of Sanibel. Firms or Teams may be requested to give an oral presentation after submission of a proposal should the City of Sanibel find it necessary.

**Evaluation Criteria:** Submittals will be evaluated and scored on the following criteria:

| <b>Evaluation Criteria</b>   | <b>Points Assigned</b> |
|--|------------------------|
| Completeness and Thoroughness of Proposal                                      | 5                      |
| Experience of Firm or Team   | 10                     |
| Experience with Comparable Projects  | 20                     |
| Demonstrated Knowledge of Sanibel Plan, Land Development Code and City Charter | 10                     |
| Responsiveness of Scope of Work to RFP Objectives                              | 25                     |
| Approach to Community Participation  | 20                     |
| Time Frame for Completion of Work  | 10                     |

Evaluation and ranking of proposals will be conducted in the Sunshine with appropriate public notice. The City will negotiate a contract with a Firm or Team based on the results of the evaluation. The resulting contract shall be subject to review and approval by City Council. The award shall be made to the responsible Firm or Team determined to be the most advantageous to the City taking into consideration the objectives and evaluation criteria set forth in the RFP.

## **Attachment 1**

### **Vision Statement Sanibel Plan**

## VISION STATEMENT

### BACKGROUND

The barrier island of Sanibel comprises a wide variety of natural and altered environments. The community of Sanibel strives to sustain ecological balance and preserve and restore natural settings for residents, visitors, and wildlife. The people of Sanibel are sustained by the beauty and health of the island's natural and restored habitats, and they rely on the coordinated vigilance of residents, government, and private enterprise to protect and enhance these habitats. Over the first two decades of the community's existence as a city, a tenuous balance has been maintained between development and preservation; and between regulatory control and the rights and privileges of individuals. Government and not-for-profit institutions have helped sustain the balance by purchasing and restoring to natural conditions substantial areas of open space and threatened habitats.

Limited new development and redevelopment will occur over the next twenty years. However, growth limits and locations are well established, as are regulations to minimize harm to the natural environment and to the community's character.

The specter of rampant development has diminished as the community has matured. Nevertheless, unwanted changes are occurring; visitation increases as new "attractions" are developed; beaches and refuge areas are becoming stressed by overuse; traffic congestion is turning to gridlock; and formerly "green" scenic corridors are becoming urbanized and commercialized. These and other conditions and trends cause residents to realize that, unless protected, their island's historic and cherished way of life is in jeopardy.

To provide a sense of direction for the

future, this Vision Statement is a confirmation of the community's shared values and goals, to guide future decisions.

### SANCTUARY

Sanibel is and shall remain a barrier island sanctuary, one in which a diverse population lives in harmony with the island's wildlife and natural habitats. The Sanibel community must be vigilant in the protection and enhancement of its sanctuary characteristics.

The City of Sanibel will resist pressures to accommodate increased development and redevelopment that is inconsistent with the Sanibel Plan, including this Vision Statement.

The City of Sanibel will guard against and, where advisable, oppose human activities in other jurisdictions that might harm the island's sensitive habitats, including the island's surrounding aquatic ecosystems.

### COMMUNITY

Sanibel is and shall remain a small town community whose members choose to live in harmony with one another and with nature; creating a human settlement distinguished by its diversity, beauty, uniqueness, character and stewardship.

**Diversity:** The City of Sanibel cherishes its cultural, social ecological, and economic diversity, and will endeavor to maintain it.

**Beauty:** The City of Sanibel will foster quality, harmony and beauty in all forms of human alteration of the environment. The community aesthetic is defined as a casual style; one which is adapted to a relaxed island quality of life and respectful of local history, weather, culture and natural systems.

**Uniqueness:** The City of Sanibel chooses to remain unique through a development pattern which reflects the predominance of

## PURPOSE

§ 1.

natural conditions and characteristics over human intrusions. All forms of development and redevelopment will preserve the community's unique small town identity.

**Character:** The City of Sanibel chooses to preserve its rural character in its setting within and urbanizing county. "Auto-urban" development influences will be avoided. The commercialization of natural resources will be limited and strictly controlled.

**Stewardship:** In keeping with the foregoing principles, the City of Sanibel affirms a land ethic that recognizes landholding—both public and private—as a form of stewardship, involving responsibilities to the human and natural communities of the island and its surroundings, and to future generations.

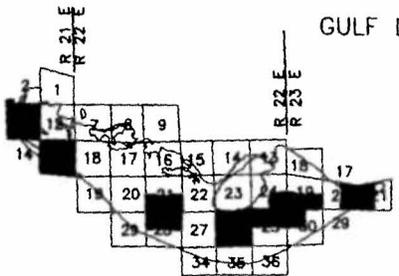
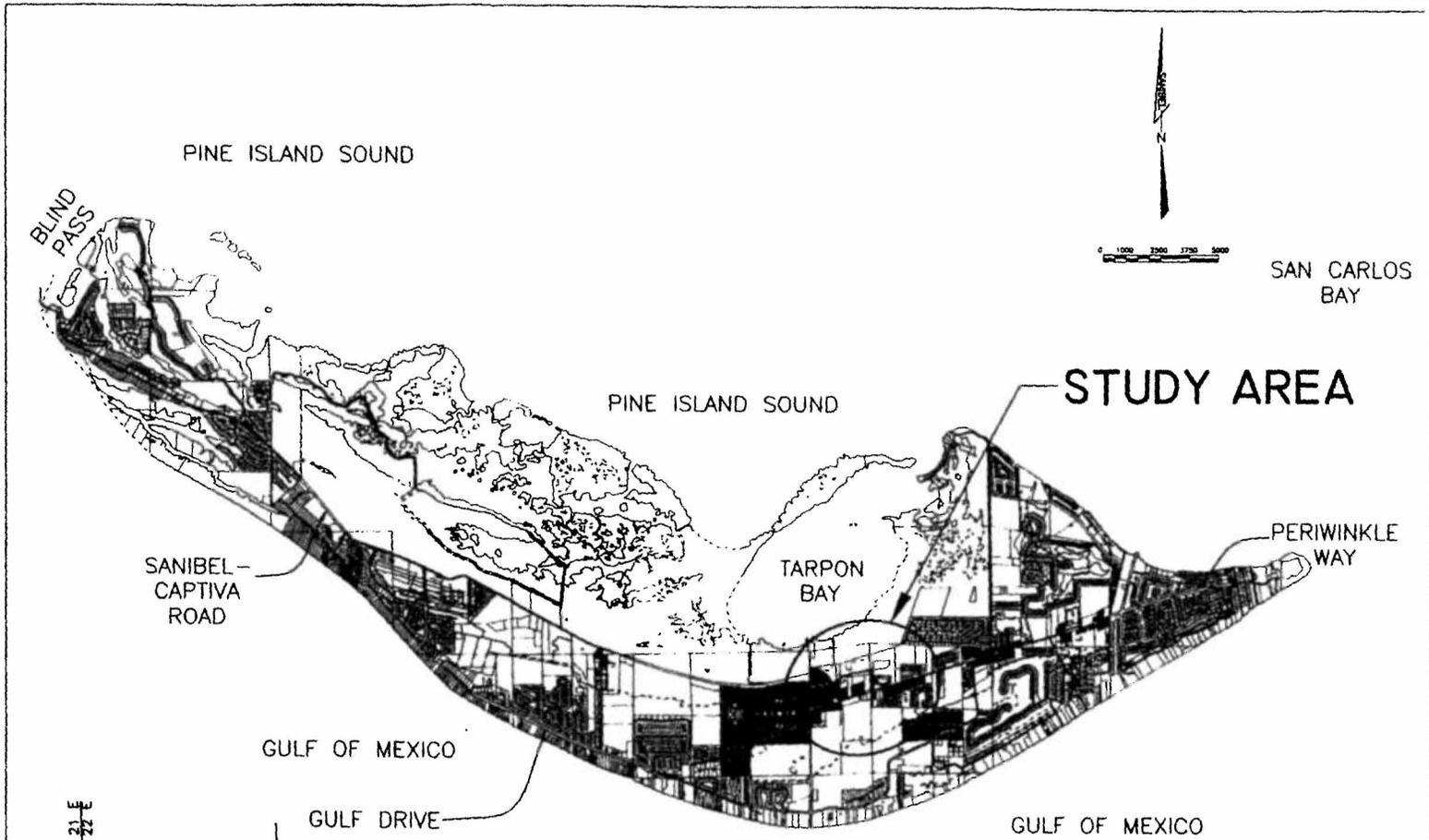
## ATTRACTION

The Sanibel community recognizes that its attractiveness to visitors is due to the island's quality as sanctuary and as community. The City of Sanibel will welcome visitors who are drawn by, and are respectful of, these qualities; it will resist pressures to accommodate visitor attractions and activities that compromise these qualities.

## HIERARCHY OF VALUES

This three-part statement of the community's vision of its future is a hierarchy, one in which the dominant principle is Sanibel's sanctuary quality. Sanibel shall be developed as a community only to the extent to which it retains and embraces this quality of sanctuary. Sanibel will serve as attraction only to the extent to which it retains its desired qualities as sanctuary and community.





-  GENERAL COMMERCIAL DISTRICT
-  TOWNCENTER GENERAL COMMERCIAL DISTRICT
-  TOWNCENTER LIMITED COMMERCIAL DISTRICT

SECTION DETAIL  
 ■ SECTIONS INCLUDED IN THIS MAP SERIES

COMPILED BY:  
 Blair, Wilkinson, Lutz & Kashi, Inc.  
 ENGINEERS-SURVEYORS-PLANNERS  
 1001 W. WASHINGTON AVE., SUITE 100, SANibel, FLORIDA 33957



# COMMERCIAL ZONING MAP



**AS REQUIRED BY STATUTE; PROVIDING FOR CODIFICATION;  
PROVIDING FOR CONFLICT AND SEVERANCE; AND PROVIDING AN  
EFFECTIVE DATE**

Ms. Zimomra read the title of Ordinance 06-019.

Mr. Cuyler stated that the legislature had determined that occupational license should be changed to Business Tax Receipts

Vice Mayor Denham made a motion, seconded by Councilman Rothman, to adopt Ordinance 06-019.

Public Comment:

Hazel Schuller spoke to the change.

The motion carried unanimously.

**FIRST READING AND FIRST PUBLIC HEARING**

**ORDINANCE 06-022 AMENDING THE SANIBEL CODE, PART II, SUBPART B LAND DEVELOPMENT CODE: BY AMENDING CHAPTER 126 ZONING, ARTICLE VI DISTRICTS GENERALLY, SECTION 126-241 ZONING DISTRICTS, TO ADD A NEIGHBORHOOD COMMERCIAL DISTRICT TO THE COMMERCIAL ZONING MAP AND READOPT THE AMENDED MAP; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE VIII COMMERCIAL DISTRICTS, TO AMEND DIVISION 1 GENERALLY, TO ADD A NEW SECTION 126-470 PURPOSE OF COMMERCIAL ZONING DISTRICTS; AND TO AMEND DIVISION 2 GC GENERAL COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-490 PURPOSE OF THE DISTRICT; AND TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-491; AND TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-492; AND TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-494; AND TO AMEND DIVISION 3 TCG TOWN CENTER GENERAL COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-510 PURPOSE OF THE DISTRICT; AND TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-511; AND TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-512, AND TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-514; AND TO AMEND DIVISION 4 TCL TOWN CENTER LIMITED COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-530 PURPOSE OF THE DISTRICT; AND TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-531; AND TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-532; AND TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-534; AND TO ADD A NEW DIVISION 5 NC NEIGHBORHOOD COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-540 PURPOSE OF THE DISTRICT; AND TO ADD A NEW SECTION 126-541 PERMITTED USES; AND TO ADD A NEW SECTION 126-542 CONDITIONAL USES; AND TO ADD A NEW SECTION 126-543 ACCESSORY USES; AND TO ADD A NEW SECTION 126-544 REQUIRED CONDITIONS; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY,**

TO ADD A NEW SECTION 126-1024 MAXIMUM SIZE FOR A RETAIL COMMERCIAL BUILDING; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY, TO ADD A NEW SECTION 126-1025 MAXIMUM STREET FRONTAGE FOR A COMMERCIAL UNIT; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY, TO ADD A NEW SECTION 126-1026 MAXIMUM SIZE FOR A RETAIL COMMERCIAL UNIT; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY, TO ADD A NEW SECTION 126-1027 ARCHITECTURAL STANDARDS TO ESTABLISH ARCHITECTURAL STANDARDS FOR COMMERCIAL LAND USES; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY, TO ADD A NEW SECTION 126-1028 SITE PLANNING STANDARDS TO ESTABLISH SITE PLANNING STANDARDS FOR COMMERCIAL LAND USES; BY AMENDING CHAPTER 126 ZONING, ARTICLE XV OFF-STREET PARKING AND LOADING, DIVISION 2 OFF-STREET PARKING, SUBDIVISION III NONRESIDENTIAL USES, SECTION 126-1361 REQUIRED PARKING SPACES, TO EXEMPT THE DIVISION AND REESTABLISHMENT OF COMMERCIAL UNITS THAT HAD PREVIOUSLY BEEN COMBINED FROM COMPLYING WITH THE REQUIREMENTS OF THIS SECTION; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE IV CONDITIONAL USES, TO ADD A NEW SECTION 126-102 FORMULA RETAIL STORES IN THE NEIGHBORHOOD COMMERCIAL DISTRICT THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR FORMULA RETAIL STORES; AND TO ADD A NEW SECTION 126-103 RESIDENTIAL DEVELOPMENTS IN THE NEIGHBORHOOD COMMERCIAL DISTRICT OR MIXED-USE COMMERCIAL AND RESIDENTIAL DEVELOPMENTS IN THE NEIGHBORHOOD COMMERCIAL DISTRICT THAT HAVE A TOTAL FLOOR AREA FOR THE RESIDENTIAL USES THAT EXCEEDS THE TOTAL FLOOR AREA FOR COMMERCIAL USES; AND TO ADD A NEW SECTION 126-104 VARIETY OR DEPARTMENT STORES AND COMMERCIAL RETAIL STORES WITH MORE THAN 2000SF OF COMMERCIAL FLOOR AREA THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR THIS USE; AND BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-1 RULES OF CONSTRUCTION AND DEFINITIONS, TO ADD A DEFINITION FOR DELICATESSEN STORE, FOOD MARKET, FORMULA RETAIL STORE, GROCERY STORE AND MIXED-USE COMMERCIAL AND RESIDENTIAL DEVELOPMENT; AND BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-9 ACTIVITIES CONSTITUTING DEVELOPMENT, TO AMEND THE DESCRIPTION OF ACTIVITIES THAT INVOLVE DEVELOPMENT; AND BY AMENDING CHAPTER 82 ADMINISTRATION, ARTICLE IV DEVELOPMENT PERMITS, DIVISION 2 PROCEDURE, SUBDIVISION II SHORT FORM, SECTION 82-401 APPLICATION, TO MAKE

**SHORT FORM APPLICATIONS AVAILABLE FOR COMMERCIAL BUILDINGS NOT EXCEEDING 2000SF OR FLOOR AREA AND ADDITIONS, NOT EXCEEDING 2000SF OF FLOOR AREA, TO COMMERCIAL BUILDINGS; AND PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT AND SEVERANCE; AND PROVIDING AN EFFECTIVE DATE.**

Ms. Zimomra read the title of Ordinance 06-022.

Mr. Cuyler spoke to due to the nature of the ordinance there would be 2 full public hearings.

Ken Pfalzer spoke to the following:

- Provided Council with the Commercial Zoning map establishing the 4 districts
- No new lands being proposed for commercial designation
- Some outlying areas currently in the general commercial district was a proposal that they be identified for neighborhood commercial district
- Formular retail uses addressed in discussions
- Currently zoning-in-progress had a prohibition for formular retail
- Proposed ordinance would allow formular retail uses in the general town center and limited commercial district
- Would require a conditional use permit in the neighborhood district
- One limitation would be commercial unit and size
- Zoning-in-progress put a limit of 2,000 square feet on a retail unit for combining existing units and revised to include development or redevelopment of commercial units
- Proposed ordinance would limit the size of commercial retail unit to 2,000 square feet as a permitted use
- Conditional use for retail space over 2,000 square feet
- Certain exemptions such as; hardware, grocery, etc.
- Conditional use standards to exceed 2,000 square feet of retail space prohibit formular retail
- Formular retail use would place a cap of 2,000 square feet for formular retail use in any commercial district
- Zoning-in-progress did not address a maximum building size, but the proposed ordinance did limit the size of a commercial building to 6,000 square feet
- Length of commercial limited to linear frontage on the street of a commercial unit along the street 250 feet of right-of-way limited to 50 linear feet
- Limits the linear frontage to 80 linear feet of road right-of-way for a major road and require that any unit exceeding 50 linear feet need to have planning commission approval
- Last revision was to clarify when the architectural standards would come in to play
- Any new buildings, redevelopment of an existing building, or substantial modifications would trigger the application of architectural standards
- Zoning-in-progress prohibited new residential dwelling units in the outlying general commercial district in the areas proposed to be neighborhood districts
- Neighborhood districts did not prohibited, but the change would be a conditional use
- Conditional use standards would apply with any mixed commercial residential where there was more residential floor area than commercial
- Proposed regulations include a statement of purpose for commercial districts in general and for commercial districts themselves
- Variety stores would become a conditional use because by definition it would exceed 2,000 square feet with exceptions as mentioned above
- Maximum floor ratio no change, but direction from Council was to remove anything from the code that would be a dis-incentive to the small business owner
- Reduction in commercial floor for smaller parcels was deemed to be an area of dis-incentive for small business

- Regardless of commercial size or road frontage would be allowed the full commercial floor area in district for which it was located
- 10% of floor space in the general district; 12% in the town centers
- No change in the side yard set back and a minor increase in the side yard set back by 5 additional feet for each 100 additional feet on width of a commercial parcel
- Prohibited uses remain the same
- Town center limited district boundaries not changing
- Apparel, apparel accessory stores, children/infant wear stores, gift shops and jewelry stores were prohibited in the town center limited
- Zoning-in-progress prohibition uses outside the town center limited, but the proposed ordinance does not carry that prohibition
- Site planning standards that would apply for major redevelopment or development of vacant parcels in terms of egress and ingress, lines of site, compatibility, and cross access
- Allow a business owner to re-establish a business combined regardless of the parking standards – another small business initiative
- Provide a definition of delicatessen, food market and grocery store to identify what uses were exempted from the limitations on commercial unit size for 2,000 square feet for retail uses
- Today the code requires when adding a business in an existing space constituting development
- Change in definition would also trigger that eliminating a business in existing commercial space would also be reviewed as development as require a development permit
- Minor change long-form permit for adding commercial space was triggered at 1,500 square feet currently and the proposal would change to 2,000 square feet commercial space
- Neighborhood commercial district new concept and the areas proposed for neighborhood commercial were already commercially zoned, but re-catergorized to neighborhood commercial district

Discussion ensued regarding 19 proposals in the summary, first 6 proposals (formular retail commercial unit size, maximum size of a commercial building, length of a commercial unit, architectural standards, and residential use), first 6 difference of opinion, review the first six, the need for a time limit of discussion, and could Council limit comments from the public or Councilmembers.

Mr. Cuyler answered that Council determined their time and in terms of public comment there was an established time for public comment per speaker. He further stated that once public comment was in Council would have a better opportunity to gage the discussion.

Public Comment:

Bill Glenn the need of an executive summary of pros and cons.

Hazel Schuller spoke to including the Resort Housing District in the commercial zoning, commercial use on the beach and scenic preservation on the beach.

Judy Minchie spoke to combining of parking areas.

Larry Thompson spoke to owning the Lazy Flamingo and his concern of changing his business to neighborhood commercial and if changed there could never be a rezoning of residential. His concern was that if his property was zoned neighborhood commercial and destroyed that zoning would not allow him to use the property to the fullest extent.

Mr. Pfalzer stated that in the commercial neighborhood district did not prohibit residential uses.

Beverly Grady, Attorney spoke to:

- Side set back increase of 10 feet
- What triggers site plan standards and architectural standards
- Site standards changes instituted and numerical number

- Redevelopment not interior changes, but tearing down and rebuilding
- New development, redevelopment and new development
- 10% of new commercial and redevelopment
- If one had space in front would City permit additional parking in front
- Reducing the number of units require a development permit
- Improve architectural standard trigger long-form application
- Apply for short-form and trigger

Barbara Cooley spoke to Planning Commission having interest of commercial planning

Mr. Cuyler stated that the Planning Commission had considered the issue and it was up to Council for a decision.

Barbara Shimmerberg spoke to a rookery on Sanibel Bayou Road occupied by thousands of birds and the commercial site occupied by Caldwell Banker using Sanibel Bayou Road and increased usage of property would impact the rookery.

Steve Maxwell spoke to part 8 and 9 dealing with the inventory of commercial land uses street address listing and the commercial district zoning districts research and resources was a great piece and help overlay and provide answers. He further spoke to transitional zoning, commercial that could be rezoned to residential and should be addressed.

Joann Novelli spoke to ownership of a piece of property at Lindgren and Periwinkle Way and that corner being absent from the proposal.

Discussion ensued regarding the Planning Staff put the proposal together to deal with only certain segments, Mr. Pfalzer stated that no lands currently not zoned commercial would be zoned commercial and very few non-conforming commercial uses in the City and a brief lists was as follows:

- Ms. Novelli's building
- Caldwell Banker building on the north side of Periwinkle Way
- John Gee real estate office on West Gulf Drive
- Rivera Restaurant

Discussion ensued regarding a discrepancy between where Council intended the ordinance to go and the final ordinance from the Planning Commission, commercial properties about other zoning uses and pay attention to each zone, proposal does not deal with the safety aspect of parking, language in a few spaces vague, mixed use should be addressed well, Mr. Pfalzer spoke to any commercial district could be mixed with residential use, but there was a formular to reduce the amount of commercial space for the added residential use, and due to the concern in the neighborhood districts the residential units up to the density could be built up to 1250 square feet with no reduction in the amount of commercial space and meant to provide an incentive for the loss of perceived value.

Jerry Stern spoke to limiting properties if rezoned and not allowing the full use.

Mr. Cuyler stated that procedurally Council should close the public hearing and staff's recommendation was to have the next public hearing no earlier than January 16, 2007.

Councilman Brown made a motion, seconded by Vice Mayor Denham, to close the public hearing and set the next public hearing.

The motion carried unanimously.

**RESOLUTION 06-203 ELECTING TO CONDUCT A PUBLIC HEARING PRIOR TO 5:00 P.M. REGARDING A PROPOSED ORDINANCE THAT AMENDS THE**

**CITY OF SANIBEL  
ORDINANCE 06-22**

**AN ORDINANCE AMENDING THE SANIBEL CODE, PART II, SUBPART B LAND DEVELOPMENT CODE:**

**BY AMENDING CHAPTER 126 ZONING, ARTICLE VIII COMMERCIAL DISTRICTS,**

**TO AMEND DIVISION 1 GENERALLY, TO ADD A NEW SECTION 126-470 PURPOSE OF COMMERCIAL ZONING DISTRICTS; AND**

**TO AMEND DIVISION 2 GC GENERAL COMMERCIAL DISTRICT,**

**TO ADD A NEW SECTION 126-490 PURPOSE OF THE DISTRICT; AND**

**TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-491; AND**

**TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-492; AND**

**TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-494; AND**

**TO AMEND DIVISION 3 TCG TOWN CENTER GENERAL COMMERCIAL DISTRICT,**

**TO ADD A NEW SECTION 126-510 PURPOSE OF THE DISTRICT; AND**

**TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-511; AND**

**TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-512, AND**

**TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-514; AND**

**TO AMEND DIVISION 4 TCL TOWN CENTER LIMITED COMMERCIAL DISTRICT,**

**TO ADD A NEW SECTION 126-530 PURPOSE OF THE DISTRICT; AND**

**TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-531; AND**

**TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-532; AND**

**TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-534; AND**

**BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY,**

TO ADD A NEW SECTION 126-1024 MAXIMUM PERCENTAGE OF COMMERCIAL FLOOR AREA (BALANCE AND MIX OF BUSINESSES) OCCUPIED BY FORMULA RETAIL STORES; AND

TO ADD A NEW SECTION 126-1025 MAXIMUM SIZE FOR A COMMERCIAL BUILDING; AND

TO ADD A NEW SECTION 126-1026 MAXIMUM SIZE FOR A RETAIL COMMERCIAL UNIT; AND

TO ADD A NEW SECTION 126-1027 MAXIMUM STREET FRONTAGE FOR A COMMERCIAL UNIT; AND

TO ADD A NEW SECTION 126-1028 ARCHITECTURAL STANDARDS TO ESTABLISH ARCHITECTURAL STANDARDS FOR COMMERCIAL BUILDINGS AND STRUCTURES; AND

TO ADD A NEW SECTION 126-1029 SITE PLANNING STANDARDS TO ESTABLISH SITE PLANNING STANDARDS FOR COMMERCIAL LAND USES; AND

TO ADD A NEW SECTION 126-1030 STANDARDS FOR COMPATIBILITY WITH RESIDENTIAL AREAS, WILDLIFE HABITAT AND CONSERVATION LANDS,

BY AMENDING CHAPTER 126 ZONING, ARTICLE XV OFF-STREET PARKING AND LOADING, DIVISION 2 OFF-STREET PARKING, SUBDIVISION III NONRESIDENTIAL USES, SECTION 126-1361 REQUIRED PARKING SPACES, TO EXEMPT THE DIVISION AND REESTABLISHMENT OF COMMERCIAL UNITS THAT HAD PREVIOUSLY BEEN COMBINED FROM COMPLYING WITH THE REQUIREMENTS OF THIS SECTION; AND

BY AMENDING CHAPTER 126 ZONING, ARTICLE IV CONDITIONAL USES,

TO ADD A NEW SECTION 126-102 FORMULA RETAIL STORES THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR FORMULA RETAIL STORES; AND

TO ADD A NEW SECTION 126-103 COMMERCIAL BUILDINGS LARGER THAN 6,000 SQUARE FEET OF COMMERCIAL FLOOR AREA THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR COMMERCIAL BUILDINGS LARGER THAN 6,000 SQUARE FEET; AND

TO ADD A NEW SECTION 126-104 VARIETY OR DEPARTMENT STORES AND COMMERCIAL RETAIL STORES WITH MORE THAN 2,000 SQUARE FEET OF COMMERCIAL FLOOR AREA THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR THIS USE; AND

TO ADD A NEW SECTION 126-105 COMMERCIAL UNITS WITH STREET FRONTAGE EXCEEDING 50 LINEAR FEET THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR COMMERCIAL UNITS EXCEEDING 50 LINEAR FEET; AND

BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-1 RULES OF CONSTRUCTION AND DEFINITIONS, TO ADD A DEFINITION FOR DELICATESSEN STORE, DRUG STORE AND PHARMACY, FOOD MARKET, FORMULA RETAIL STORE, GROCERY STORE; AND

BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-9 ACTIVITIES CONSTITUTING DEVELOPMENT, TO AMEND THE DESCRIPTION OF ACTIVITIES THAT INVOLVE DEVELOPMENT TO INCLUDE THE DECREASE IN THE NUMBER OF DWELLING UNITS OR COMMERCIAL UNITS IN A STRUCTURE AND THE ESTABLISHMENT OF A NEW FORMULA RETAIL STORE, EVEN IF THE PRIOR USE WAS A FORMULA RETAIL STORE, REGARDLESS OF WHETHER THE PRIOR FORMULA RETAIL STORE HAD OBTAINED CONDITIONAL USE APPROVAL FOR THAT USE; AND

BY AMENDING CHAPTER 82 ADMINISTRATION, ARTICLE IV DEVELOPMENT PERMITS, DIVISION 2 PROCEDURE, SUBDIVISION II SHORT FORM, SECTION 82-401 APPLICATION, TO MAKE SHORT FORM APPLICATIONS AVAILABLE FOR COMMERCIAL BUILDINGS NOT EXCEEDING 2,000 SQUARE FEET OR FLOOR AREA AND ADDITIONS, NOT EXCEEDING 2,000 SQUARE FEET OF FLOOR AREA, TO COMMERCIAL BUILDINGS; AND

PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT AND SEVERANCE; AND PROVIDING AN EFFECTIVE DATE.

**WHEREAS**, the City, recognized world-wide for its unique community character, declares, in its Vision, the importance of preserving that unique island character; and

**WHEREAS**, the Vision Statement of the *Sanibel Plan*, establishes a hierarchy of values with “sanctuary” and “community” being of higher value than “attraction”; and

**WHEREAS**, the City desires to protect the unique character of the community so that Sanibel remains an attractive and desirable residential community; and

**WHEREAS**, the City desires to retain a proper balance between the resident-serving and resort (tourist) segments of the Commercial Sector of the community; and

**WHEREAS**, the City desires to retain and improve the historical and visual character of the Commercial Sector; and

**WHEREAS**, the City desires to protect the historical character of the 2-lane arterial roadway that provides vehicular access for the community and to the commercial land uses in the Commercial Sector of the community; and

**WHEREAS**, changes in commercial land use, as currently regulated, have raised legitimate concerns that the City of Sanibel is at risk of becoming a resort-oriented market, contrary to public desires; and

**WHEREAS**, it is important to ensure that the City’s regulations support the continuation of existing businesses or establishment of new businesses that serve the residential segment of the community; and

**WHEREAS**, left unregulated, the proliferation of retail businesses that do not serve residents can frustrate the City’s desire to retain a unique and diverse service and

retail base in the local economy and to provide opportunities for small, local businesses;  
and

**WHEREAS**, City Council has established and re-affirmed a goal of preserving local businesses; and

**WHEREAS**, further limitations on permitted uses and conditional uses, within each of the City's Commercial Zoning Districts, are necessary to ensure that a proper balance is maintained between the resident-serving and resort (tourist) segments of the Commercial Sector of the community, and

**WHEREAS**, the establishment of a limit on the size of specific commercial retail units can contribute to the maintenance of a proper balance between the resident-serving and resort (tourist) segments of the Commercial Sector of the community; and

**WHEREAS**, the establishment of architectural standards for commercial buildings can contribute to the maintenance of historic, visual, scenic and architectural character of Commercial Sector of the community; and

**WHEREAS**, the City Council has determined that it is appropriate and in the best interests of the citizens of Sanibel to study, consider and develop land use regulations to address certain land use matters as set forth more particularly in City Council Resolutions no. 05-171; and

**WHEREAS**, the Planning Department has prepared land use regulations for consideration by the Planning Commission and the City Council to replace the interim regulations established in the Notice of Pendency of "Zoning in Progress" set forth in City Council Resolution no. 05-171; and

**WHEREAS**, a procedure has been established to revise and amend the Land Development Code in a manner consistent with the *Sanibel Plan*; and

**WHEREAS**, such revisions have been referred to the Planning Commission for a recommendation as to the consistency of that Amendment with the *Sanibel Plan*; and

**WHEREAS**, the City Council deems it necessary to make such revisions to the Land Development Code, as contained in this ordinance; and

**WHEREAS**, all required public notices and public hearings for such amendment have been properly given and held.

**NOW, THEREFORE, BE IT ORDAINED** by the Council for the City of Sanibel, Lee County, Florida:

**SECTION 1.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 1 Generally, is hereby amended by adding a new Section 126-470 Purpose of Commercial Zoning Districts, with underlining indicating additions, as follows:

**Section 126-470. Purpose of Commercial Zoning Districts.**

The purpose of these development regulations for commercial land uses is to implement the Plan for Commercial Development in the *Sanibel Plan* in a manner that respects the City's objective to remain a unique small town community whose members choose to live in harmony with one another and with nature; creating a human settlement distinguished by its diversity, beauty, uniqueness, character and stewardship.

These land development regulations are intended to:

- Ensure that the commercial sector of the community serves and blends in with the residential sector and natural resources of the community.
- Limit the acreage for and the floor area of commercial development to an amount that can be supported on Sanibel by its residents, property owners and guests residing in the resort housing segment of the community.
- Guide commercial development into clusters, rather than in a continuous commercial strip.
- Assure that opportunities are available for a wide range of unique commercial activities primarily focusing on the needs of island residents.
- Maintain a balance between various types of commercial activities by:
  - retaining and embracing unique commercial uses that contribute to the sanctuary and barrier island qualities unique to Sanibel, and
  - supporting the establishment and retention of island and resident serving commercial uses; and
  - discouraging commercial uses that cater principally to the day visitor to the City or create an attraction,in order to retain the City's desired qualities as sanctuary and community.
- Contribute to the maintenance of the character of the community by:

- preserving the scale and architectural character of existing commercial buildings that reflect the City's history and community character;
- using architectural design and features that are compatible with the community;
- avoiding what is referred to as "cookie cutter" architecture; and
- using substantial vegetation in the buffering and landscaping of the development.
- Encourage mixed-use commercial and residential development in Commercial Districts.
- Promote alternative forms of travel and accessibility, including pedestrian and bicycle access.

**SECTION 2.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 2 General Commercial District, is hereby amended by adding a new Section 126-490 Purpose, with underlining indicating additions, as follows:

**Section 126-490. Purpose.**

The purpose of the GC General Commercial District is to provide for clusters of commercial development along Periwinkle Way, rather than a continuous commercial strip. This district provides opportunities for a wide range of commercial activities that primarily serve islander needs. The GC General Commercial District is designed to permit low intensity commercial development with a wide variety and mixture of retail, office, and service uses, with integrated residential uses offered as an alternative to commercial uses.

**SECTION 3.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 2 General Commercial District, Section 126-491 Permitted Uses, is hereby amended, with underlining indicating additions and ~~striketrough~~ indicating deletions, as follows:

**Section 126-491. Permitted Uses.**

(a) *Primary intended uses.* ~~The GC General Commercial District is designed to permit low intensity commercial development with a wide variety and mixture of retail, office, and service uses, with integrated residential uses offered as an alternative to commercial uses.~~ Primary intended commercial uses in the GC General Commercial District are the following, provided no such use involves on-site food preparation or processing, drive-in or drive-through facilities, outdoor storage, or combined residential and commercial development, so as to require conditional use approval:

- (1) Accounting, auditing and bookkeeping services.
- (2) Advertising agents.
- (3) Animal training and grooming services.
- (4) Apparel and apparel accessories stores (retail).
- (5) Appraisers.
- (6) Architectural, engineering and surveying services.
- (7) Artists' studios (retail).
- (8) Auctioneering services.
- (9) Auto and home supply stores (retail).
- (10) Bait and tackle shops (retail).
- (11) Banks.
- (12) Barber shops.
- (13) Beauty shops.
- (14) Bicycle shops (retail).
- (15) Blueprinting and photocopying services.
- (16) Book stores (retail).
- (17) Building contractors and subcontractors.
- (18) Building materials stores (retail).
- (19) Business associations.
- (20) Cablevision services.
- (21) Camera and photographic supply stores (retail).
- (22) Candy, nut and confectionery stores (retail).
- (23) Carpet and upholstery cleaning.
- (24) Child care services.
- (25) Children's and infant's wear stores (retail).

- (26) Cleaning and maintenance services.
- (27) Commercial art galleries (retail).
- (28) Commercial photography.
- (29) Communication services.
- (30) Computer services.
- (31) Credit institutions.
- (32) Dairy products stores (retail).
- (33) Detective agencies and protective services.
- (34) Developers.
- (35) Disinfecting and exterminating services.
- (36) Drug and ~~proprietary~~ stores and pharmacies (retail).
- (37) Florists (retail).
- (38) Fruit and vegetable markets (retail).
- (39) Funeral homes and parlors.
- (40) Furniture and wood products, manufacturing.
- (41) Furniture stores (retail).
- (42) Garment pressing, and agents, laundries and dry cleaning.
- (43) Gift, novelty, and souvenir shops, including shell shops (retail).
- (44) Hand painting and printing of textiles.
- (45) Hardware stores (retail).
- (46) Health clubs or spas.
- (47) Hobby, toy and game stores (retail).
- (48) Household appliance stores (retail).
- (49) Insurance agents.
- (50) Interior decorators.
- (51) Jewelry stores (retail).
- (52) Landscape and horticultural services.
- (53) Legal services.
- (54) Linen supply.
- (55) Liquor stores (retail).
- (56) Luggage and leather goods stores (retail).
- (57) Mail order houses and distributors.
- (58) Management, consulting and public relation services.
- (59) Mortgage bankers and brokers.

- (60) Music stores (retail).
- (61) News dealers (retail).
- (62) Notary publics.
- (63) Offices of dentists.
- (64) Offices of health practitioners.
- (65) Offices of physicians.
- (66) Office supply stores (retail).
- (67) Optical goods stores (retail).
- (68) Packaging and labeling services.
- (69) Paint, glass and wallpaper stores (retail).
- (70) Pet food stores (retail).
- (71) Pet shops (retail).
- (72) Printing, publishing and allied industries.
- (73) Professional membership organizations.
- (74) Radio and television stores (retail).
- (75) Real estate agents and managers.
- (76) Religious goods stores (retail).
- (77) Repair shops.
- (78) Retail bakeries (retail).
- (79) Retail nurseries, lawn and garden supply stores (retail).
- (80) Re-upholstery and furniture repair.
- (81) Savings and loan associations.
- (82) Security brokers and services.
- (83) Sewing, needlework, and piece goods stores (retail).
- (84) Shoe stores (retail).
- (85) Sign painting and lettering shops.
- (86) Sporting goods stores (retail).
- (87) Stationery and card stores (retail).
- (88) Swimming pool cleaning and maintenance.
- (89) Tailoring and dressmaking services.
- (90) Taxicab services.
- (91) Telephone message services.
- (92) Title abstract offices.
- (93) Tobacco shops (retail).

- (94) Tool and equipment rental.
- (95) Travel agents.
- (96) Uniform supply stores.
- (97) Used merchandise stores (retail).
- ~~(98) Variety or department stores of at least 5,000 square feet of floor area.~~
- ~~(98 99)~~ Veterinary services.
- ~~(99 400)~~ Video equipment and tapes, sales and rentals (retail).
- ~~(100 404)~~ Warehousing and storage.

(b) *Other permitted uses.* The following uses are also permitted in the GC general commercial district.

- (1) Single-family dwellings.
- (2) Duplex dwelling units.
- (3) Residential cluster developments and multifamily developments, subject to the provisions of Section 86-71 (Development Standards; Residential) Average Occupancy Rate.
- (4) Occupancy of a dwelling unit by one family.
- (5) Public facilities.
- (6) Rental of a dwelling unit by one family for periods of no less than four consecutive weeks.

**SECTION 4.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 2 General Commercial District, Section 126-492 Conditional Uses, is hereby amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

**Section 126-492. Conditional Uses.**

The following uses in the GC General Commercial District shall be permitted as conditional uses subject to the conditions and procedures set forth in articles II and IV of this chapter:

- (1) Assisted living facilities.
- (2) Any drive-in or drive-through facility in conjunction with a permitted, or ~~approved~~ conditional, commercial use; except that drive-up, drive-through or drive-in lanes

with carry-out service windows shall not be permitted in or at any eating place, restaurant, food service operation or beverage or liquor store; and except that formula restaurants shall not be permitted in this, or in any, district of the City.

- (3) Any permitted, or ~~approved~~ conditional, commercial use involving on-site food preparation or processing; except that drive-up, drive-through or drive-in lanes with carry-out service windows shall not be permitted in or at any eating place, restaurant, food service operation or beverage or liquor store; and except that formula restaurants shall not be permitted in this, or in any, district of the City.

- (4) Any commercial building resulting in more than 6,000 square feet of commercial floor area, not including buildings occupied by the following uses that are exempt from this limitation: grocery stores, hardware stores, restaurants and furniture and home furnishings stores. The expansion of an existing commercial building resulting in a building with more than 6,000 square feet of commercial floor area requires conditional use approval. However, a conditional use permit is not required to re-occupy a lawfully existing commercial building that is larger than 6,000 square feet of commercial floor area with Retail Uses listed in Section 126-491 Permitted Uses.

For this use, conditional use approval must be obtained from City Council.

- (5) Any commercial retail use resulting in more than 2,000 square feet of commercial floor area, not including the following uses that are exempt from this limitation: grocery stores and food markets, hardware stores, and furniture and home furnishings stores.

The combining of existing commercial units or the expansion of an existing commercial unit resulting in a commercial retail unit with more than 2,000 square feet of commercial floor area requires conditional use approval. However, conditional use approval is not required to re-occupy a lawfully existing retail unit that is larger than 2,000 square feet of commercial floor area with a Retail Use listed in Section 126-491 Permitted Uses.

For this use, conditional use approval must be obtained from City Council.

- (6) Any commercial unit with street frontage exceeding 50 linear feet for any commercial units fronting on and within 200 feet of the right-of-way for an arterial or collector road, not including the following uses that are exempt from this limitation: grocery stores, hardware stores, restaurants, and furniture and home furnishings stores.

The combining of existing commercial units or the expansion of an existing commercial unit resulting in a commercial retail unit with more than 50 linear feet of street frontage on and within 200 feet of the right-of-way for an arterial or collector road requires conditional use approval.

For this use, conditional use approval must be obtained from City Council.

- (~~7~~ 4) Automobile and other motorized vehicle rental agencies.
- (~~8~~ 5) Automotive repair shops.
- (~~9~~ 6) Bicycle rentals.
- (~~10~~ 7) Boat and canoe rentals.
- (~~11~~ 8) Car washes.
- (~~12~~ 9) Carry-out food stores not listed as a permitted use, including ice cream shops (retail).
- (~~13~~ 40) Caterers.
- (~~14~~ 44) Coin-operated laundries.
- (~~15~~ 42) Combined residential and commercial developments.
- (~~16~~ 43) Foster family homes.
- (~~17~~) Formula Retail Stores (retail) provided that the retail use (activity) is listed as a Primary Intended Use or Conditional Use for this District. The definition of Formula Retail Store is provided in Section 78-1 Rules of Construction and Definitions.
- (~~18~~ 44) Gasoline service stations (retail).
- (~~19~~ 45) Grocery stores, delicatessen stores, and food markets (retail).
- (~~20~~ 46) Increased-density below market rate housing.
- (~~21~~ 47) Institutional uses.
- (~~22~~ 48) Marine sales and repair shops (retail).
- (~~23~~ 49) Motion picture theatres, except drive-in.
- (~~24~~ 20) Outdoor storage in conjunction with a permitted, or approved, conditional commercial use.
- (~~25~~ 24) Public utility uses.
- (~~26~~ 22) Rehabilitation centers.
- (~~27~~ 23) Residential child caring facilities.
- (~~28~~ 24) Restaurants and other eating places (retail); except that:

- a. Drive-up, drive-through or drive-in lanes with carry-out service windows shall not be permitted in or at any eating place, restaurant, food service operation or beverage or liquor store; and
- b. Formula restaurants shall not be permitted in this, or in any, district in the City.

(29 25) Social service homes.

(30 26) Theatres for live performances.

(31) Variety or department stores (retail).

**SECTION 5.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 2 General Commercial District, Section 126-494 Required Conditions, is hereby amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

**Section 126-494. Required Conditions.**

(a) *Maximum floor area ratio.* The maximum floor area ratio for parcels in the GC General Commercial District ~~with an area of 20,000 square feet or greater and with 100 feet or more of road frontage~~ shall be ten percent. ~~For all other parcels in the GC general commercial district the maximum floor area ratio shall be five percent.~~

(b) *Height.* The height of the principal structure in the GC General Commercial District shall not exceed 45 feet above mean sea level. In any structure, commercial floor area shall be limited to the lowest story, either below base flood elevation (and floodproofed) or elevated to or above the base flood elevation. However, two stories may be used for commercial floor area, provided that the following criteria are met:

- (1) No more than 40 percent of the commercial floor area in the structure is on the second story.
- (2) The second story is to be completely within the roof of the structure.
- (3) The main roof of the structure is limited to a maximum pitch of ten vertical on 12 horizontal and must extend down to the ceiling of the first floor.
- (4) Dormers shall be limited in number and size to that necessary to provide adequate air circulation to the second story.
- (5) The access to the second story of the structure is permitted only by means of an interior connection to the first floor.

(c) *Front yard setback.* For principal structures in the GC General Commercial District there shall be a front yard setback of not less than 100 feet from the centerline of minor arterial or collector roads and 50 feet from the centerline of any other street, except where a special setback is imposed, as set forth in Article XIV, Division 3, Subdivision II of this Chapter, and except that such applicable setback shall not be less than 20 feet from any open body of water.

(d) *Side and rear yard setbacks.* For principal structures in the GC General Commercial District there shall be side yard setbacks of 25 feet each for parcels with more than 125 feet of road frontage and of 15 feet each for parcels with 125 feet or less of road frontage, and there shall be a rear yard setback of 20 feet. All structures in the GC General Commercial District shall be set back a minimum of 20 feet from open bodies of water.

(e) *Coverage.* The maximum land area to be covered with impermeable surfaces in the GC General Commercial District shall not exceed 45 percent of the lot area, but see also Section 126-977.

(f) *Developed area and vegetation removal.* The maximum land area to be used as developed area and the maximum land area to be cleared of vegetation in the GC General Commercial District shall not exceed 50 percent of the gross area of any parcel.

(g) *Environmental performance standards.* Except as may be specified to the contrary in divisions 2 through 5 of this Article, commercial development of any parcel in the GC General Commercial District shall comply with the environmental performance standards set forth in section 126-653 and Article XIII, Divisions 2 through 7, of this Chapter for the applicable ecological zones designated on the Zoning Map of the City.

**SECTION 6.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 3 Town Center General Commercial District, is hereby amended by adding a new Section 126-510 Purpose, with underlining indicating additions, as follows:

**Section 126-510. Purpose.**

The purpose of the TCG Town Center General Commercial District is to provide for commercial and mixed use development in the geographical center of the City. Because of this area's relatively good access from Periwinkle Way, Palm Ridge Road and Tarpon

Bay Road and proximity to civic, cultural and governmental uses, the Town Center General District is a preferred location for retail and mixed use development and therefore higher floor area ratios are permitted. The TCG Town Center General Commercial District is designed to provide a wide variety and mixture of retail, office, and service uses, along with integrated residential uses of low and moderate intensities.

**SECTION 7.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 3 Town Center General Commercial District, Section 126-511 Permitted Uses, is hereby amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

**Section 126-511. Permitted Uses.**

(a) *Primary intended uses.* ~~The TCG Town Center General Commercial District is designed to provide a wide variety and mixture of retail, office, and service uses, along with integrated residential uses of low and moderate intensities.~~ Primary intended commercial uses for the TCG Town Center General Commercial District are the same as for the GC General Commercial District, but with higher permitted floor area ratios and residential densities. See Subsection 126-491(a) for the listing of permitted uses.

(b) *Other permitted uses.* Other permitted uses for the TCG Town Center General Commercial District are the same as for the GC General Commercial District. See Subsection 126-491(b) for the listing of other permitted uses.

**SECTION 8.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 3 Town Center General Commercial District, Section 126-512 Conditional Uses, is not amended, however, there are amendments to Section 126-492, which is referenced in this section of the ordinance.

**Section 126-512. Conditional Uses.**

Conditional uses in the TCG Town Center General Commercial District are the same as for the GC General Commercial District, but with higher permitted floor area ratios. See Section 126-492 for the listing of conditional uses.

**SECTION 9.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 3 Town Center General Commercial District, Section 126-514 Required Conditions, is hereby amended, with underlining indicating additions and ~~striketrough~~ indicating deletions, as follows:

**Section 126-514. Required Conditions.**

(a) *Maximum floor area ratio.* The maximum floor area ratio for parcels in the TCG Town Center General Commercial District ~~with an area of 20,000 square feet or greater and with 100 feet or more of road frontage shall be 12 percent. For all other parcels in the TCG town center general commercial district the maximum floor area ratio shall be five percent.~~

(b) *Height.* The height of the principal structure in the TCG Town Center General Commercial District shall not exceed 45 feet above mean sea level. In any structure in the TCG GG Town Center General Commercial District, commercial floor area shall be limited to the lowest story, either below base flood elevation (and floodproofed) or elevated to or above the base flood elevation. However, two stories may be used for commercial floor area, provided that the following criteria are met:

(1) No more than 40 percent of the commercial floor area in the structure is on the second story.

(2) . . .

(c) *Front yard setback.* . . .

(d) *Side and rear yard setbacks.* . . .

(e) *Coverage.* . . .

(f) *Developed area and vegetation removal.* . . .

(g) *Environmental performance standards.* . . .

**SECTION 10.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 4 Town Center Limited Commercial District, is hereby amended by adding a new Section 126-530 Purpose, with underlining indicating additions, as follows:

**Section 126-530. Purpose.**

The purpose of the TCL Town Center Limited Commercial District, like the TCG Town Center General Commercial District, is also to provide for commercial and mixed-use development in the geographical center of the City. Because of this area's relatively good access from Periwinkle Way, Palm Ridge Road and Tarpon Bay Road, and proximity to civic, cultural and governmental uses, the TCL Town Center Limited District is a preferred location for retail development and therefore higher floor area ratios are permitted. The TCL Town Center Limited Commercial District is designed to provide an opportunity for a variety and mixture of retail, office, and service uses which support the establishment and retention of island and resident serving commercial uses and discourage commercial uses that cater principally to the day visitor to the City.

**SECTION 11.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 4 Town Center Limited Commercial District, Section 126-531 Permitted Uses, is not amended.

**Section 126-531. Permitted Uses.**

(a) *Primary intended uses.* ~~The TCL Town Center Limited Commercial District is designed to provide an opportunity for a variety and mixture of retail, office, and service uses which serve the needs of city residents, with integrated residential uses of moderate intensity.~~ Primary intended commercial uses for the TCL Town Center Limited Commercial District are the same as for the GC General Commercial District and the TCG Town Center General Commercial District, except that the following uses are not permitted:

- (1) Apparel and apparel accessories stores (retail).
- (2) Children's and infant's wear stores (retail).
- (3) Gift, novelty, and souvenir shops, including shell shops (retail).
- (4) Jewelry stores (retail).

See Subsection 126-491(a) for the listing of other uses that which are permitted.

(b) *Other permitted uses.* Other permitted uses for the TCL Town Center Limited Commercial District are the same as for the GC General Commercial District and the TCG Town Center General Commercial District. See Subsection 126-491(b) for the listing of other permitted uses.

**SECTION 12.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 4 Town Center Limited Commercial District, Section 126-532 Conditional Uses, is not amended, however, there are amendments to Section 126-492 in this ordinance.

**Section 126-532. Conditional Uses.**

Conditional uses in the TCL Town Center Limited Commercial District are the same as for the GC General Commercial District and the TCG Town Center General Commercial District. See Section 126-492 for the listing of conditional uses.

**SECTION 13.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 4 Town Center Limited Commercial District, Section 126-534 Required Conditions, is hereby amended, with underlining indicating additions and ~~strike through~~ indicating deletions, as follows:

**Section. 126-534. Required Conditions.**

(a) *Maximum floor area ratio.* The maximum floor area ratio for parcels in the TCL Town Center Limited Commercial District ~~with an area of 20,000 square feet or greater and with 100 feet or more of road frontage shall be 12 percent. For all other parcels in the TCL town center limited commercial district the maximum floor area ratio shall be five percent.~~

- (b) *Height. . . .*
- (c) *Front yard setback. . . .*
- (d) *Side and rear yard setbacks. . . .*
- (e) *Coverage. . . .*
- (f) *Developed area and vegetation removal. . . .*
- (g) *Environmental performance standards. . . .*

**SECTION 14.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations is hereby amended to add a new Section 126-1024 Maximum Percentage of Commercial Floor Area (Balance and Mix of Businesses) Occupied by Formula Retail Stores with underlining indicating additions, as follows:

**Section 126-1024 Maximum Percentage of Commercial Floor Area (Balance and Mix of Businesses) Occupied by Formula Retail Stores.**

In order to maintain Sanibel's economic viability and diversity, community character and unique composition of island serving commercial land uses, the total floor area of all permitted formula retail stores, as defined in Section 78-1 Rules of Construction and Definitions, shall not exceed 50,000 square feet, unless a Conditional Use Permit is issued by City Council pursuant to Section 126-102 Formula Retail Stores.

The City Manager or the manager's designee shall maintain an Inventory of Commercial Land Uses, including formula retail stores, within the GC General Commercial District, the TCG Town Center General Commercial District and the TCL Town Center Limited Commercial District. The Commercial Land Use Inventory shall be updated on an annual basis or at the request of City Council.

City Council shall consult the Commercial Land Use Inventory and the Sanibel Plan, including the Economic Assumptions of the Plan, other relevant information and a report from the Planning Commission when considering an application for a conditional use permit seeking an expansion of the total number of square feet devoted to formula retail uses.

**SECTION 15.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations is hereby amended to add a new Section 126-1025 Maximum Size for a Commercial Building with underlining indicating additions, as follows:

**Section 126-1025. Maximum Size for a Commercial Building.**

The size of a commercial building shall not exceed 6,000 square feet of commercial floor area, unless conditional use approval is obtained from City Council for the building, pursuant to Section 126-103.

For the purposes of this regulation, the commercial floor area of a building is based on the total floor surface under roof in a structure.

For buildings occupied by both commercial and residential uses, the limitation on building size applies only to the commercial floor area and does not include residential floor area.

This limitation on maximum building size does not apply to commercial buildings occupied by the following commercial uses: grocery stores, hardware stores, restaurants, and furniture and home furnishings stores.

**SECTION 16.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations is hereby amended to add a new Section 126-1026 Maximum Size for a Commercial Unit with underlining indicating additions, as follows:

**Section 126-1026. Maximum Size for a Retail Commercial Unit.**

The size of a commercial retail unit shall not exceed 2,000 square feet of commercial floor area, unless conditional use approval is obtained from City Council for the retail unit, pursuant to Section 126-104.

This limitation on maximum unit size does not apply to grocery stores and food markets, hardware stores, restaurants, and furniture and home furnishings stores. This limitation does not apply to office and service commercial uses.

**SECTION 17.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations is hereby amended to add a new Section 126-1027 Maximum Street Frontage for a Commercial Unit with underlining indicating additions, as follows:

**Section 126-1027. Maximum Street Frontage for a Commercial Unit.**

The width of a commercial unit that fronts (faces) on an arterial or collector road and that is within 200 feet of that street right-of-way shall not exceed 50 linear feet, unless conditional use approval is obtained from City Council for the commercial unit, pursuant to Section 126-105.

The following uses that are exempt from this limitation: grocery stores, hardware stores, restaurants, and furniture and home furnishings stores.

**SECTION 18.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations, Division 5 Commercial Uses Generally, is hereby amended to add a new Section 126-1028 Architectural Standards, with underlining indicating additions, as follows:

**Section 126-1028. Architectural Standards.**

The architectural standards in this section shall apply to all new commercial buildings, whether the buildings are new development or redevelopment of existing commercial floor area. These architectural standards also apply to an existing commercial building that is adding, or redeveloping, more than 25% of the commercial floor area of that building. To the extent practicable, these standards will apply to major improvements to the exterior of existing commercial buildings that involve replacement or relocation of windows, entryways, walkways and elements of the building's façade, provided that the improvement exceeds normal repair and maintenance. These standards do not apply to interior renovations that do not affect the external appearance of the building.

- a) Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.
- b) Commercial buildings shall not appear monolithic.

- c) Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and recognize and respect local character and site conditions.
- d) Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses. The following provides a basis for general standards:
  1. Facades shall be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls.
  2. Articulation of facades and roofing shall be used to vary the building's mass, in height and width, so that it appears to be divided into distinct elements and details.
  3. Facades shall provide, through the use of detail and scale, visual interest that is consistent with the character of the community.
- e) Building entryways and windows shall be located so as not to permit noise, light and other impacts on the quiet and private enjoyment of adjacent residential uses.
- f) All rooftop mechanical equipment protruding from the roof must be screened from public view by integrating it into a building and roof design.
- g) City Council may adopt and, from time to time, amend an illustrated guide of architectural standards to aid in the administration and interpretation of the above standards.

**SECTION 19.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations, Division 5 Commercial Uses Generally, is hereby amended to add a new Section 126-1029 Site Planning Standards, with underlining indicating additions, as follows:

**Section 126-1029. Site Planning Standards.**

The site planning standards in this section shall apply to all new commercial developments, whether or not the commercial buildings are new development or redevelopment of existing commercial floor area. These site planning standards also apply to commercial developments that are adding, or redeveloping, more than 10% of

the commercial floor area of that development or more than 3,000sf of commercial floor area.

a) Location and Design of Off-street Parking.

Off-street parking spaces shall be primarily located below or at the front or side of commercial buildings. The location and design of off-street parking shall not impact adjoining residential uses, conservation land or wildlife habitat.

b) Location and Design of Off-street Loading and Service Areas.

On-street loading and service areas shall be appropriately designed, located, landscaped and screened to ensure that adjoining residential areas and environmentally sensitive land uses will not be negatively impacted.

c) Site Access and Internal Circulation.

- Multiple and independent points of ingress and egress shall be avoided when possible.
- Unobstructed sight lines at points of ingress and egress shall be provided to ensure pedestrian, bicyclists and motorist safety.
- When possible, bicycle and pedestrian cross access between commercial sites and developments shall be established.
- Functional and integrated access and internal circulation for people with disabilities shall be provided.
- Safe and efficient internal pedestrian circulation to and from on-site parking spaces shall be provided.
- Conveniently located on-site storage areas for bicycles shall be provided.

d) On-site Utilities, Equipment, Lighting, Trash Containers, Dumpsters and Service Areas and Activities.

All above ground utilities, equipment and related service facilities and operations shall be designed, located and maintained to ensure compatibility with adjoining residential areas and other environmentally sensitive land.

e) Landscaping, Buffering and Screening.

In addition to the vegetation buffers and parking area vegetation required for commercial uses, by Chapter 122, Article II, Division 2, courtyards and lands around buildings are to be landscaped. Specific and detailed landscape plans are required for buffering and screening adjacent residential uses from negative visual and physical impacts of the commercial land uses. Side and rear yard

setbacks may have to be increased to provide adequate vegetation buffering for abutting and nearby residential land uses.

- f) City Council may adopt and, from time to time, amend an illustrated guide of site planning guidelines to aid in the administration and interpretation of the above standards.

**SECTION 20.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations, Division 5 Commercial Uses Generally, is hereby amended to add a new Section 126-1030 Standards for Compatibility with Wildlife Habitat, Conservation Land and Residential Areas, with underlining indicating additions, as follows:

**Section 126-1030. Standards for Compatibility with Wildlife Habitat, Conservation Land and Residential Areas.**

It is imperative that commercial land uses, in terms of site, architectural and environmental design, blend in with the natural and residential character of the community and mitigate potential negative impacts. All plans for commercial development or redevelopment shall fully comply with the following conditions, standards, and requirements to ensure compatibility with wildlife habitat, conservation and environmentally sensitive land, and residential areas:

- a) The Required Conditions established for each Commercial District (Sections 126-494, 126-514, and 126-534);
- b) Limitations on Amount of Coverage with Impermeable Surfaces, Vegetation Removal and Developed Area (Sections 126-494, 126-514, and 126-534);
- c) Architectural Standards (Section 126-1028);
- d) Site Planning Standards (Section 126-1029);
- e) Environmental Performance Standards (Chapter 126. Zoning, Article XIII).
- f) Landscaping and Buffering (Chapter 122 Vegetation).
- g) Outdoor Lighting Standards (Section 126-997).
- h) Litter (Chapter 30 Environment, Article II); and
- i) Noise (Chapter 30 Environment, Article III).

**SECTION 21.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XV Off-Street Parking and Loading, Division 2 Off-Street Parking, Subdivision III Nonresidential Uses, Section 126-1361 Required Parking Spaces, is hereby amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

**Section 126-1361. Required Parking Spaces.**

No development permit shall be issued for any nonresidential use or structure, or for any addition to or expansion thereof, unless parking spaces, in compliance with all requirements of this section are provided as follows:

| <u>Use</u>             | <u>Required Parking Spaces</u> |
|------------------------|--------------------------------|
| Commercial Retail Uses | For each . . .                 |
| ...                    | ...                            |
| Boat Rentals           | 1 for each . . . , or canoes   |

Division and reestablishment of commercial units that had previously been combined into a larger commercial unit are not required to comply with the requirements of this section, provided there has been no reduction in the number of on-site parking spaces since the commercial units being recreated were combined.

**SECTION 22.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article IV Conditional Uses, is hereby amended to add a new Section 126-102 Formula Retail Stores, with underlining indicating additions, as follows:

**Section 126-102. Formula Retail Stores.**

Conditional use approval is required for all new formula retail stores, even if the prior use was a formula retail store, regardless of whether the prior formula retail store had obtained conditional use approval for that use. Formula Retail Stores may be permitted as a conditional use, subject to the following conditions set forth in this section:

- (1) The formula retail store shall be compatible with existing land uses on the same site as the formula retail store and with existing and permitted, adjacent and nearby land uses.
- (2) The formula retail store shall be designed and operated in a non-intrusive manner that preserves and is consistent with the historic, architectural, visual character and ambiance of the Commercial Sector of the community. Formula, standardized, "cookie-cutter" architecture, including architectural features, is prohibited.
- (3) The floor area of the formula retail store shall not exceed 2,000 square feet of commercial floor area.
- (4) The proposed development intensity of the formula retail store shall not exceed that of other low and moderate intensity retail uses that are permitted on the site of the formula retail store.
- (5) The formula retail store shall not imbalance the variety and mixture of retail, office, and service uses that make up the Commercial Sector of the community.

A conditional use application for a new formula retail store that results in the total commercial floor area used by formula retail stores in all of the City's Commercial Districts to exceed 50,000 square feet, or as may be adjusted pursuant to Section 126-1024 of this Code, requires Planning Commission review and City Council approval, subject to the following conditions, in addition to the prior 5 conditions listed in this section:

- (6) The formula retail store, in aggregation with other formula retail stores in the City, shall not produce an imbalance between the resident-serving and resort (tourist) segments of the Commercial Sector of the community.
- (7) The formula retail store, in aggregation with other formula retail stores in the City, shall not frustrate the City's desire to retain a unique and diverse service and retail base in the local economy and to provide opportunities for small, local businesses
- (8) The formula retail store, in aggregation with other formula retail stores in the City, shall not discourage the continuation of existing businesses or establishment of new businesses that serve the residential segment of the community.

(9) The formula retail store, in aggregation with other formula retail stores in the City, shall retain the historical and visual character of the Commercial Sector.

(10) The most basic of all of the economic assumptions for Sanibel's planning is that Sanibel's economic fortune is directly related to the viability of its natural systems. The formula retail store, in aggregation with other formula retail stores in the City, must not place added demand on Sanibel's natural and human made infrastructure. Sanibel must protect the environment because of the responsibility entrusted to the people of Sanibel to care for these resources, but also as a component of a sound economic policy. The economic base of Sanibel is the environment.

City Council review of the conditional use application will be in accordance with the authorization, requirements and conditions established for the Planning Commission review of conditional use applications in Sections 82-201, 82-202 and 82-203 of this Code.

**SECTION 23.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article IV Conditional Uses, is hereby amended to add a new Section 126-103 Any Commercial Building Exceeding 6,000 Square Feet of Commercial Floor Area, with underlining indicating additions, as follows:

**Section 126-103. Any Commercial Building Exceeding 6,000 Square Feet of Commercial Floor Area.**

Any commercial building exceeding 6,000 square feet of commercial floor area, not including buildings occupied by the following uses that are exempt from this limitation: grocery stores, hardware stores, restaurants and furniture and home furnishings stores, may only be permitted as a conditional use.

A conditional use application for a commercial building exceeding 6,000 square feet in commercial floor area, requires Planning Commission review and City Council approval, subject to the conditions set forth in this section:

- (1) The size of the commercial building shall be compatible with existing and permitted, adjacent and nearby land uses and with existing land uses on the same site as the commercial building.
- (2) The size of the commercial building shall be designed and operated in a non-intrusive manner that preserves and is consistent with the historic, architectural, visual character and ambiance of the Commercial Sector of the community.
- (3) Formula, standardized, "cookie-cutter" architecture, including architectural features, is prohibited.
- (4) The commercial building shall be designed in full compliance with:
  - a) the Architectural Standards in Section 126-1028;
  - b) the Site Planning Standards in Section 126-1029; and
  - c) the Standards for Compatibility with Wildlife Habitat, Conservation Land and Residential Areas in Section 126-1030.
- (5) The proposed size and development intensity of the commercial building shall not contribute to an imbalance in the mix of businesses that primarily serve the island and its residents and businesses and that primarily serve guests of resort housing developments and day visitors.

City Council review of the conditional use application will be in accordance with the authorization, requirements and conditions established for the Planning Commission review of conditional use applications in Sections 82-201, 82-202 and 82-203 of this Code.

**SECTION 24.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article IV Conditional Uses, is hereby amended to add a new Section 126-104 Variety or Department Stores and Commercial Retail Stores with More than 2,000 Square Feet of Commercial Floor Area, with underlining indicating additions, as follows:

**Section 126-104. Variety or Department Stores or Any Commercial Retail Use with More than 2,000 Square Feet of Commercial Floor Area.**

Variety or Department Stores and any commercial retail use with more than 2,000 square feet of commercial floor area, not including the following uses that are exempt

from this limitation: grocery stores and food markets, hardware stores, and furniture and home furnishings stores, may only be permitted as a conditional use:

A conditional use application for a commercial retail unit exceeding 2,000 square feet in commercial floor area, requires Planning Commission review and City Council approval, subject to the conditions set forth in this section:

- (1) Any commercial retail use with more than 2,000 square feet of commercial floor area shall provide products or services principally for the residents, property owners and guests residing in the resort housing sector of the City of Sanibel.
- (2) Any commercial retail use with more than 2,000 square feet of commercial floor area, as with specific commercial uses that are exempt from this size limitation, shall demonstrate that more than 2,000 square feet of commercial floor area is reasonably necessary for the operation of the business.
- (3) The building containing the use does not appear as standardized design that is replicated from another location.
- (4) The use is not a formula retail store.
- (5) Any commercial retail use with more than 2,000 square feet of commercial floor area shall not frustrate the City's desire to retain a unique and diverse service and retail base in the local economy and to provide opportunities for small, local businesses.
- (6) Any commercial retail use with more than 2,000 square feet of commercial floor area shall not discourage the continuation of existing businesses or establishment of new businesses that serve the residential segment of the community.
- (7) Any commercial retail use with more than 2,000 square feet of commercial floor area shall retain the historical and visual character of the Commercial Sector.

City Council review of the conditional use application will be in accordance with the authorization, requirements and conditions established for the Planning Commission review of conditional use applications in Sections 82-201, 82-202 and 82-203 of this Code.

**SECTION 25.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article IV Conditional Uses, is hereby amended to add a new Section 126-105 Commercial Units with Street Frontage Exceeding 50 Linear Feet, with underlining indicating additions, as follows:

**Section 126-105. Commercial Units With Street Frontage Exceeding 50 Linear Feet.**

Any commercial unit with street frontage exceeding 50 linear feet for commercial units fronting on and within 200 feet of the right-of-way for an arterial or collector road, not including the following uses that are exempt from this limitation: grocery stores, hardware stores, restaurants, and furniture and home furnishings stores, may only be permitted as a conditional use.

A conditional use application for a commercial unit with street frontage exceeding 50 linear feet for commercial units fronting on and within 200 feet of the right-of-way for an arterial or collector road, requires Planning Commission review and City Council approval, subject to the conditions set forth in this section:

- (1) The width of the street frontage of the commercial unit shall be compatible with existing land uses on the same site as the commercial unit and with existing and permitted, adjacent and nearby land uses.
- (2) The width of the street frontage of the commercial unit shall be designed in a manner that preserves and is consistent with the historic, architectural, visual character and ambiance of the Commercial Sector of the community.
- (3) The commercial building shall be designed in full compliance with:
  - a) the Architectural Standards in Section 126-1028;
  - b) the Site Planning Standards in Section 126-1029; and
  - c) the Standards for Compatibility with Wildlife Habitat, Conservation Land and Residential Areas in Section 126-1030.
- (4) The width of the street frontage of the commercial unit shall not frustrate the City's desire to retain a unique and diverse service and retail base in the local economy and to provide opportunities for small, local businesses.

- (5) The width of the street frontage of the commercial unit shall not discourage the continuation of existing businesses or establishment of new businesses that serve the residential segment of the community.

City Council review of the conditional use application will be in accordance with the authorization, requirements and conditions established for the Planning Commission review of conditional use applications in Sections 82-201, 82-202 and 82-203 of this Code.

**SECTION 26.** The Code of Ordinances of the City of Sanibel, Chapter 78 General Provisions, Section 78-1 Rules of Construction and Definitions, is hereby amended, with underlining indicating additions and ~~striketrough~~ indicating deletions, as follows:

**LDC Section 78-1. Rule of Construction and Definitions.**

(c) Throughout this Land Development Code, the following words and phrases shall have the meanings indicated unless the text of the article or section in which it is used clearly indicates otherwise:

*Delicatessen Store:* See Food Market.

Drug store or pharmacy means an establishment engaged in the retail sale of prescription drugs and nonprescription medicines, cosmetics and related supplies, where the majority of retail sales are prescription drugs and nonprescription medicines.

*Food Market* means a business establishment containing less than 5000sf of commercial floor area, primarily engaged in retailing a limited line of goods, household products, foods and beverages that generally includes milk, bread, sodas and snacks and may include a delicatessen-type component. This use does not include the retail sale of motor fuels at fuel pumps.

Formula Retail Store means a type of retail sales activity or retail sales establishment that is required by contractual or other arrangement to maintain any of the following:

- Standardized name of business
- Standardized business signage
- Standardized architecture
- Standardized (formula) array of merchandise
- Trademark
- Logo
- Uniforms

For the purposes of the City's Commercial Land Use Regulations, Formula Retail Stores do not include establishments providing professional services, including, but not limited to, real estate offices, medical offices, dental offices, offices of health practitioners, banks, savings and loan associations, mortgage and securities brokers, accounting services, appraisers, cable television services, insurance agents, and interior decorators.

Formula Retail Stores do not include grocery stores, hardware stores, gasoline service stations and restaurants; however, see the definition of formula restaurant.

Furthermore, retail stores that have more than one (1) location, but that had their original location in the City, are not defined as Formula Retail Stores. The second location of a retail store, that had its original location in the City, is not defined as a Formula Retail Store.

Grocery Store means a business establishment, containing more than 5000sf of commercial floor area, primarily engaged in retailing a general line of food and household products, including canned, packaged and frozen foods, fresh fruits and vegetables, and fresh and prepared meats, fish and poultry.

**SECTION 27.** The Code of Ordinances of the City of Sanibel, Chapter 78 General Provisions, Section 78-9 Activities constituting development, is hereby

amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

**Section 78-9. Activities constituting development**

(a) The following activities or uses shall be taken, for the purposes of this land development code, to involve development as defined in this section:

- (1) A reconstruction, alteration, addition, or material change in the external appearance, of a structure or land.
- (2) A change in the intensity of use of land, such as an increase or decrease in the number of dwelling units in a structure or on land or an increase or decrease in the number of ~~businesses, manufacturing establishments, offices or other~~ commercial units in a structure or on land.
- (3) . . .
- . . .
- (12) The establishment of a new formula retail store, even if the prior use was a formula retail store, regardless of whether the prior formula retail store had obtained conditional use approval for that use.

**SECTION 28.** The Code of Ordinances of the City of Sanibel, Chapter 82 Administration, Article IV Development Permits, Division 2 Procedure, Subdivision II Short Form, Section 82-401 Application, is hereby amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

**Section 82-401. Application.**

A short-form application may be available for the following types of development:

- (1) Construction of a single family dwelling or duplex, . . .
- (2) Additions or extensions to existing buildings, . . .
- (3) Commercial buildings ~~structures~~ not exceeding 2,000 ~~4500~~ square feet of ~~in~~ floor area and additions, not exceeding 2,000sf of floor area, to commercial buildings.
- (4) . . .

**SECTION 29.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VI Districts Generally, Section 126-241 Zoning Districts, is hereby amended by re-adopting the Commercial Zoning Map. The re-adopted Commercial Zoning Map has been converted to a digitized format, and a paper copy of the re-adopted Map is included in this ordinance as Attachment 1.

**SECTION 30.** Codification.

This ordinance shall be an amendment to the Code of Ordinances of the City of Sanibel. Sections 78-1, 78-9, 82-401, 26-491, 126-492, 126-494, 126-511, 126-512, 125-514, 126-531, 126-532, 126-534 and 126-1361 of the Sanibel Code of Ordinances are hereby amended. New Sections 126-102, 126-103, 126-104, 126-105, 126-470, 126-490, 126-510, 126-530, 126-1024, 126-1025, 126-1026, 126-1027, 126-1028, 126-1029, and 126-1030 are added to the Sanibel Code of Ordinances.

**SECTION 31.** Conflict.

All ordinances and parts of ordinances in conflict herewith shall be and the same are hereby repealed. If any part of this ordinance conflicts with any other part, it shall be severed and the remainder shall have full force and effect and be liberally construed.

**SECTION 32.** Severance.

If any section, subsection, sentence, clause, phrase or portion of this ordinance, or application hereof, is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such portion or application shall be deemed a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portion of application hereof.

**SECTION 33.** Effective date.

This ordinance shall take effect immediately upon adoption.

**DULY PASSED AND ENACTED** by the Council of the City of Sanibel, Lee County, Florida, this 20<sup>th</sup> day of February, 2007.

AUTHENTICATION: \_\_\_\_\_  
Mayor City Clerk

APPROVED AS TO FORM: \_\_\_\_\_  
City Attorney Date

Publication and Hearing Dates

Date notice mailed - Chpt 166, F.S.: November 16, 2006  
Chpt 166, F.S. Publication Date: December 11, 2006  
Date of First Public Hearing: December 19, 2006  
Chpt. 166, F.S. Publication Date: January 8, 2007  
Date of Second Public Hearing: January 16, 2007  
Chpt. 166, F.S. Publication Date (cont.): February 12, 2007  
Ordinance Publication Date: February 8, 2007  
Date of Second Public Hearing (cont.): February 20, 2007

Vote of Council Members:

Johnston \_\_\_\_\_  
Denham \_\_\_\_\_  
Brown \_\_\_\_\_  
Jennings \_\_\_\_\_  
\_\_\_\_\_

Date filed with the City Clerk: \_\_\_\_\_

Councilman Brown made a motion, seconded by Councilman Rothman, to invite Dr. LaPointe to come to a Council meeting.

The motion carried unanimously.

Vice Mayor Denham made a motion, seconded by Councilman Rothman, to pay for a doctoral student from North Carolina to come for study if approved by the Medical Committee staff had the authority to proceed.

The motion carried unanimously.

### **Current Beach conditions**

#### **Report from Natural Resources Department**

#### **Corps of Engineers Lake Okeechobee new Tentatively Selected Plan (TSP) for Water Regulation**

#### **Meeting Reports**

Dr. Loflin spoke to the following:

- Water Release Schedule approved (LB-T3) alternative modeled by the project development team
- Best for the Caloosahatchee River
- Revising the SCIS (Environmental Impact Statement
- June, 2007 final notice of acceptance
- Less inclined to make any changes due to the extension of public comment
- Water come for the summer the Lake would be kept at a lower level
- Funds to purchase forward pumps
- Need a representative to provide input at the week-to-week meeting

Discussion ensued regarding the greatest change that the water measurement would be at the Franklin Locke (S-77), holding water in Lake Okeechobee is there were continued base flow, and measurement take place at S-80 on the east side of Lake Okeechobee.

#### **Request from B. I. G. Arts Board of Directors, 900 Dunlop Road to clarify the rental policy for their facility leased from the City of Sanibel**

Council decided to delay until January 02, 2006 at 9:30 a. m.

Ms. Zimomra stated that the American Planning Association officially announced that the Sanibel Plan was selected to receive the 2007 National Planning Landmark Award with a formal presentation in Philadelphia later in the year.

#### **Revised request for Proposals for Professional Services (RFP) – Periwinkle Way, Palm Ridge and Tarpon bay Road Commercial District Plan**

Council delayed discussion until January 02, 2006 Council meeting.

#### **Public Hearing regarding Evaluation Appraisal Report (EAR) plan amendments Article 3, Part 3.3 Human Support Systems and Part 3.5 Capital Improvements**

Discussion ensued regarding

- Page 99 grammatical changes
- page 101 4<sup>th</sup> line from the bottom after the word “fund” add “and maintain”
- page 105 add a few sentences on water conservation
- Page 108 at the bottom change “who” to “whom”
- page 110 define Shared Use Path, add a synopsis of the City’s policy statement on transit
- page 110 in the middle of the page under Australian pines – they were destroyed or remove by Hurricane Charley



# City of Sanibel

Planning Department

## MEMORANDUM

DATE: December 11, 2006

TO: Judie Zimomra, City Manager

FROM:  Robert J. Duffy, AICP, Planning Director

SUBJECT: **Revised Request for Proposals (RFP) For Professional Services**  
**- Periwinkle Way, Palm Ridge Road and Tarpon Bay Road**  
**Commercial District Plan**

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The enclosed draft RFP for Professional Services to prepare the Periwinkle Way Commercial District Plan has been revised to reflect City Council's recent review and comments.

The revised draft RFP is submitted for City Council's consideration on December 19, 2006.

The sections of the RFP that have been revised are highlighted in yellow.

The revisions address the following:

1. Revised planning area map to include a specific boundary line (Figure 2).
2. Revised opening paragraph (Page 2) addressing the desired scope of work and planning objectives to amplify the importance of producing a district plan unique to Sanibel.
3. Revised objectives (Page 3) to clarify that the commercial district plan: must be based on the Sanibel Plan's vision statement and land use policies; respond completely to an intense and active community based process; define specific strategies to retain locally owned small businesses; focus on commercial and other service uses, including medical and related professional uses, necessary to support Sanibel's resident population.



City of Sanibel

**REQUEST FOR PROPOSALS**

**COMMERCIAL DISTRICT PLAN**

**PERIWINKLE WAY,  
PALM RIDGE ROAD,  
TARPON BAY ROAD &  
DUNLOP ROAD**

**Planning Department**

**December 19, 2006**



# City of Sanibel

**RFP 06 – 01**

## **REQUEST FOR PROPOSALS (RFP)**

### **COMMERCIAL DISTRICT PLAN**

#### **PERIWINKLE WAY, PALM RIDGE ROAD, TARPON BAY ROAD AND DUNLOP ROAD**

The City of Sanibel is seeking proposals from experienced planning firms and teams to assist with the preparation of a specific commercial district plan and supporting amendments to the Land Development Code for the western portion of Periwinkle Way, including Palm Ridge Road, Tarpon Bay Road and Sanibel's governmental, civic, cultural, historic and recreational complex primarily situated along Dunlop Road.

The following RFP defines the specific planning area, objectives, process, work products, proposal requirements, submission procedures and proposal evaluation criteria associated with the Periwinkle Way commercial district plan.

#### **1. PLANNING AREA**

The enclosed Figure 1 defines the location of the proposed planning area within the City of Sanibel and in relation to existing commercial zoning districts. Figure 2 defines the specific land use pattern, commercially zoned land, market and below market rate residential uses, preserved and environmentally sensitive lands and governmental, historic, civic, cultural and recreational uses that comprise the planning area.

#### **2. PLANNING OBJECTIVES - SCOPE OF WORK**

It will be essential that proposals submitted to successfully complete the commercial district plan demonstrate that the planning processes and products will be unique to Sanibel and depart from the traditional approaches to preparing a two dimensional and conceptual policy and land use plan and standardized zoning regulations. The scope of work shall produce a comprehensive, strategic and achievable plan and Land

Development Code amendments that will clearly visualize and articulate a sustainable future for the planning area consistent with the sanctuary and barrier island community character of Sanibel. The Plan will serve as a community based guide for private and public redevelopment decisions consistent with the vision (See Attachment 1), goals, objectives and policies of the Sanibel Plan (See [www.mysanibel.com](http://www.mysanibel.com)).

It is envisioned that the ultimate Plan will achieve the following objectives:

- Provide a specific and sustainable plan that will guide and support the short and long term redevelopment of commercial properties consistent with the Sanibel Plan, particularly with the Plan's Vision Statement (Attachment 1) and Part 3.6 Land Use (Attachment 2) including the Plan for Commercial Development.
- Provide a clear and illustrated vision for the planning district based on an intensive community based process.
- Define specific economic and regulatory strategies that will enable the retention of locally owned small businesses that are unique to Sanibel and discourage commercial development that exceeds the amount that can be supported on Sanibel.
- Define specific opportunities for alternative land uses, including medical and other professional and related services necessary to serve Sanibel's residents and seasonal population.
- Provide a unified open space and native landscape environment that will improve and expand visual and physical greenways and habitat connections to the surrounding conservation areas and reinforce the Periwinkle Way Corridor Restoration Master Plan.
- Create a true pedestrian and bicycle oriented environment consistent with the sanctuary and barrier island characteristics of Sanibel. Reinforce and guide the integration of the commercial, residential, civic, arts, historic, cultural and governmental functions and facilities.
- Provide opportunities for a wide range of Sanibel based cultural and art facilities, events and activities to occur and flourish.
- Define a general short and long term plan to guide governmental, civic, arts and cultural use improvements.
- Provide a comprehensive short and long range plan to improve pedestrian and bicycle accessibility and safety consistent with the update of the Shared Use Master Plan.
- Establish unified parking plans, standards, designs and management strategies to better serve permanent and temporary uses and seasonal events.

- Introduce opportunities for alternative forms of transportation to provide access to and from outlying island locations to reduce vehicular trips.
- Introduce opportunities for mixed uses to create a true neighborhood consistent with the appropriate scale and density prescribed by the Sanibel Plan and City Charter. Include opportunities for both market rate and below market rate housing that will serve a range of Island incomes and lifestyles.
- Develop special zoning districts and site planning, landscape, signage and dimensional standards as warranted consistent with the Sanibel Plan and City Charter that will reinforce and improve the character of the commercial corridor and buildings consistent with the desired forms and functions defined for specific sub-areas recommended by the commercial district Plan.
- Provide an illustrated set of design guidelines, pattern book or potential form based zoning regulations as part of the Land Development Code to enable the transfer of the Plan's vision and recommendations into the Land Development Code to support consistent and predictable implementation.
- Define specific priority redevelopment opportunity areas and supporting strategies as part of an implementation or action plan.

Proposals submitted shall include a scope of work that will address the above objectives and, at a minimum, include the following or comparable products:

1. Report of current conditions and key issues and opportunities
2. Community based vision
3. Evaluation of alternative concept plans
4. Preliminary Plan
5. Final District Plan and Focus Area Plans
6. Land Development Code amendments including design guidelines, pattern book or form based standards that will translate the plan's vision and recommendations into the Land Development Code.

The proposal shall demonstrate how the Firm or Project Team will produce preliminary and final plans that will address Sanibel's current economic conditions and trends and City Council's commitment to locally owned businesses.

Proposals shall also define the approaches and techniques that will be employed to maximize community, property owner and stakeholder participation during the development of the district plan. The planning and participation process shall also articulate key involvement and decision points for City Council and the Planning Commission.

The City will convene an interdepartmental advisory team composed of staff from key City departments. The team will provide technical information and serve as a resource during various phases of Plan development and review.

Proposals should define how the City's project team will be fully integrated into the planning process to insure timely and productive communication, active participation,

facilitate access to historical and existing information and the completion of various tasks and products in the most cost effective manner.

### **3. PROJECT MANAGEMENT**

Robert J. Duffy, AICP, Planning Director for the City of Sanibel shall serve as the project manager. The Deputy Director and a project planner will also serve on the City's project team. Other members of the Planning Department staff will also participate during the planning process. As indicated above, an interdepartmental advisory team will also be convened to facilitate communication with key City departments throughout the planning process.

### **4. SUBMISSION REQUIREMENTS**

#### **4.1 COPIES OF REQUEST FOR PROPOSALS (RFP)**

4.1.1 A copy of the Request for Proposals (RFP) must be examined and/or obtained from the City of Sanibel Planning Department, 800 Dunlop Road, Sanibel, Florida 33957 (or by calling (239) 472-4136 at no charge or by downloading these documents from our Internet site at [www.mysanibel.com](http://www.mysanibel.com). Please Note: Proposals will not be accepted by the City if the RFP is not obtained and included in your submittal to the City of Sanibel Planning Department.

#### **4.2 SUBMITTAL OF PROPOSALS**

4.2.1 Qualified planning Firms and Teams are invited to submit one (1) original and five (5) copies of their proposal to:

Robert J. Duffy, AICP  
Planning Director  
Planning Department  
City of Sanibel  
800 Dunlop Road  
Sanibel, FL 33957

4.2.2 **Complete proposals shall be submitted to the above address on or before 4 P.M. on \_\_\_\_\_, January \_\_\_\_\_, 2007.** Proposals will be opened immediately and recorded by the Project Manager or his designee.

Proposals submitted shall not be valid unless sealed in an envelope marked "Sealed Proposal". Proposals shall identify the name of the Firm or Team; project name; and date and time of submittal.

The proper delivery of the proposal to the City of Sanibel is solely and strictly the Firm's or Team's responsibility. The City of Sanibel shall not be responsible for delays caused by the United States Postal Service or any other occurrence.

The proposal delivery time will be scrupulously observed. Under no circumstances will proposals delivered after the specified delivery time be considered. Late proposals will be returned to the Firm or Team unopened with the notation: "This proposal was received after the delivery time designated for the receipt of proposals."

**4.2.3 Complete proposals shall, at a minimum, consist of the following:**

- Letter of Intent
- Contact Information
- Proposal Introduction, Background and Objectives Statement
- Qualifications and Experience
  - Principal Firm or Team
  - Subconsultants
  - Comparable Projects
- Personnel
  - Resume
  - Roles and Responsibilities
  - Project Organization Chart
- Proposed Scope of Services
- Proposed Community Participation Process
- Proposed Time Frame(s) for Project Completion

**4.2.4 Proposals shall include a preliminary schedule for undertaking the scope of work assuming an authorization to proceed within 60 days from the proposed submission deadline. A twelve (12) month project schedule shall be assumed. The schedule shall define, through both text and diagrams, time periods associated with specific phases of work, participation processes, product delivery milestones and key decision points.**

**5. INSTRUCTIONS TO FIRMS OR TEAMS**

**5.1 CITY'S RESERVATION OF RIGHTS**

The issuance of this RFP constitutes an invitation to present sealed proposals. The City reserves the right to determine, in its sole discretion, whether any aspect of the submittal satisfactorily meets the objectives and criteria established in the RFP, the right to seek proposal clarification from any Firm or Team, the right to solicit further qualifications from any Firm or Team submitting a proposal, and the right to reject any or all proposals with or without cause. The City also reserves the right to modify the Scope to be considered for this project. In the event that this RFP is withdrawn by the City, or the City does not proceed for any reasons, including but not limited to

the failure to occur of any of those things or events set forth herein, the City shall have no liability to any Firm or Team for any costs or expenses incurred in connection with the preparation and submittal of this RFP or otherwise.

## 5.2 CITY'S INTERPRETATION/ADDENDA

No interpretation or clarification of the meaning of the RFP document will be binding if made to any Firm or Team orally. Every such request must be in writing, addressed to Robert J. Duffy, AICP, Planning Director, and received no later than January \_\_\_\_, 2007 by 4:00 P.M.

All such interpretations, any supplemental instructions, and/or any modifications to the RFP deemed advisable by the City will be issued as a written Addendum and mailed to all Firms or Teams at their addresses not later than three (3) calendar days (excluding Saturdays, Sundays, and Holidays), prior to the proposal deadline date. All Addenda shall become part of the RFP and must be acknowledged in the proposal submitted.

## 5.3 RULES, REGULATIONS, LAWS, ORDINANCES & LICENSES

The Firm or Team shall observe and obey all laws, ordinances, rules, and regulations of the federal, state, and local municipality, which may be applicable to the supply of this service.

## 5.4 WITHDRAWAL OR MODIFICATION OF PROPOSALS

Proposals may be withdrawn or modified on written, faxed or telegraphic requests dispatched by the Firm or Team in time for delivery in the normal course of business prior to the time fixed for the deadline of submittals provided, however, that written confirmation of any telegraphic withdrawal or modification over the signature of the Firm or Team is placed in the mail and postmarked prior to the proposal submission deadline.

If, within twenty-four (24) hours after proposals are received (excluding Saturdays, Sundays and Holidays), any Firm or Team providing a signed, written notice to the City of Sanibel and demonstrating to the reasonable satisfaction of the City that there was a material and substantial mistake in the preparation of its submittal, may withdraw its submittal.

## 5.5 SUBMISSION OF ALTERNATIVES

Although this RFP specifies the objectives for a basic scope of work for completion of the Project and should be responded to in all respects, Firms or Teams are invited and encouraged to define alternatives that may be of interest to the City.

## 5.6 ADDITIONAL INFORMATION REQUESTS

The City reserves the right to request additional information from Firms or Teams during any phase of the evaluation process. During the evaluation and selection process, the City may require the presence of Firm's or Team's representatives to make presentations and answer specific questions. Notification of any such requirements will be given as necessary.

## 5.7 CONDITIONS OF AWARD

The City may elect not to award a contract solely on the basis of this RFP, and will not pay for the information solicited or obtained. The information obtained may be used in determining the alternative that best meets the needs of the County.

## 6. CRITERIA FOR EVALUATION AND AWARD

The successful Firm or Team will be selected based in part on the completeness and quality of the proposal submitted to the City of Sanibel. Firms or Teams may be requested to give an oral presentation after submission of a proposal should the City of Sanibel find it necessary.

**Evaluation Criteria:** Submittals will be evaluated and scored on the following criteria:

| <b>Evaluation Criteria</b>   | <b>Points Assigned</b> |
|--|------------------------|
| Completeness and Thoroughness of Proposal                                      | 5                      |
| Experience of Firm or Team   | 10                     |
| Experience with Comparable Projects  | 20                     |
| Demonstrated Knowledge of Sanibel Plan, Land Development Code and City Charter | 10                     |
| Responsiveness of Scope of Work to RFP Objectives                              | 25                     |
| Approach to Community Participation  | 20                     |
| Time Frame for Completion of Work  | 10                     |

Evaluation and ranking of proposals will be conducted in the Sunshine with appropriate public notice. The City will negotiate a contract with a Firm or Team based on the results of the evaluation. The resulting contract shall be subject to review and approval by City Council. The award shall be made to the responsible Firm or Team determined to be the most advantageous to the City taking into consideration the objectives and evaluation criteria set forth in the RFP.

## **Attachment 1**

### **Vision Statement Sanibel Plan**



## VISION STATEMENT

### BACKGROUND

The barrier island of Sanibel comprises a wide variety of natural and altered environments. The community of Sanibel strives to sustain ecological balance and preserve and restore natural settings for residents, visitors, and wildlife. The people of Sanibel are sustained by the beauty and health of the island's natural and restored habitats, and they rely on the coordinated vigilance of residents, government, and private enterprise to protect and enhance these habitats. Over the first two decades of the community's existence as a city, a tenuous balance has been maintained between development and preservation; and between regulatory control and the rights and privileges of individuals. Government and not-for-profit institutions have helped sustain the balance by purchasing and restoring to natural conditions substantial areas of open space and threatened habitats.

Limited new development and redevelopment will occur over the next twenty years. However, growth limits and locations are well established, as are regulations to minimize harm to the natural environment and to the community's character.

The specter of rampant development has diminished as the community has matured. Nevertheless, unwanted changes are occurring; visitation increases as new "attractions" are developed; beaches and refuge areas are becoming stressed by overuse; traffic congestion is turning to gridlock; and formerly "green" scenic corridors are becoming urbanized and commercialized. These and other conditions and trends cause residents to realize that, unless protected, their island's historic and cherished way of life is in jeopardy.

To provide a sense of direction for the

future, this Vision Statement is a confirmation of the community's shared values and goals, to guide future decisions.

### SANCTUARY

Sanibel is and shall remain a barrier island sanctuary, one in which a diverse population lives in harmony with the island's wildlife and natural habitats. The Sanibel community must be vigilant in the protection and enhancement of its sanctuary characteristics.

The City of Sanibel will resist pressures to accommodate increased development and redevelopment that is inconsistent with the Sanibel Plan, including this Vision Statement.

The City of Sanibel will guard against and, where advisable, oppose human activities in other jurisdictions that might harm the island's sensitive habitats, including the island's surrounding aquatic ecosystems.

### COMMUNITY

Sanibel is and shall remain a small town community whose members choose to live in harmony with one another and with nature; creating a human settlement distinguished by its diversity, beauty, uniqueness, character and stewardship.

**Diversity:** The City of Sanibel cherishes its cultural, social ecological, and economic diversity, and will endeavor to maintain it.

**Beauty:** The City of Sanibel will foster quality, harmony and beauty in all forms of human alteration of the environment. The community aesthetic is defined as a casual style; one which is adapted to a relaxed island quality of life and respectful of local history, weather, culture and natural systems.

**Uniqueness:** The City of Sanibel chooses to remain unique through a development pattern which reflects the predominance of

## PURPOSE

§ 1

natural conditions and characteristics over human intrusions. All forms of development and redevelopment will preserve the community's unique small town identity.

**Character:** The City of Sanibel chooses to preserve its rural character in its setting within and urbanizing county. "Auto-urban" development influences will be avoided. The commercialization of natural resources will be limited and strictly controlled.

**Stewardship:** In keeping with the foregoing principles, the City of Sanibel affirms a land ethic that recognizes landholding--both public and private--as a form of stewardship, involving responsibilities to the human and natural communities of the island and its surroundings, and to future generations.

## ATTRACTION

The Sanibel community recognizes that its attractiveness to visitors is due to the island's quality as sanctuary and as community. The City of Sanibel will welcome visitors who are drawn by, and are respectful of, these qualities; it will resist pressures to accommodate visitor attractions and activities that compromise these qualities.

## HIERARCHY OF VALUES

This three-part statement of the community's vision of its future is a hierarchy, one in which the dominant principle is Sanibel's sanctuary quality. Sanibel shall be developed as a community only to the extent to which it retains and embraces this quality of sanctuary. Sanibel will serve as attraction only to the extent to which it retains its desired qualities as sanctuary and community.



## **Attachment 2**

### **Sanibel Plan Part 3.6 Land Use**



### PART 3.6. LAND USE

The Land Use Element of the Sanibel Plan is a product derived from the other elements of the Plan; from the preceding parts of this Article.

This Land Use Element contains the Housing Element.

#### Section 3.6.1. Housing Goals, Objectives and Policies

*Pursuant to Chapter 163.3177, Florida Statutes and Chapter 9J-5.010(3) of the Florida Administrative Code.*

##### *Background Discussion*

The purpose of the housing element, as stated in the Florida Administrative Code, is to develop appropriate plans and policies which demonstrate the commitment of the City of Sanibel in meeting existing and projected deficits that are identified in the supply of housing. These plans and policies address government activities as well as provide direction and assistance to the efforts of the private sector.

The data and analyses for this Element of the Sanibel Plan, pursuant to Chapter 163.3177(6)(f), Florida Statutes and the minimum review criteria of Chapter 9J-5.010 of the Florida Administrative Code, are provided in the *1995 Evaluation and Appraisal Report for the Sanibel Plan*, adopted January 2, 1996.

Private sector activities are currently effective in conserving and maintaining the existing housing stock. There is virtually no substandard housing in the City of Sanibel.

In accordance with the Development Intensity Map, a limited number of additional dwelling units, approximately 1400, are projected.

Limited land resources, available to satisfy all housing demands, presents a significant constraint to the provision of housing for very low, low and moderate income people. Partially in response to this situation, the City has implemented a Below Market Rate Housing Program.

The City of Sanibel is a small, distinct component of the regional housing market. The City supports the provision of housing to meet special needs. Yet, some housing needs are best satisfied by the housing stock outside the City in the larger regional housing market.

The housing inventory is comprised of data from both the *1990 Census of Population and Housing* and local sources. The information from these distinct sources is consistent but not readily compatible. Census data excludes motels and units for short-term occupancy from the housing stock and does not reflect the seasonal population component of the functional population. Local data includes the housing stock for both the resident and seasonal population. The Sanibel housing stock totaled approximately 7600 dwelling units in 1995, compared with an estimated 2600 resident households. This wide disparity dramatizes the seasonal nature of occupancy and the accompanying high vacancy rates.

##### *Characteristics of the Housing Stock*

In the regional housing market, the City of Sanibel represents a small yet distinct component. The number of dwelling units in Sanibel comprise a small percentage (less than 5%) of the total number of dwelling units in Lee County. This percentage is projected to decline, as indicated by the projected growth rates for Lee County and for the City of Sanibel.

Nearly 60% of the housing stock is in multi-family structures, chiefly condominiums. Approximately 40% of the housing stock is

in single family houses. Mobile homes are only one percent of the housing stock. A few (250) camp sites are located in the trailer park.

Approximately 30% of the housing stock in the City of Sanibel has been constructed since 1980.

Sanibel has virtually no substandard housing and no pockets of housing deterioration or abandonment.

### *Affordable Housing*

The Sanibel Plan continues to provide opportunity for a diverse housing stock with a wide range of housing types permitted. Single family and multi-family structures are specifically permitted. Mobile homes are discouraged, however, because, despite the safety measures set out which take cognizance of the extreme vulnerability of the island to storm conditions, such housing would be very dangerous in heavy weather.

Development of all housing units is affected by the Land Development Code, building codes and other land use regulations, which are designed to accommodate the island's housing needs with the environmental fragility of its natural systems and its vulnerability to tropical storms of prime concern. Because of high land costs, and the need for construction techniques that provide storm protection, housing costs on Sanibel tend to be well above the average for residential building.

The *1995 Evaluation and Appraisal Report for the Sanibel Plan* identifies approximately 7600 dwelling units currently in the City of Sanibel. Over 60% of these units are occupied by tourists and the nonresident seasonal population. The participation of nonresidents and businesses in the Sanibel housing market has significantly contributed to the high cost of housing in Sanibel.

The cost of housing is high in the City of Sanibel. *The 1990 Census* identified only 48 (non-condominium) dwelling units in the City valued under \$100,000. The median value of \$292,500 was reported in *the 1990 Census* for (non-condominium) dwelling units. *The 1990 Census* reported median rent at \$827, with only 103 units with contract rent under \$600 for the City of Sanibel.

In spite of the large percentage of high valued dwellings in the existing housing stock, there are units in the City of Sanibel that are available to moderate income households. There are approximately 35 modest apartments located in association with commercial developments, and one 13 bedroom employee housing complex with shared kitchen facilities. There are 80 manufactured homes in the Periwinkle Park. There are also approximately 70 moderate-value non-waterfront condominium units.

The high cost of housing is impacted by the limited supply of vacant developable land. Only an additional 1400 dwelling units are projected to be added to Sanibel's housing stock at "buildout". Approximately 1000 of the additional units are anticipated as infill development on existing residential lots. The other approximately 400 units are anticipated on undeveloped (unsubdivided) lands.

In the inventory of 1000 existing vacant residential lots, there are a few lots valued under \$50,000 with virtually no lots valued under \$25,000. In the inventory of raw undeveloped residential land, estimated to allow a total of 400 units, land values under \$50,000 a unit would be hard to find and the cost of improvements would increase the per unit cost.

The situation of high land values is an important factor in assessing opportunities for providing affordable housing. The high cost of vacant land has contributed to the lack of moderate cost housing provided by

the private sector.

It is evident from an analysis of the existing housing stock and the vacant developable land inventory, that the private sector is unable, without a major philanthropic effort, to provide housing on Sanibel that is affordable to very low, low and moderate income households. In fact, assistance programs are generally unable to cost effectively bridge the gap between the money available for housing by very low, low and moderate income households and the high cost of (to purchase or rent) housing in the City of Sanibel.

#### *Subsidized Housing*

In the City of Sanibel, there are few privately owned renter-occupied housing units currently using Federal Section 8 rental subsidies. There are 42 renter-occupied units currently in the City's Below Market Rate Housing Program (BMRH).

#### *City of Sanibel's Below Market Rate Housing Program*

Provision for moderate-income housing has had to rely on assistance from the City in cooperation with the private sector. In response to the need, and in compliance with the provisions of this Plan and the State's Local Government Comprehensive Planning Act of 1975, the City of Sanibel enacted a Below Market Rate Housing (BMRH) program. This program, established more than 15 years before the Vision Statement was added to the Sanibel Plan, is consistent with that expression of the community's aspiration for its future. The Below Market Rate Housing program, reflective of the values of the community, provides affordable housing opportunities for residents of moderate incomes or less.

Sanibel is nationally known for its dedication to remaining a "sanctuary" island for humans and wildlife. Less well-known, but just as important, is the City's commitment to maintaining a strong, diversified sense of

community.

As specified in its Vision Statement, Sanibel "cherishes its ... economic diversity," and "will endeavor to maintain it." Though the City might hypothetically satisfy state standards by providing low-income housing opportunities in nearby jurisdictions, it would in so doing fail to meet its own higher standard. Through the adoption of a Vision Statement in 1996, the citizens of Sanibel have reiterated their desire to maintain an economically diverse community.

To require that lower-income members of the community move to other jurisdictions to benefit from the City's Below Market Rate Housing program would contradict the City's Vision Statement, and defeat the very purpose of the BMRH program. Given the reality of Sanibel's status as a prosperous municipality that borders on far less prosperous communities, the effect of having an off-island housing program would be to establish a two-tier system. Providing for affordable housing off-island would mean that some of the lower income members of this community may be denied the opportunity to participate as full voting citizens. Additionally, the children of lower income members of the community may be denied the opportunity to associate with children of more prosperous residents at the Sanibel Elementary School. Senior members of our community with limited assets and lower incomes may be denied the opportunity to remain among lifelong friends and associates.

Sanibel's BMRH program deliberately breaks with many of the patterns established by public housing programs elsewhere. To underscore the fundamental equality of all citizens, BMRH units are constructed and landscaped to be virtually indistinguishable from the rest of the community. That eliminates the stigma that is usually attached to being in public housing, ensures that such housing conforms to the aesthetic standards of the community, and thereby fosters a well-earned sense of civic pride. It is the City's

goal to maintain that emphasis, as expressed in the Goal Statement for Housing and Policy 3.1 in this section.

The BMRH program has evolved to the present 42 units, 39 of which are owned by the nonprofit organization, Community Housing and Resources, Inc., acting as the City's Housing Foundation. Community support of the City's relationship with Community Housing and Resources, Inc. in the administration of the Below Market Rate Housing Program was affirmed in a November 1996 referendum.

The City funds most of the organization's administrative costs and provides the nonprofit organization with loans or grants for land or building acquisition, construction, or other purposes on a case-by-case basis. Key elements of the BMRH ordinance permit relaxation of density in specified ecological zones and allow residential use in connection with commercial development, all on a case-by-case basis. City contributions toward infrastructure (e.g. roads, sewer, water) would be additionally supportive of moderate income housing.

The present 42 units, 40 of which are committed to the City's BMRH program in perpetuity, provide affordable rental housing to approximately 100 adults and children. The City is acquiring a site for 12 additional BMRH units which are targeted to provide affordable housing opportunities to seniors.

#### *Other Housing*

In the City of Sanibel there are currently no group homes or foster homes licensed by the State of Florida. Group homes and foster homes are permitted in residential districts. Due to concerns for hurricane evacuation safety, only small scale group homes or foster homes are appropriate on the island. Large and medium size congregate living facilities are inappropriate on a barrier island, with evacuation constraints such as those present on Sanibel.

There is one mobile home park in the City of Sanibel. This lawfully existing use contains

80 mobile homes and 246 park sites for recreational vehicles. Unless constructed in strict compliance with the Sanibel Building Code, new mobile homes, as defined by Chapter 9J-5.003(52) of the Florida Administrative Code, are inappropriate for a barrier island such as Sanibel.

In the City of Sanibel there are no historic districts. An inventory of historically significant housing is provided in the Historic Preservation Element of the Plan.

#### **Housing Needs**

To achieve consistency with other elements of this Plan, particularly the Safety, Coastal Zone Protection and Conservation Elements, the supply of additional housing must be controlled. In 1995, approximately 85% of the housing stock anticipated in the City of Sanibel at buildout has already been constructed.

In general, there is a demand for Sanibel housing that has produced high property values and resulted in scarcity of very low, low and moderate income housing on the island. Because of the high value of the existing housing stock, and exceptionally high land and construction costs, government assistance will continue to be necessary to address the need, by young and old alike, for this type of housing on Sanibel.

The City's Housing Foundation has identified the need to provide affordable housing units for independent seniors who do not require assisted living arrangements.

#### *Land Requirements for Housing Needs*

The Future Land Use Element, reflecting all the elements of this Plan, has incorporated the concept of buildout which has always been a foundation of the Sanibel Plan. The concept of buildout was established in recognition of constraints imposed by the need for hurricane safety, adequate delivery of services and natural resource protection. These constraints clearly demonstrate that unlimited future growth would be hazardous to health, safety, and welfare of the public.

This discussion of density and intensity of use, used to establish the objectives of the Sanibel Plan, helps demonstrate the limited land resources available in the City of Sanibel. Housing needs can be satisfied only within the constraints imposed by limited land resources. This limit on future growth, always part of the Sanibel Plan, is reflected in the Development Intensity Maps.

The supply of additional housing, permitted in accordance with the Development Intensity Map, is expected:

- ✓ to be predominately single family residences and a small amount of relatively small scale multi-family structures,
- ✓ predominately high value (cost and rent) units for middle and upper income households.

The provision of moderate cost housing will continue to require the cooperation of the public and private sectors. The provision of housing for households with very low, low and moderate incomes will continue to require the cooperation of other local governments where land is more available and affordable.

#### *Adequate Sites for Very Low, Low and Moderate Income Housing*

As clearly established by the Sanibel Plan, there are many valid reasons for limiting the intensity of land use in the fragile ecosystem of the City of Sanibel. Valid reasons that have not only received extensive community support, but reasons that have been accepted, and to some extent endorsed by, the Southwest Florida Regional Planning Council and the Florida Department of Community Affairs. Consequently, as the City of Sanibel reaches 85% of its projected buildout for residential and non-residential land uses, there are few opportunities to provide affordable housing in a community where land use patterns are so established and land values are so high.

Pursuant to Florida Statutes Section 163.3177(6)(f)(2), the Florida Department of Community Affairs conducted an "affordable housing needs assessment". The City has received and reviewed this needs assessment as one basis for the preparation of this Housing Element. *The User's Guide for the Affordable Housing Need Assessment Methodology* states that, "If local communities do not feel that these estimates and projections reflect their expectations for their community, then they may propose alternatives to be considered." There are many factors that must be considered, incorporated and reflected in a realistic affordable housing needs assessment for the City of Sanibel. These factors include valid limitations on the intensity of land use throughout the island, valid growth management regulations for the protection of natural resources and valid concerns for safe hurricane evacuation, all resulting in a valid threshold for community "buildout". Other factors, such as the high cost of existing housing, the predominant occupancy of existing housing by nonresidents and the limited availability and high cost of vacant land must also be reflected.

*The User's Guide* for the methodology for the State's need assessment states, "...projections for small areas such as cities,..., are difficult because of the influence of ..., land availability, zoning, ... and other factors that have a large impact at the local level." *The User's Guide* for the methodology also states that, "Other factors...to consider when applying this methodology include the influence of ..., buildout,...and changes in the demographic character of the area."

The data and analyses from this needs assessment is being used as one basis for this Housing Element. However, it is critical to note that in, and consistent with the Sanibel Plan, are projections for about 1400 additional dwelling units. The State's needs assessment for affordable housing identifies a deficiency of about 1000 dwelling units by 2010. Historically the waiting list for the

BMRH program averages 30-50 very low, low and moderate income households, well below the State's estimates of Sanibel's affordable housing needs. For all the reasons cited above, the State's needs assessment is inappropriate for this community and does not reflect the historically documented need for affordable housing on Sanibel.

A limited amount of affordable housing can continue to be available within the community through continuation of the Below Market Rate Housing Program. Currently there are 42 BMRH units, representing about 1.6% of Sanibel resident households. A program target suggested in the 1995 Evaluation and Appraisal Report was for BMRH units available for 2.2% of Sanibel resident households. This target results in an existing deficiency of 16 additional BMRH units; and a projected deficiency of 14 more BMRH units at "buildout". These 29 additional BMRH units would increase the total number of units in the program to 69 units at "buildout". However, the achievement of this program target will be dependent on the availability of sites that can be developed in a cost-effective manner consistent with the objectives and policies of the Sanibel Plan. This needs assessment was prepared to provide a minimum and achievable target for the City's Below Market Rate Housing Program. However, it is not intended to place a limit on the program. If fiscally sound opportunities arise to provide units in excess of these targets then these opportunities should be considered for their value in maintaining diversity within the community. In fact, the Board of Community Housing and Resources suggests using a 3% of households as a realistic program target. This target, at 3%, indicates an existing need for an additional 36 BMRH units and the need for a minimum and achievable target of 55 additional units over the next 20 years (i.e., through buildout). The City will continue to fine-tune its determination of affordable housing needs, in accord with its Vision Statement and changing local conditions.

To assist in providing sites for moderate-income housing, the City allows density increases, in accordance with specified conditions, for dwelling units in the City's Below Market Rate Housing Program. To provide additional sites for very low, low and moderate income housing, the City has considered leasing or purchasing land for below market rate housing construction by the Housing Foundation, and is acquiring a site for affordable housing for seniors, in keeping with the goals and provisions of the Sanibel Plan.

There are no regulatory barriers created by the City that are intended to prevent the provisions of affordable housing in the City of Sanibel. There are no local public sector impediments pertaining to fair housing.

There can be adequate sites in the region to meet state identified housing need of very low, low and moderate income households. Since housing is a regional resource, the City of Sanibel will cooperate with other local governments, to address housing needs identified on a countywide and regional basis. However, the City's focus will continue to be on its on-island BMRH program, in accord with Sanibel's adopted Vision Statement supporting a community which "cherishes its... economic diversity" and "will endeavor to maintain it".

The City of Sanibel will continue to evaluate its Below Market Rate Housing Program to seek opportunities for its continuation in a manner that is both cost effective in its use of available local subsidies and consistent with the objectives and policies of the Sanibel Plan.

#### **Plan for Housing**

No community housing goal is complete without concern for equity which few communities can claim to have achieved. Sanibel is not alone in having grown without specific attention to housing for people with varying means. The City of Sanibel's plan for housing is to include the following activities:

1. Actively pursue ways to ensure equal access to an open housing market for all persons regardless of age, race, religion, sex, color, national origin, marital status, disability or place of birth.
2. Avoid establishing regulatory barriers to the provision of affordable housing.
3. Discourage additional resort housing from occurring outside of currently established resort housing areas.
4. Restrict development intensity in the resort housing areas that is in excess of levels upon which the Sanibel Plan was predicated.
5. Allow for provision of adequate sites for foster family homes, adult congregate living homes, residential child care, and similar specialized housing facilities, while assuring that these facilities are small-scale and appropriately coordinated in the City's Hurricane Evacuation Plan.
6. Consider introducing a mechanism for providing assistance in assembling the necessary rights-of-way and easements for certain infrastructure, such as road and drainage improvements, that may be required for BMRH projects.

**Goals, Objectives and Policies**

**GOAL STATEMENT:**

**Provide safe and decent housing in adequately serviced neighborhoods to meet the needs of the present and future residents of the City of Sanibel.**

**Objective 1:**

Incorporate into the adopted Land Development Code, consistent with the Sanibel Plan, incentives for the private sector to provide adequate and affordable housing to meet the needs of the present and future residents of the City of Sanibel.

**Policy 1.1.** While providing for the health, safety and welfare of the residents of Sanibel, improve coordination with private, including nonprofit, sector efforts to provide housing which meets the needs of present and future residents, particularly those with special housing needs, by reviewing the regulations contained in the Land Development Code.

**Policy 1.2.** The Planning Commission will annually review the permitting process for private sector housing to determine if improvements in the permit process are warranted.

**Policy 1.3.** Prior to issuing a development permit for new housing, the developer will demonstrate to the City that the infrastructure and public facilities needed to support that housing are in place or will be in place prior to occupancy of the housing.

**Objective 2:**

Conserve and maintain the City's sound and aesthetic housing stock by requiring permits for work done on existing structures and inspections for compliance with the Land Development Code and the Building Code.

**Policy 2.1.** Maintain standards in the Sanibel Land Development Code and Building Code which ensure quality housing that is safe and structurally sound and promotes stable neighborhoods.

**Objective 3:**

Increase the total number of housing (dwelling) units that are available to persons of very low, low and moderate income.

**Policy 3.1.** Provide for Sanibel-determined affordable housing needs on-island, through continuation of the City's Below Market Rate Housing Program.

**Policy 3.2.** Annually review the effectiveness of the City's Below Market Rate Housing (BMRH) (affordable housing) program and implement warranted revisions.

**Policy 3.3.** Support and assist the efforts of the Housing Foundation to increase the number of Below Market Rate Housing (affordable housing) units based on identified need.

**Policy 3.4.** Maintain the provision of the Land Development Code allowing conditional use increased density (additional unit bonus) for Below Market Rate Housing (affordable housing).

**Policy 3.5.** Distribute Below Market Rate Housing (affordable housing) units on Sanibel to provide a variety of residential settings and avoid undue concentration for very low, low and moderate income housing.

**Policy 3.6.** Apply for assistance under federal and state housing programs when it appears the City may qualify for assistance.

**Policy 3.7.** Ensure that Below Market Rate Housing units continue to be developed and maintained in a manner that is compatible with the character of the community.

**Policy 3.8.** Due to unusually high property values in the City, the City's location entirely within the coastal high-hazard area and the City's nearness to "buildout", there are a very limited number of sites available for any additional housing, much less for private sector-provided affordable housing. Consequently, if the City is unable to meet Sanibel-determined affordable housing needs on-island, through its BMRH program, the City will request that Lee County incorporate the unmet need in the county's affordable housing program.

**Objective 4:**

Make provisions for small-scale group homes and foster care facilities licensed or funded by the Florida Department of Children and Families by permitting them in accordance with the standards and requirements of the Land Development Code.

**Policy 4.1.** Allow for provision of adequate sites for group homes and foster care homes that are small-scale and appropriately coordinated in the City's Hurricane Evacuation Plan. Due to concerns for hurricane evacuation safety, large and medium size congregate living facilities and facilities which provide custodial care are inappropriate for location within the City of Sanibel.

**Policy 4.2.** Ensure that, by continued implementation of the development regulations of the Land Development Code, group homes and foster care facilities are not excluded from, or over-concentrated in, any residential district or area.

**Objective 5:**

Consistent with State Statutes and the Lee County Comprehensive Plan, new mobile home parks, mobile home condominiums, mobile home cooperatives and mobile home subdivisions, are not permitted on barrier islands, that is within the City of Sanibel.

**Policy 5.1.** New mobile home, as defined by Chapter 9J-5.003(52) of the Florida Administrative Code, construction or installation will comply with the regulations and standards of the Sanibel Land Development and Building Codes.

**Objective 6:**

Historically significant housing will be protected and preserved for residential use,

by incorporating into the Land Development Code incentives for the private sector.

**Policy 6.1.** Incorporate in the Land Development Code regulations which will permit the preservation, improvement and continued residential use of historically significant housing.

**Policy 6.2.** Maintain historically significant housing as identified on the Local Register of Historic Sites and Structures.

**Objective 7:**

Require substandard housing conditions to be eliminated when work is done on a house under a City permit.

**Policy 7.1.** For any substandard dwelling unit (i.e., structurally unsound and an immediate threat to health, safety and welfare) in the City of Sanibel, the owner will be cited for the violations and ordered to comply with the appropriate requirements of the Sanibel Building Code.

**Policy 7.2.** Continue code enforcement activities.

**Objective 8:**

Although no household (dwelling unit) displacement is projected in this Plan, if people are ever displaced by City programs, ensure that equitable treatment is provided to displaced people consistent with Section 421.55, Florida Statutes.

**Policy 8.1.** Should displacement by City programs occur, a program will be developed to ensure that standard housing is available to people displaced by City programs, prior to their displacement.

**Section 3.6.2. Future Land Use Goals, Objectives and Policies**

*Pursuant to Chapter 163.3177, Florida Statutes and Chapter 9J-5.006(3) of the Florida Administrative Code*

**Background Discussion**

The data and analyses for this element of the Sanibel Plan, pursuant to Chapter 163.3177(6)(a) and (7)(f), Florida Statutes and the minimum review criteria of Chapter 9J-5.005(2), .006 and .009 of the Florida Administrative Code, are also provided in the *1995 Evaluation and Appraisal Report for the Sanibel Plan*, adopted January 2, 1996.

| APPROXIMATE ACREAGE OF LAND USES - 1995 |               |            |
|---|---------------|------------|
| Land Use Category                       | Acreage       | %          |
| Conservation Uses                       | 6500          | 56.0       |
| Residential Uses                        | 2475          | 21.3       |
| Vacant/Undeveloped Land                 | 1165          | 10.0       |
| Recreation Uses                         | 575           | 4.9        |
| Roadways                                | 500           | 4.3        |
| Commercial Uses                         | 150           | 1.3        |
| Public Facilities                       | 60            | 0.5        |
| Other Uses                              | 175           | 1.5        |
| Industrial Uses                         | -             | -          |
| Agricultural Uses                       | -             | -          |
| <b>TOTAL</b>                            | <b>11,600</b> | <b>100</b> |

Note: There are approximately 475 acres of multifamily development included in the Residential Land Use Category. The Other Land Uses category includes churches, marinas, theater and the like.

Source: Sanibel Planning Department

Sanibel, located on a barrier island, is approximately 17.5 square miles in area (11,600 acres). The principal use of over 50% of the area in the City of Sanibel is conservation use. More than 8 square miles of the City are owned and managed by the federal government as the J. N. "Ding" Darling Wildlife Refuge. The Sanibel-Captiva Conservation Foundation owns more than a square mile of additional land which is managed for conservation purposes.

The City of Sanibel is located entirely within the Coastal Floodplain. The City has participated in the federal flood program since 1979. Flood and stormproofing regulation, which implement this program, are part of the Sanibel Land Development Code.

In accordance with Chapter 9J-5.009 of the Florida Administrative Code, a Ports, Aviation, and Related Facilities Element is not required for the Sanibel Plan. There are no ports, harbors, or aviation facilities in the City of Sanibel. Air access for emergency vehicles is maintained.

There are no areas of designated critical state concern, pursuant to Section 380.05, Florida Statutes, within or adjacent to the City of Sanibel. The Sanibel tidal wetlands are part of the Pine Island Sound Aquatic Preserve.

*Land Uses Adjacent to Sanibel*

State submerged lands are the adjacent land use to the City of Sanibel. The southern end of Captiva, adjacent to the Blind Pass Bridge, is public beach and low density single-family residential use. Punta Rassa, adjacent to the Sanibel Causeway, is high density hotels and condominiums, a tennis stadium and Resource Protection Lands. The McGregor/Summerlin Road Corridor, Sanibel's hurricane evacuation route, is expected to receive a large portion of the County's new development during the planning period for this Plan.

*Annexation/Expansion of Corporate Boundaries*

In 1990, the City expanded of its corporate limits to ½ mile offshore; into the coastal waters on State owned submerged land. The City is considering further expansions of its corporate limits to include submerged land and of the Sanibel Causeway.

*Population Estimates and Projections*

The constraints imposed by the need for hurricane safety, adequate delivery of services and natural resource protection clearly demonstrate that unlimited future population growth would be hazardous to health, safety and welfare of the public. To minimize these hazards it is essential to limit the total number of dwelling units, including hotel and motel units, trailer spaces, condominiums, timeshare units, duplexes and single family houses to approximately nine thousand (9,000) units, until such time it can be demonstrated that the community's ability to provide public facilities and services necessary for health, safety and welfare could reasonably accommodate increased numbers of dwelling units, while continuing to provide for hurricane safety, adequate delivery of services, protection of natural resources and maintenance of the character of the community.

It is important that the City of Sanibel manage future growth by maintaining current development controls, particularly intensity of use requirements, as buildout is approached, in order to prevent overcrowding of land and avoid undue concentration of population; to facilitate the adequate and efficient provision of transportation, water, sewage, schools, recreational facilities, housing and other requirements and services; to ensure adequate hurricane evacuation capabilities; and to conserve, develop, utilize and protect natural resources,

Sanibel, although a newly-incorporated city (1974), has reached a mature stage in its development. In 1995, eighty-five percent

(85%) of the dwelling units permitted on Sanibel, in accordance with the Development Intensity Map have already been constructed.

The population estimates and projections for the Sanibel Plan are provided in the following table. These population projections utilize the same methodology as used in the 1989 Plan.

| POPULATION ESTIMATES AND PROJECTIONS                                    |        |        |        |
|---|--------|--------|--------|
| Pursuant to Chapter 9J-5.005(2)(e) of the Florida Administrative Code   |        |        |        |
| FOR RESIDENT POPULATION   |        |        |        |
| Year  | 1995   | 2000   | 2015   |
| Low Range   | 5,700  | 5,700  | 5,985  |
| Medium Range  | 5,700  | 5,985  | 6,880  |
| High Range  | 5,700  | 6,270  | 7,780  |
| FOR SEASONAL POPULATION   |        |        |        |
| Year  | 1995   | 2000   | 2015   |
| Low Range   | 9,500  | 10,300 | 12,015 |
| Medium Range  | 11,020 | 11,615 | 12,920 |
| High Range  | 13,300 | 13,730 | 14,720 |
| FOR FUNCTIONAL POPULATION<br>resident and seasonal populations combined |        |        |        |
| Year  | 1995   | 2000   | 2015   |
| Low Range   | 15,200 | 16,000 | 18,000 |
| Medium Range  | 16,720 | 17,600 | 19,800 |
| High Range  | 19,000 | 20,000 | 22,500 |
| Source: Sanibel Planning Department.                                    |        |        |        |

During peak season, the seasonal population of the City of Sanibel is approximately twice as large as the resident population. For this

reason, the functional population (comprised of the resident population and the seasonal population) is the important population to consider for the analyses and evaluation of service delivery systems and impacts of development.

In addition to the functional population, the City of Sanibel is impacted by the daily influx of day visitors. This population, which does not utilize overnight accommodations within the jurisdiction of Sanibel, is mentioned here because of its potential impact on service delivery and maintenance of adequate level of service standards.

On an average day in peak season, the City of Sanibel estimates that approximately 13,000 day visitors enter the jurisdiction. This estimate was derived from the origin/destination survey conducted on the Sanibel Causeway in February, 1988. It would be difficult to project the number of day visitors for future years, but it is reasonable to expect that the number will increase.

For the planning purpose of analyzing and evaluating service delivery systems, the medium range functional population estimates and projections are utilized in this Plan. However, to retain consistency with development of the Sanibel Plan, the number of dwelling units may be utilized for the preparation of level of service standards.

*Land Use Projections*

At buildout, an additional 1,400 dwelling units are projected to be constructed in the City of Sanibel. One thousand of these units are expected to be located within existing developments. The remaining 400 units are projected to be located on the vacant and undeveloped land shown on the Existing Land Use Map.

Approximately 70,000 square feet of additional commercial floor area can be developed in the City of Sanibel, in accordance with the Commercial District Map and regulations of the Land

Development Code.

| PROJECTED ACREAGE OF<br>LAND USES - BUILDOUT (2015) |               |            |
|---|---------------|------------|
| Land Use Category                                   | Acreage       | %          |
| Conservation Uses                                   | 7375          | 63.6       |
| Residential Uses                                    | 2625          | 22.6       |
| Vacant/Undeveloped<br>Land                          | -             | -          |
| Recreation Uses                                     | 600           | 5.2        |
| Roadways  | 525           | 4.5        |
| Commercial Uses                                     | 175           | 1.5        |
| Public Facilities                                   | 75            | 0.6        |
| Other Uses  | 225           | 1.9        |
| Industrial Uses                                     | -             | -          |
| Agricultural Uses                                   | -             | -          |
| <b>TOTAL</b>  | <b>11,600</b> | <b>100</b> |

Note: There are approximately 485 acres of multifamily development included in the Residential Land Use category. The Other Land Uses category includes churches, marinas, theater and the like.

Source: Sanibel Planning Department

### **Permitted Uses**

The use of land and buildings in the City of Sanibel should be determined by the capacity of natural and human-made environments to accommodate such uses without hazard to health, safety and welfare of the citizens and visitors to the City. The determination of permitted uses also should take into account existing patterns of development, the need to maintain compatibility with existing uses and the desire to retain the character of the community.

The Sanibel Plan provides that the type and intensity of future land uses permitted will be determined by the capacity of the City to accommodate further development in an orderly manner with minimum negative impact. In addition to these overall considerations, environmental factors intrinsic to each ecological zone, compatibility with existing land uses, availability of adequate human support systems and compatibility with all elements of the Plan influenced the choice of permitted uses and development intensity.

### **Plan for Permitted Uses**

This section of the Plan discusses the general principles from which future permitted uses are derived. It is the intent of the Plan to allow the continuation of existing uses in the manner set out in the Land Development Code. The regulations controlling permitted uses are set forth in the Land Development Code.

The Land Development Code may permit certain conditional uses in various ecological zones, which uses are not specified herein, provided such uses are of a type and intensity consistent with the intent and purpose of the Plan, and provided such uses are limited and controlled by performance standards sufficient to accomplish the objectives of the Plan.

Consider development of a means of restricting permitted uses in certain residential areas to single family residential

structures.

The following chart provides a guide for permitted uses established in the Land Development Code.

**PERMITTED USE  
BY ECOLOGICAL ZONE**

**Gulf Beach:**

Conservation  
Passive Recreation  
Beach Accessways

**Bay Beach:**

Conservation  
Passive Recreation

**Mangroves:**

Conservation  
Passive Recreation  
Very Low Intensity Residential:  
Single family detached

**Lowland Wetlands:**

Conservation  
Passive Recreation  
Public Facilities  
Agriculture  
Low Intensity Residential:  
Single family detached

**Upland Wetlands:**

Conservation  
Passive Recreation  
Public Facilities  
Agriculture  
Low Intensity Residential:  
Single family detached,  
Duplex and limited Multi-family  
in designated areas

**Mid-Island Ridge:**

Conservation  
Active & Passive Recreation  
Agriculture  
Public Facilities  
Low and Moderate Intensity  
Residential:  
Single family detached,  
Duplex, and Multi-family

**Gulf Beach Ridge:**

Conservation  
Active & Passive Recreation  
Public Facilities  
Residential:  
Single family detached, Duplex  
and Multi-family

**Altered Land:**

Conservation  
Active & Passive Recreation  
Agriculture  
Public Facilities  
Low and Moderate Intensity  
Residential:  
Single family detached, Duplex,  
and Multi-family

**Blind Pass:**

Conservation  
Passive Recreation  
Public Facilities  
Low Intensity Residential:  
Single family detached, Duplex  
and limited Multi-family

**Commercial Uses\*:**

In designated areas of Altered Land,  
Mid-Island Ridge, Blind Pass, and  
Upland Wetland Zones

**Resort Housing Uses\*:**

In designated areas of Gulf Beach  
Ridge and Altered Land Zones

**Wetlands Conservation Lands\*:**

In designated areas of the  
Freshwater Management Area

**Environmentally Sensitive Lands\*:**

Residential Uses are Prohibited

\* Permitted Uses for these overlay  
Zoning Districts (See Article 4. Official  
Maps) are established in the Land  
Development Code.

Source: 1976 Sanibel Comprehensive Land Use  
Plan, as amended.

### Development Intensity

The constraints imposed by the need for natural resources protection, hurricane safety and adequate delivery of services, clearly demonstrate that unlimited future population growth and unregulated use of land would be hazardous to health, safety and welfare of the public. To minimize these hazards and to maintain the character of the community, it is essential to limit the total number of dwelling units, including hotel and motel units, trailer spaces, condominiums, time share units, duplexes and single family houses to a total of approximately 9000 units.

This will represent a growth of more than double the 4,000 units existing in 1975. In 1982 there were approximately 6,000 dwelling units existing. (The plan for residential development intensity adopted in 1976 contemplated approximately 7,800 dwelling units if the city built out in conformance with all the regulations in effect with adoption of the 1976 Comprehensive Land Use Plan.)

If dwelling units are kept within a range of approximately 8,900 units, the water consumption and sewage generation can probably be handled in a manner consistent with the public health, safety and welfare, based on present knowledge. Further data could, of course, indicate a need to reduce or the ability to increase these limits.

Moreover, by keeping the number of persons using the island to these levels, it should be possible with careful planning to safeguard the lives of the people on Sanibel and Captiva in case of all but the most extreme hurricanes.

The formula used to allocate densities throughout the city in the 1976 Comprehensive Land Use Plan is described in the appendix to the March 1976 draft of the plan, which took into account the municipal economy, physical land capability and the adequacy of human support systems including the proximity of land to them. Policies were developed that future growth

should be directed to areas where services are available and that environmentally valuable or hazardous areas should have proportionately less growth. The formula also took into account capital investments already made to prepare land for development and the degree to which a project or subdivision was improved and built out. The result of this process allocated 2,000 dwellings across the island in densities ranging from 1 dwelling unit per 33 acres to 5 dwelling units per acre, depending upon the location, ecological zone and the extent of improvement to the land. Once the units were allocated under the formula, the planning commission made adjustments taking into account consideration of existing development patterns and the extent to which existing subdivisions and projects are consistent with the goals, objectives, and policies of the comprehensive plan. In some cases adjustments were made to ensure that the density allocation would not permit higher densities than would be consistent with the character of existing residential areas.

No development is permitted in the Gulf Beach and Bay Beach Preservation zones but these areas were allocated a residential density, all of which must be built landward of the 1974 Coastal Construction Control Line.

Because of increases granted in residential development intensity between 1976 and 1988 which increased the potential number of dwelling units from approximately 7,800 to approximately 8,900, further island-wide increases in density are not readily supportable. However, some modest adjustments in density, either increases or decreases, may need to be considered on a case-by-case basis to achieve other objectives of the comprehensive land use plan. The following factors indicate why island-wide increases in density are not generally supportable in the upcoming planning period:

1. Changes made by City Council, where warranted, to residential

densities during 1976-1988. Examples include relief granted to owners of pairs of contiguous lots meeting certain standards, increased residential densities along Periwinkle Way to provide alternatives to commercial development, and adjustments made as a result of remapping of the city's ecological zones and where unique circumstances relating to a parcel were found to exist that had not been fully considered at the time the land use plan was adopted.

2. It is projected that by the year 2000, portions of Periwinkle Way, the island's main artery, will be used by more vehicles than it is capable of supporting.
3. The capability of the city to achieve the objectives outlined in the safety element of the plan, particularly to provide the opportunity for everyone to evacuate safely. The capability to evacuate safely has deteriorated since the adoption of the comprehensive plan, with the construction of additional dwelling units on-island, and as a result of unchecked development along the city's evacuation corridors in Lee County. Recent studies by city staff and its consultants are generally consistent with findings of the Southwest Florida Regional Planning Council which indicate that in excess of 18 hours are currently required to evacuate the islands, while only 12 hours' warning time can be expected from the National Hurricane Center. Projected increases in mainland densities along evacuation routes will result in further increase in time needed to evacuate, even with the construction of major new transportation arteries.
4. The goals of the comprehensive plan that are aimed at the conservation of natural resources. An inventory of

vacant land in 1988 indicated that almost two-thirds of the vacant land on the island is located in either the mangrove, lowland-wetland or upland-wetland ecological zones, which are not readily developable unless the environmental precepts of the plan are aside.

5. Since 1899 there have been 36 tropical cyclones, 19 of them hurricanes, that passed within 75 miles of Sanibel, each of which posed significant threat to lives and property on the island most vulnerable to storm damage from sustained high winds, scouring due to wave action, battering from floating debris, and flooding due to storm surge.
6. The electors have amended the City Charter to require a supermajority vote of the members of City Council for increases in residential density.

There are circumstances, however, under which residential density could be increased for a specific site if mitigating considerations are found to exist which would outweigh potential drawbacks and work toward achieving other objectives of the Sanibel Plan. These are:

- a. where opportunities are provided for below market rate housing.
- b. to implement the Plan for Commercial Development by providing alternatives to commercial development through increased residential densities.
- c. to promote further conservation of environmentally sensitive lands by creating incentives to set aside sensitive land from development, such as the transfer of development rights.
- d. where unique circumstances are found to exist on a parcel, which had

not been fully considered at the time of the initial adoption of the Development Intensity Map in 1976.

- e. where there is a resultant, overall city-wide decrease in the number of permitted dwelling units, provided that the density decrease does not originate on lands in the Environmentally Sensitive Lands Conservation District.

Intensity of non-residential uses are measured in a number of ways, including number of vehicular trips generated, number and type of uses located on a parcel, floor area, size and number of structures, hours of operation, water consumption, wastewater generation, and the like. Regulating intensity of use in commercial districts and for all non-residential land uses is important:

1. To assure that adverse impacts on adjacent lands and developments are minimized;
2. To assure that sufficient land area is available to accommodate the parking, drainage, waste water disposal and service needs of the commercial development;
3. To assure that enough native vegetation for the development is preserved or planted to have a pleasing appearance to both passers-by and customers; and
4. To assure that the level of activity is in keeping with the maintenance of the character of the community.

**Plan for Development Intensity**

The distribution of residential development intensity shall be in accordance with the density allocation on the Development Intensity Maps of this Plan. The implementation of the Development Intensity Map is incorporated in the Land Development Code. A listing of Modern Platted Subdivisions established in the initial

Sanibel Plan is provided in the following chart.

| MODERN PLATTED SUBDIVISIONS |                                   |
|-----------------------------|-----------------------------------|
| 1.                          | Sanibel Estates                   |
| 2.                          | Anchors Aweigh                    |
| 3.                          | Shell Harbor                      |
| 4.                          | Shell Basket                      |
| 5.                          | Sanibel Shores                    |
| 6.                          | Beachview Country Club            |
| 7.                          | Sanibel Center                    |
| 8.                          | Lagoon Estates                    |
| 9.                          | Sanibel Lake Estates              |
| 10.                         | Southwinds                        |
| 11.                         | Periwinkle Properties             |
| 12.                         | Kearns                            |
| 13.                         | Palm Lake                         |
| 14a.                        | Lake Murex                        |
| 14b.                        | Little Lake Murex                 |
| 15.                         | Bright Water                      |
| 16.                         | Ranchos Way                       |
| 17.                         | Seaside                           |
| 18.                         | Sea Oats                          |
| 19a.                        | East Rocks                        |
| 19b.                        | West Rocks                        |
| 20.                         | Terrill Ridge                     |
| 21.                         | Gulf Pines                        |
| 22.                         | Gulf Shores (f/k/a Tahiti Shores) |
| 23.                         | Chateau Sur Mer                   |
| 24.                         | Tradewinds                        |
| 25.                         | Sanibel Bayous                    |
| 26.                         | Dinkins Bayou                     |
| 27.                         | Del Sega                          |
| 28.                         | Castaways Estates                 |
| 29.                         | Caloosa Shores                    |
| 30.                         | Leisure Acres                     |
| 31.                         | Belle Meade                       |
| 32.                         | Windrow                           |
| 33.                         | Sanibel River Estates             |
| 34.                         | Sanibel Pines                     |
| 35.                         | Sanibel Isles                     |
| 36.                         | Water Shadows                     |

- 37. Gumbo Limbo
- 38. Sanibel Harbours
- 39. O. L. Richardson
- 40a. Dunes - Phase 1
- 40b. Dunes - Phase 2
- 41. Briant Michigan
- 42. Sedgemoor
- 43. Sanibel Woodlands
- 44. Cardinal Ridge
- 45. Poinciana Circle
- 46. Sawyers
- 47. Los Conchas
- 48. S. B. Woodring's
- 49. Betts

Source: 1976 Comprehensive Land Use Plan, as amended.

Residential density computations are based on the assumption that dwelling units will have an average occupancy of two and two-tenths (2.2) persons per unit. To the extent that dwelling units are of a type or size that will increase the average occupancy rate, the permissible number of units may vary from the number shown on the Development Intensity Maps in a manner to be determined by implementing development regulations in the Land Development Code.

By such implementing development regulations, the City Council may also permit residential densities in excess of those shown on the Development Intensity Maps as incentives to the provision of below market rate housing.

Through implementing ordinances, to be incorporated into a Land Development Code, the City Council may also permit development of lands in excess of the residential densities shown on the Development Intensity Maps in order to recognize vested rights and constitutional limitations with respect to lands individually owned prior to adoption of the initial Sanibel Comprehensive Land Use Plan.

The plan for controlling the intensity of commercial uses has several components. The first is to measure intensity of use as a floor area ratio, defined as the ratio of floor area to parcel size. In order to provide incentives in the development regulations for achieving planning objectives, the floor area ratios (FAR) reflect the need to:

1. Differentiate development intensity between Periwinkle Way and the Palm Ridge Road area so as to reduce the impact of commercial development on turning movements and traffic flow on Periwinkle Way and to preserve the ambience of Periwinkle Way;
2. Make distinctions in commercial floor area ratios for parcel size and road frontage to encourage consolidation of small adjoining parcels; and
3. Make reductions in the supply of commercially zoned land and limit creation of additional commercially zoned lands in accordance with the city's retail market analysis, which indicates that not all vacant commercial land can support retail uses without risking consequences of overbuilding.

Limit the intensity of conditional uses to the extent that these uses generate traffic impact to a significantly greater extent than permitted uses.

Limit the intensity of non-residential uses, permitted to be located in residential areas, to the extent that these uses are not disruptive of the residential character of surrounding community.

### Commercial Development

For the past twenty years, the Sanibel Plan and its Land Development Code, have been directed to ensure that the commercial sector of the community serves and blends in with the residential sector and natural resources of

the community. Neither the commercial sector or any of its components should be out of character with the Vision Statement of this Plan.

### *Commercial Districts*

Unlike most communities, Sanibel is located on a relatively isolated barrier island and therefore attracts almost no casual travelers passing through on their way elsewhere. Thus Sanibel needs fewer of the typical roadside types of commercial use than most communities its size.

Sanibel attracts a variety of tourists with special interests, such as shell collectors, beachgoers, birdwatchers, fishermen, tennis players, etc. Because few other communities attract a similar mix of tourists, it is difficult to provide a pattern on which commercial land uses can be based.

Because of the potential for retail overbuilding and its related adverse impacts, the potential supply of retail space has been reduced, consistent with reasonable demand considerations. Because of limited retail demand relative to the existing retail supply, the potential for retail overbuilding and associated adverse impact is great. Given the modest increase in retail demand likely to occur, applicants for development of centers larger than 12,000 square feet of retail floor area must demonstrate that no adverse economic or other consequence would result to the community from development of the center.

Incentives and disincentives should be incorporated into land use regulations to guide commercial development into clusters, rather than in a continuous commercial strip. Several commercial areas (nodes) along Periwinkle Way that are consistent with the City's existing land use pattern were mapped, including outlying locations at the east and west ends of the island.

Alternative land uses to commercial development on Periwinkle Way, between the commercial nodes, have been

encouraged. These land use alternatives are needed in order to discourage the expansion of commercial development outside designated Commercial Districts.

Further retail development should be discouraged on Periwinkle Way and encouraged in the Palm Ridge area because of the latter area's relatively good access from Periwinkle Way, Palm Ridge Road and Tarpon Bay Road, and because it is the geographical center of the Island. Development regulations designed for the Palm Ridge area should provide incentives to combine substandard (smaller) lots and to promote commercial development that primarily serves the needs of residents. In addition, a master plan should be developed for this area, as a further guide to development and to reinforce the town center concept.

On land located outside designated Commercial Districts, opportunities should be provided for development of special uses that are generally not either retail or office in nature, in instances where their development will not negatively impact adjoining land uses. The purpose of this district is to enable such special uses opportunities to locate on Sanibel in order to provide convenience services to island residents and businesses.

Opportunities should be provided for the provision of limited amounts of residential development in commercial zones, under controlled conditions, to provide opportunities for affordable housing and offer additional alternatives to commercial development.

The City desires to maintain a balance between the residential and resort (tourist) segments of the community, so that Sanibel remains an attractive and desirable residential community. It is apparent that the commercial developer views Sanibel as primarily a nonresident commercial market. And, left unregulated, this trend can be expected to continue to the point that Sanibel could become a destination shopping area, contrary to public desires.

The suitability of the Periwinkle Way corridor for residential development is being recognized, but the pressure for additional commercial zoning can be expected to continue.

The benefits that accrue to the community's public health, safety and welfare, through implementation of the above strategy, are:

- the development of an attractive residential environment that maintains the ambience and aesthetic charm of Sanibel;
- the reduction of the likelihood of retail overbuilding; and
- the improvement of traffic flow by reducing the potential for curb cuts and turning movements on Periwinkle Way likely to result from unchecked commercial development.

A current issue that needs to be further addressed is to ensure that commercial and non-residential structures are compatible with the character of the community.

#### *Resort Housing*

Another type of income-producing use in the City of Sanibel is resort housing. Prior to the construction of the Causeway, such housing took the form of small motels and cottages and beach resorts. The construction of the Causeway brought more and bigger beach resorts.

The late sixties saw a statewide boom in the construction of condominiums extending into the early 1970s. Lee County permitted the construction of numerous condominium complexes some of which were constructed at locations dangerously close to the water and built at densities that detracted from the character of the Island as a desirable residential environment. Meanwhile, other condominium projects moved more and more into the resort hotel business with widely advertised short-term rentals.

These dramatic and rapid changes in the nature of the tourism business on Sanibel have had numerous impacts on the environment. The entire character of the community as a low-density settlement compatible with the natural environment was threatened. The unique environmental character of the Island, which provided the primary attraction for both tourists and permanent residents, was then in danger.

The protection of the character and long range base of the tourism industry demanded a significant reduction in the potential density of resort housing accommodations. The City had no desire and little capacity to cater to tourists, who preferred to vacation in a high-density, urbanized type of environment. Many other areas in this State willingly provide for and eagerly solicit the trade of such visitors. Sanibel offers unique charms, for which some people will pay a premium while they exist--but if they are destroyed by overuse, the City will have little to offer. Many of the finer beach resorts in Florida and throughout the world have been developed at low densities of 5 or 6 units per acre. Such densities permit the provision of amenities and services that will attract more selective tourists willing to pay a premium for Sanibel's special character.

With few exceptions, resort housing uses are permitted only in the Resort Housing District.

In order to maintain the residential character of the resort housing area, and to preserve to the maximum extent possible the natural features of this area, commercial development should be permitted only to the extent that it complements and serves primarily the needs of the residents of resort housing on site without disrupting the preservation of the scenic beauty of the natural beach.

Resort housing developments, particularly the larger ones, depend in large part on non-guests to help support their accessory commercial uses, especially restaurants. If resort housing developments are permitted

to continue supporting their commercial developments by providing service to non-guests, a further expansion of Sanibel's commercial districts will result. The City has modified its regulations for future commercial development in the Resort Housing District to assure that the type and size of commercial uses permitted are supportable by the resort's guest.

A current issue that needs to be further addressed is to ensure that existing and new commercial developments are compatible with the Sanibel Plan's objectives for scenic preservation and maintenance of the character of the community.

#### **Plan for Commercial Development**

1. Encourage, through the Plan for Commercial Development, implementation of the Economic Assumptions of the Plan.

a. Require commercial uses to locate in the areas designated as Commercial Districts on the Commercial District Map and to develop in conformance with development regulations set forth in the Land Development Code and the guidelines established in the Plan for Commercial Development.

b. Discourage existing commercial uses that do not conform to the Commercial District Map and the Land Development Code from further expansion. These non-conforming uses should revert to a use permitted in the district in which they are located.

c. Continue to seek alternatives to commercial development on Periwinkle Way by monitoring the feasibility of the incentives contained within the development regulations.

d. Reduce the potential for future commercial development by providing developers with an incentive to develop commercial

parcels as residential, providing the residential development is consistent with the purpose and objectives of the Sanibel Plan and is consistent and compatible with surrounding land uses and furthers the objectives of the Sanibel Plan.

e. Attempt to maintain a balance between various types of commercial activities by discouraging commercial development that exceeds the amount that can be supported on Sanibel based on retail market analysis, the capabilities of human support systems, hazard mitigation objectives, and other planning considerations. Periodically update the market and economic analysis in order to maintain its viability as a guide for commercial development.

2. Designate land for commercial development sufficient to serve the needs of residents and guests of the resort housing segment of the community, and adopt development standards to assure opportunities are available for a wide range of commercial activities to serve the needs of the resident and seasonal population.

3. Adopt development standards which take into account the full range of factors which contribute to intensity of use.

4. Restrict future commercial uses in the Resort Housing District, including the size of these uses, to only those that are designed to be entirely supportable by the resort's guests and that do not disturb the scenic beauty of the natural beach or cause degradation of the natural environment.

5. Adopt development standards which assure commercial developments contribute to maintenance of the character of the community by maintaining substantial vegetation buffers and by presenting architectural

features that are compatible with the community as a whole.

6. Adopt development standards which assure commercial structures do not employ what is often referred to as "cookie-cutter" architecture and do employ architecture that contributes to the character of the community.
7. Apply development standards to existing conforming and non-conformings as well as new, commercial development, to assure that the standards will have a desirable long-term effect on commercial development in terms of the community's goals.
8. Develop a master plan for the Palm Ridge Area to reinforce the town center concept and to enhance the scenic appearance of this area. Consider the development of a Town Center/Town Square in the area of City Hall for linkages to the Palm Ridge Area Master Plan.

### Community Design

The community design element establishes the physical design policies of the City which will complement the other elements of the plan, pursuant to Chapter 163.3177(7)(f), Florida Statutes.

### Plan for Community Design

Analyze, and appropriately revise, the regulations of the Land Development Code to better address local concerns for the adequate protection of the character of the community.

Consider development of a Town Center/Town Square in the area of City Hall to serve as a focal point for community activity, special events and informal assembly.

Consider establishing a maximum size limitation for the amount of living area and

floor area of single family dwelling units. This requirement could be citywide with further restrictions based on neighborhood characteristics and the size and characteristics of the site.

### *Historic Preservation for Structures*

Historic structures should be preserved and maintained in a condition that represents their historic and architectural features.

### *Historic Preservation of Roadways*

The Sanibel road system has historically served an area that is rural in character. Improvements to this road network should be consistent with the maintenance of the historic rural nature of this roadway system and the surrounding land uses.

People experience Sanibel by driving its streets and roads. The appearance of these streets and roads does as much to set the tone for the community as does any element of community design. Traffic calming and other techniques should be incorporated into the design and maintenance of Sanibel's streets and roads to reinforce the community's desired sanctuary quality and to alert motorists that the roadway is shared with non-motorists.

### *Bicycle Path System*

Bike paths should be constructed for bicycles, tricycles, pedestrians and wheelchairs, setback from the edge of the road where possible, meandering in the right-of-way without sharp curves or obstructions to vision.

Major arterial and collector roads should all have bike paths connecting residential areas to other residential and commercial and non-residential sections of the Island. Wherever possible the City should acquire sufficient right-of-way to permit a buffer between the edge of the road and the bike path. Neighborhood roads can be used for bicycle travel and the automobile speeds should be

regulated in all neighborhood areas to maintain safety for the health and welfare of all citizens. Traffic calming techniques should be employed to let the motor vehicle operator know that non-motorists share the streets and roads.

#### *Beach Access Walkovers:*

Beach walkovers should be constructed to protect beach vegetation essential for continued preservation of shorelines.

#### *Signs*

The visual appearance and physical construction of sign systems are not only determined by the graphic elements of type and style, but also by the environment in which the signs appear and the function the signs are expected to play. The most important factors are legibility and the overall uniformity and consistency in application. Information should be communicated in a straightforward and aesthetically pleasing manner. Three basic systems for public signs for the Island are:

**Circulation Components** - directional in nature, to aid in control and guidance of vehicular and pedestrian traffic.

**Identification Components** - to reveal the functions of buildings, open space, etc.

**Information Components** - to make traveler aware of services, amenities and the environment around him.

All public signs should conform to designs and information characters of the international traffic signs whenever practicable.

Private signs should be restricted in size and be designed to be in character with the Island. In order to avoid obstruction of evacuation routes, free standing private signs should be set back from the right-of-way. Such signs should be limited in size to

withstand local wind forces, and be constructed in such a manner as to preclude dislodgment during a storm and encroachment on the right-of-way evacuation routes if toppled over by wind.

#### *Utilities*

The design of utility systems should consider ecological implications and minimize detrimental effects. All utility lines should be installed underground where soil and topographic conditions permit. Overhead poles can become a hazard in this hurricane-prone area.

#### *Vegetation Buffers*

Vegetation buffers should be installed and maintained on both sides of all arterial and collector roads, in conformance with traffic safety considerations. Vegetation buffers should be installed and maintained on all sides of commercial development. Vegetation along streets and roads should be an integral component of traffic calming techniques.

#### *Adaptive Design*

In a landscape as dynamic and varied as Sanibel's, building form should be adapted to the opportunities and constraints of the Island's climate, soils, vegetation and hydrology. Island-wide and ecological zone performance standards should insure that the human-made environment will preserve the valuable functions of the Island's ecosystem and that the safety and welfare of residences will be protected to a certain degree from storms by adequate setbacks and building elevations. However, the buildings can be oriented to maximize natural ventilation through the design of porches and breezeways. Shade can be increased by the size of overhangs and natural drainage enhanced by avoiding gutters. These design strategies can increase human comfort and decrease maintenance cost.

*Community Character*

All residential and non-residential structures should be designed and constructed in a manner that is compatible with the character of the community. For non-residential buildings, "cookie-cutter" architecture should be avoided.

*Regulatory Elements*

The elements of this Plan are designed to direct and control use of the Island's natural resources as a human habitat in a fashion commensurate with the goals and objectives of the Charter of the City of Sanibel. In addition to the requirements of this Plan, therefore, the health, safety and welfare of the citizens of the City of Sanibel require that the City have a land development code, building code, plumbing code, electrical code and life safety code. These codes are necessary to ensure that the best engineering and construction practices are employed on the Island, and should be updated periodically to reflect advances and improvements in engineering and construction techniques.

**Goals, Objectives and Policies**

**GOAL STATEMENT A:**

The three-part statement of the community's vision of its future is a hierarchy; one in which the dominant principle is Sanibel's sanctuary quality. Sanibel shall be developed as a community only to the extent to which it retains and embraces this quality of sanctuary. Sanibel will serve as attraction only to the extent to which it retains its desired qualities as sanctuary and community.

**Objective A1:**

Sanibel is and shall remain a small town.

**Policy A1.1.** The City of Sanibel will foster quality harmony and beauty in all

forms of human alteration of the environment. The community aesthetic is defined as a casual style; one which is adapted to a relaxed island quality of life and respectful of local history, weather, culture and natural systems.

**Policy A1.2.** The City of Sanibel chooses to remain unique through a development pattern which reflects the predominance of natural conditions and characteristics over human intrusions. All forms of development and redevelopment will preserve the community's unique small town identity.

**Policy A1.3.** The City of Sanibel chooses to preserve its rural character. "Auto-urban" development influences will be avoided. The commercialization of natural resources will be limited and strictly controlled.

**GOAL STATEMENT B:**

**Future Land Uses, their character and location, in the City of Sanibel will:**

promote safety and maintain evacuation capabilities,

promote the protection of natural, environmental, economic and scenic resources,

promote adequate provision of human support systems,

promote intergovernmental coordination, and

reflect the City's Capital Improvements Program

to ensure implementation of the objectives and policies of the Sanibel Plan.

**Objective B1:**

Ensure that development intensities are maintained in a manner consistent with the City's Hurricane Evacuation Plan to permit evacuation to take place within times specified in the Southwest Florida Regional Hurricane Evacuation Study.

**Policy B1.1.** Maintain the residential densities on the Development Intensity Map that are consistent with adequate evacuation capabilities.

**Objective B2:**

As development anticipated in the Future Land Use Element occurs, protect natural resources, including soils, by limiting development as a percentage of total land area.

**Policy B2.1.** Protect natural resources by continued implementation of the development regulations and performance standards of the Land Development Code.

**Objective B3:**

Ensure that public facilities and services (human support systems) which are necessary to meet adopted level of service standards are available concurrent with the impacts of future development.

**Policy B3.1.** No permits (development orders) will be issued for future development which would result in an increase in demand for facilities that do not comply with the minimum level of service standards of the Plan.

**Objective B4:**

Ensure the availability of suitable land for public facilities (human support systems) necessary to support development consistent with the Future Land Use Map, that is consistent with the densities and permitted uses regulated by the Development Intensity

Maps, Ecological Zones Maps, Commercial District Map, Wetlands Conservation Lands Maps, and Resort Housing District Map.

**Policy B4.1.** Through implementation of the Land Development Code, support the provision and expansion of needed public facilities.

**Policy B4.2.** Public schools are permitted in the Altered Lands and Mid-Island Ridge zones designated on the Ecological Zones Maps of the Future Land Use Maps series of the Sanibel Plan.

**Objective B5:**

Ensure the protection of historic resources.

**Policy B5.1.** Incentives for the preservation of identified historic resources will continue to be incorporated in the adopted Land Development Code.

**Objective B6:**

Development, consistent with the Future Land Use Map, that is consistent with densities and permitted uses regulated by the Development Intensity Maps, the Ecological Zones Maps, the Commercial District Map, Wetlands Conservation Lands Maps and the Resort Housing District Map, will be managed by implementation and enforcement of the Land Development Code.

**Policy B6.1.** To implement the Sanibel Plan, including Future Land Use objectives, continue to maintain regulations and standards in the Land Development Code which

regulate the use of land and water

regulate the subdivision of land

ensure compatibility of adjacent land uses

provide for open space

ensure safe on-site traffic flow

provide for on-site parking

**Objective B7:**

To discourage sprawl, ensure that future development is consistent with the Future Land Use Map, that is consistent with the densities and permitted uses regulated by the Development Intensity Maps, the Ecological Zones Maps, Commercial District Map, Wetlands Conservation Lands Maps, and Resort Housing District Map.

**Policy B7.1.** The Plan for Permitted Uses, the Plan for Residential Development Intensity, the Plan for Commercial Development and the Plan for Community Design will continue to be implemented by the development regulations and performance standards of the Land Development Code.

**Objective B8:**

Existing land uses that are nonconforming with the Future Land Use Map, that is, nonconforming with permitted uses regulated by the Ecological Zones Maps, Commercial District Map, Wetlands Conservation Lands Maps and the Resort Housing District Map will not be expanded.

**Policy B8.1.** Permits will not be issued for the expansion of nonconforming land uses.

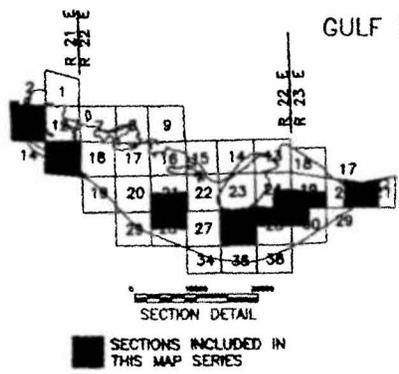
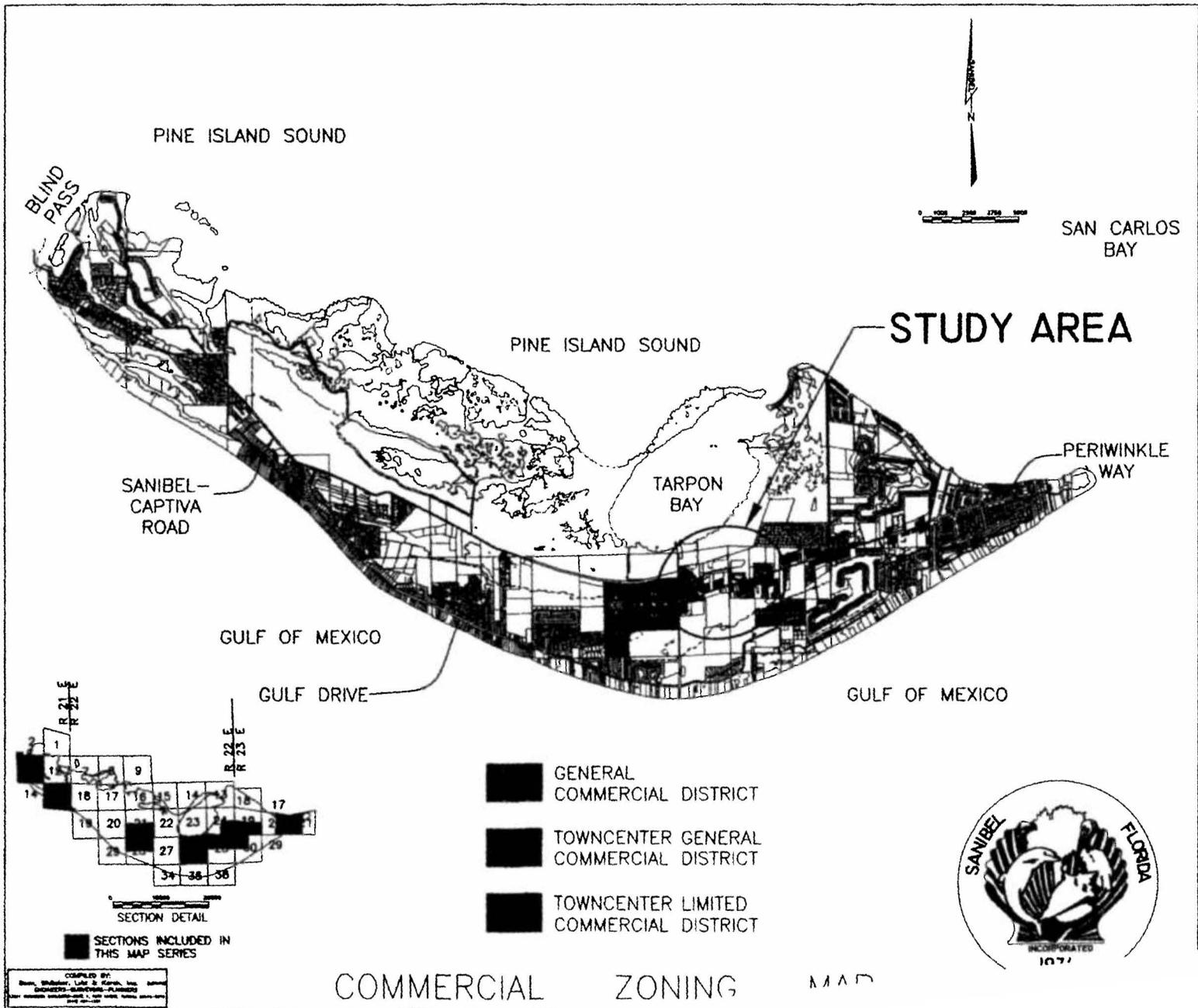
**Objective B9:**

Continue the implementation of innovative land development regulations to achieve the objectives of the Plan.

**Policy B9.1.** Annually review the Land Development Code to consider innovative techniques that can improve achievement of Plan objectives.

**Objective B10:**

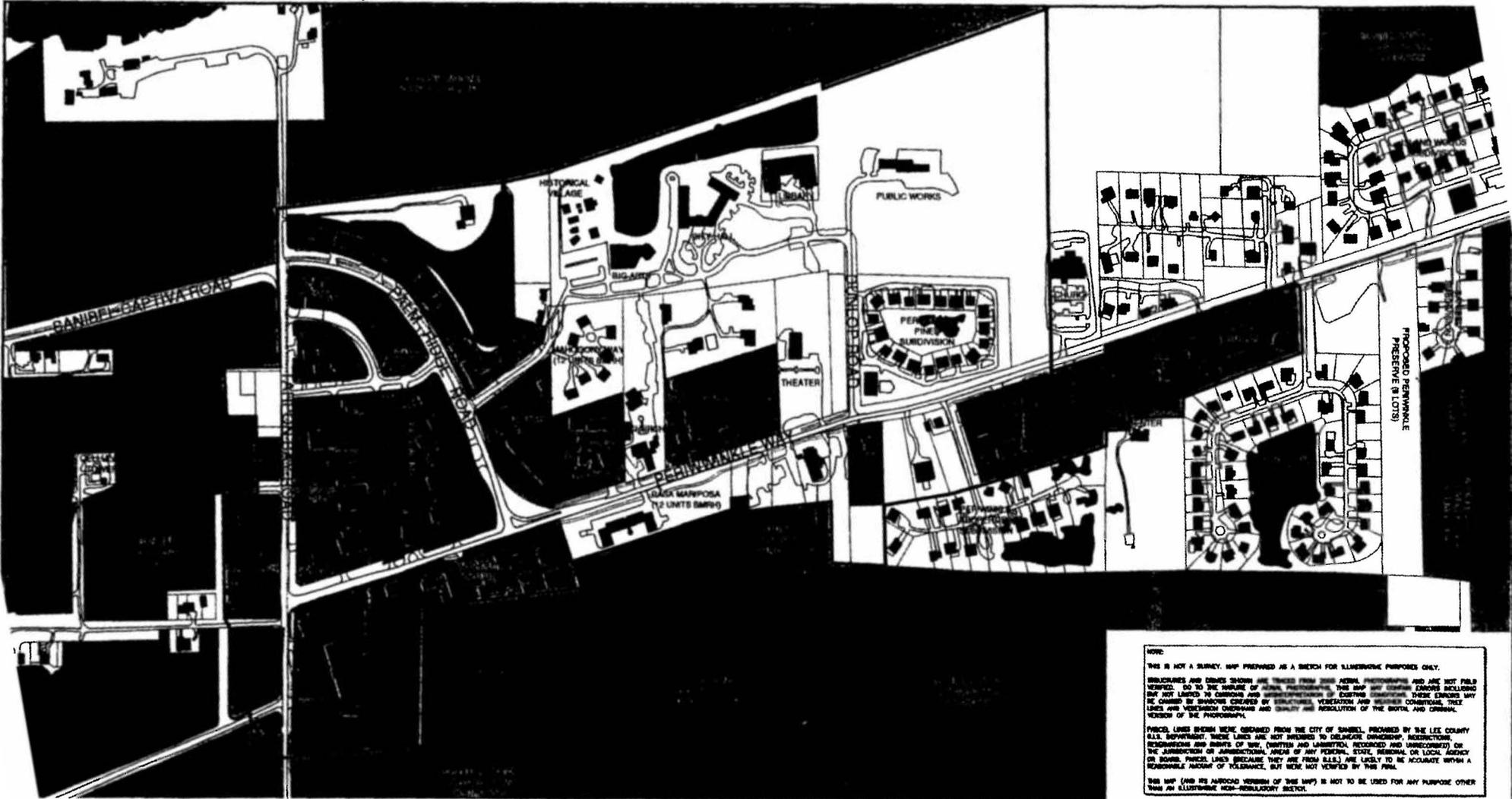
Coordinate with any appropriate resource planning and management plan prepared pursuant to Chapter 380, Florida Statutes, and approved by the Governor and Cabinet.



-  GENERAL COMMERCIAL DISTRICT
-  TOWNCENTER GENERAL COMMERCIAL DISTRICT
-  TOWNCENTER LIMITED COMMERCIAL DISTRICT



COMPILED BY:  
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NOTE:  
 THIS IS NOT A SURVEY. MAP PREPARED AS A SKETCH FOR ILLUSTRATIVE PURPOSES ONLY.  
 BUILDINGS AND DRIVEWAYS SHOWN ARE TRACES FROM 1958 AERIAL PHOTOGRAPHS AND ARE NOT FIELD SURVEYED. DO TO THE NATURE OF AERIAL PHOTOGRAPHS, THIS MAP MAY CONTAIN ERRORS BELIEVED BUT NOT KNOWN TO EXIST AND WHEREBY THE USER ASSUMES ALL RESPONSIBILITY. THESE ERRORS MAY BE CAUSED BY SHADOWS CREATED BY STRUCTURES, VEGETATION AND WEATHER CONDITIONS, TREE LINES AND VEGETATION OUTLINES AND QUALITY AND RESOLUTION OF THE PHOTO AND ORIGINAL VERSION OF THE PHOTOGRAPHY.  
 PRICED LINES SHOWN WERE OBTAINED FROM THE CITY OF SANIBEL, PROVIDED BY THE LEE COUNTY S.L.S. DEPARTMENT. THESE LINES ARE NOT INTENDED TO DELINEATE OWNERSHIP, RESTRICTIONS, EASEMENTS AND RIGHTS OF USE, (WHETHER AND LAWFULLY, RECORDED AND UNRECORDED) OR THE JURISDICTION OR JURISDICTIONAL AREAS OF ANY FEDERAL, STATE, REGIONAL OR LOCAL AGENCY OR BOARD. PRICED LINES BECAUSE THEY ARE FROM S.L.S. ARE LIKELY TO BE ACCURATE WITHIN A REASONABLE AMOUNT OF TOLERANCE, BUT WERE NOT VERIFIED BY THIS FIRM.  
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# COMMERCIAL DISTRICT PLANNING AREA

## PERIWINKLE WAY, PALM RIDGE ROAD, TARPON BAY ROAD AND DUNLOP ROAD

T TO SCALE  
 COMPILED BY:  
 Shaw, Lutz & Marsh, Inc. 3000  
 205-SURVEYORS-PLANNERS  
 140000, 1000 NORTH, PUNTA GORDA, FLORIDA 33906-0000  
 889-44-124

### LAND USES AND COMMERCIAL ZONING

- STUDY AREA BOUNDARY
- COMMERCIAL USE
- COMMERCIAL ZONED LANDS
- PUBLIC FACILITY USE
- INSTITUTIONAL USE



**SECOND READING AND PUBLIC HEARING**

**ORDINANCE 06-022 AMENDING THE SANIBEL CODE, PART II, SUBPART B LAND DEVELOPMENT CODE: BY AMENDING CHAPTER 126 ZONING, ARTICLE VI DISTRICTS GENERALLY, SECTION 126-241 ZONING DISTRICTS, TO ADD A NEIGHBORHOOD COMMERCIAL DISTRICT TO THE COMMERCIAL ZONING MAP AND READOPT THE AMENDED MAP; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE VIII COMMERCIAL DISTRICTS, TO AMEND DIVISION 1 GENERALLY, TO ADD A NEW SECTION 126-470 PURPOSE OF COMMERCIAL ZONING DISTRICTS; AND TO AMEND DIVISION 2 GC GENERAL COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-490 PURPOSE OF THE DISTRICT; AND TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-491; AND TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-492; AND TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-494; AND TO AMEND DIVISION 3 TCG TOWN CENTER GENERAL COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-510 PURPOSE OF THE DISTRICT; AND TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-511; AND TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-512, AND TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-514; AND TO AMEND DIVISION 4 TCL TOWN CENTER LIMITED COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-530 PURPOSE OF THE DISTRICT; AND TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-531; AND TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-532; AND TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-534; AND TO ADD A NEW DIVISION 5 NC NEIGHBORHOOD COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-540 PURPOSE OF THE DISTRICT; AND TO ADD A NEW SECTION 126-541 PERMITTED USES; AND TO ADD A NEW SECTION 126-542 CONDITIONAL USES; AND TO ADD A NEW SECTION 126-543 ACCESSORY USES; AND TO ADD A NEW SECTION 126-544 REQUIRED CONDITIONS; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY, TO ADD A NEW SECTION 126-1024 MAXIMUM SIZE FOR A RETAIL COMMERCIAL BUILDING; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY, TO ADD A NEW SECTION 126-1025 MAXIMUM STREET FRONTAGE FOR A COMMERCIAL UNIT; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY, TO ADD A NEW SECTION 126-1026 MAXIMUM SIZE FOR A RETAIL COMMERCIAL UNIT; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY, TO ADD A NEW SECTION 126-1027 ARCHITECTURAL STANDARDS TO ESTABLISH ARCHITECTURAL STANDARDS FOR COMMERCIAL LAND USES; AND BY AMENDING**

**CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY, TO ADD A NEW SECTION 126-1028 SITE PLANNING STANDARDS TO ESTABLISH SITE PLANNING STANDARDS FOR COMMERCIAL LAND USES; BY AMENDING CHAPTER 126 ZONING, ARTICLE XV OFF-STREET PARKING AND LOADING, DIVISION 2 OFF-STREET PARKING, SUBDIVISION III NONRESIDENTIAL USES, SECTION 126-1361 REQUIRED PARKING SPACES, TO EXEMPT THE DIVISION AND REESTABLISHMENT OF COMMERCIAL UNITS THAT HAD PREVIOUSLY BEEN COMBINED FROM COMPLYING WITH THE REQUIREMENTS OF THIS SECTION; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE IV CONDITIONAL USES, TO ADD A NEW SECTION 126-102 FORMULA RETAIL STORES IN THE NEIGHBORHOOD COMMERCIAL DISTRICT THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR FORMULA RETAIL STORES; AND TO ADD A NEW SECTION 126-103 RESIDENTIAL DEVELOPMENTS IN THE NEIGHBORHOOD COMMERCIAL DISTRICT OR MIXED-USE COMMERCIAL AND RESIDENTIAL DEVELOPMENTS IN THE NEIGHBORHOOD COMMERCIAL DISTRICT THAT HAVE A TOTAL FLOOR AREA FOR THE RESIDENTIAL USES THAT EXCEEDS THE TOTAL FLOOR AREA FOR COMMERCIAL USES; AND TO ADD A NEW SECTION 126-104 VARIETY OR DEPARTMENT STORES AND COMMERCIAL RETAIL STORES WITH MORE THAN 2000SF OF COMMERCIAL FLOOR AREA THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR THIS USE; AND BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-1 RULES OF CONSTRUCTION AND DEFINITIONS, TO ADD A DEFINITION FOR DELICATESSEN STORE, FOOD MARKET, FORMULA RETAIL STORE, GROCERY STORE AND MIXED-USE COMMERCIAL AND RESIDENTIAL DEVELOPMENT; AND BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-9 ACTIVITIES CONSTITUTING DEVELOPMENT, TO AMEND THE DESCRIPTION OF ACTIVITIES THAT INVOLVE DEVELOPMENT; AND BY AMENDING CHAPTER 82 ADMINISTRATION, ARTICLE IV DEVELOPMENT PERMITS, DIVISION 2 PROCEDURE, SUBDIVISION II SHORT FORM, SECTION 82-401 APPLICATION, TO MAKE SHORT FORM APPLICATIONS AVAILABLE FOR COMMERCIAL BUILDINGS NOT EXCEEDING 2000SF OR FLOOR AREA AND ADDITIONS, NOT EXCEEDING 2000SF OF FLOOR AREA, TO COMMERCIAL BUILDINGS; AND PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT AND SEVERANCE; AND PROVIDING AN EFFECTIVE DATE.**

Ms. Zimomra read the title of Ordinance 06-022.

Council spoke to the following:

- Protecting the island unique characteristics
- Premise of the Vision Statement
- Code of Ordinance speaking to land use and the Sanibel Plan
- Page 6 2<sup>nd</sup> line Section 126-470 insert after the words “Sanibel Plan” (from page 4 of the Sanibel Plan) “with respect that Sanibel remain a small town community whose members choose to and etc.”

- Page 6 4<sup>th</sup> line from the bottom after “serving commercial uses and” (Page 5 of the Sanibel Plan) add “shall be developed as a community only to the extent to which it retains and embraces the quality of sanctuary island Sanibel will serve as an attraction only to the extent to which it is desired qualities as a sanctuary and the community.”
- Page 6 8<sup>th</sup> line from the bottom delete “the needs of both residents and seasonal populations,” add after the word “activities” “primarily focusing on the needs of islander residents.”

Discussion ensued regarding changing the wording “to serve islander needs,” and Council agreed.

- Page 8 Section A indicates it did not permit mixed uses or combine residential and commercial uses

Ms. Pflzer spoke to the following:

- The first listed uses would be the primary uses
- Actual combined residential/commercial use would fall under a conditional use

Discussion ensued regarding conditional uses.

- Page 11 delete “Formula retail uses are permitted as a primary intended use in this Commercial District provided that the retail activity of such use is listed above as a primary intended use”

Discussion ensued regarding the need to balance formula retail, control formula retail, 14% formula retail space, limit formula retail to 14% of the whole, grandfather existing formula retail within the 14%, 23 formula retail sites on the island presently, keep the character of Sanibel, put a series of controls for formula retail, would not allow formula retail as a primary intended use, and formula retail began with losing the stores at Casa Ybel.

- Page 11 add to protect the balance of mix of businesses on the island to protect the uniqueness of the island

Mr. Cuyler spoke to the following:

- Council could change the recommended document from the Planning Commission and Planning staff
- Procedural issue in advertising giving the public a general idea of discussion
- Significantly change the ordinance then it would necessary to re-advertise and continue the public hearing
- Distinguish the Planning Commission input and Council’s input and separate procedural issue
- Receive direction from Council regarding changes

Public Comment:

Larry Schoop spoke to formula retail.

Louise Johnson spoke to the procedure of the public hearing and grandfathering the current amount of formula retail.

Council agreed to grandfather all current 14% (76,000 square footage) of formula retail.

Hazel Schuller asked about hotels. Council stated that hotels would be discussed.

Rose Van Lear spoke to changes on the island, destruction from Hurricane Charley, and the height of houses on Sanibel. She also spoke to alligators on the island.

Steve Hartsell, Attorney representing Joe Siamato and Forever Green spoke to a section on page 12 and page 29 in the general commercial district that Formula Retail uses would be included as a primary intended use and in the Town Center limited and other district Formula Retail would not an intended use, but as a conditional use. He urged Council to keep page 11 – Formula Retail Uses are permitted as a primary intended uses are permitted as a primary intended use in this Commercial District. He also spoke to the significant impact of the proposed ordinance to Forever Green; owner applied and was denied a permit for a proposed consolidation of 2 stores for a formula retail store. He further spoke to the proposed limitations on large box retail businesses.

Discussion ensued regarding nothing in the code addressing formula retail.

Beverly Grady, Attorney representing RLR owner of several commercial centers on Sanibel spoke to the current draft would allow formula retail in the General Commercial District, as well as the Town Center Limited District and Town Center General would also permit formula retail. She further spoke to the need for Council to articulate any limitations and continue to permit formula retail in the Town Center and Town Center General Districts.

Peter Pappas spoke to not changing Sanibel.

Trudy Prevatte spoke to not changing Sanibel and keep small businesses and limit formula retail.

Discussion ensued regarding the interim regulations from 2000, keep family businesses and island charm, staff recommendation in the commercial district for formula retail, formula retail being a permitted use, Mr. Duffy stated the draft ordinance that initiated the public hearing with the Planning Commission in May, 2006 regarding the General Commercial District, the Town Center Limited District and the Town Center General District the staff recommendation was to treat formula retail as a conditional use, but in the Neighborhood Commercial District staff recommended to treat formula retail as a prohibited use.

Discussion ensued regarding the effect of primary intended use and a conditional use, Mr. Duffy stated if it was a permitted use and the use meets all the dimensional related requirements and involves a change of use it would require a short-form application and administrative review, but if it were a conditional use that would require a public hearing and Planning Commission review, and meet any additional conditions, and limit the cap of formula retail.

Councilman Brown made a motion, seconded by Councilman Jennings, that formula retail would not be a permitted use in the commercial district, but current businesses would be grandfathered.

Vice Mayor Denham amended previous motion as follows, seconded by Councilman Brown, to allow formula retail at the current level of 76,000 square feet or 23 stores as a cap island wide, recognize and support current formula retail and prohibit any further formula retail, and if a business closes a new formula retail business application would require a conditional use permit.

Discussion ensued regarding compromise to preserve Sanibel and allow businesses to do what they want to do, not limit by district, but prohibit by district, the need to re-advertise.

Mr. Cuyler stated the vote was to give direction to staff regarding formula retail staying at 76,000 square feet, the need to re-advertise the ordinance with amendments and continuing the hearing.

The motion carried unanimously.

Council continued discussion as follows:

- Page 12 item 4 – staff recommendation keeping the 2,000 square foot cap whatever the size of the business

Discussion ensued regarding whether there was a larger building provision not allowing any more than 2,000 square foot per business. Mr. Duffy stated the language on Page 12 under item 4 was written to allow a formula retail use as well as an independent retailer, subject to a conditional use hearing, if the business center was 15,000 square feet, and allowing for another business between 2,000 and 4,000 square feet in the first paragraph, and the second paragraph would allow a formula retailer or independent retailer with 30,000 square feet would possibly have 2 4,000 square foot commercial establishments. He also spoke to a number of independent and formula retailers in some of the units that do exceed the 2,000 square feet, and completed a list that showed most businesses were less than 2,000 square feet, and allowing a business to grow by increasing square footage, allows the same provision to apply to formula retail and independent retail. Mr. Duffy explained if there was a business center between 15,000 and 30,000 square feet there could be a retailer of no more than 4,000 square feet; if the use was grandfathered it would be allowed, and could possibly expand the business to 4,000 square feet. He further explained that for a 30,000 square feet business center, possible to have at least 2 units that could be between 2,000 and 4,000, which came from public input, with a cap of 4,000 square feet; it could limit formula retail to 2,000 square feet and allow independent businesses to grow to 4,000 square feet. Mr. Duffy spoke to the possibility of a cap and allow smaller businesses the ability to expand. Mr. Cuyler stated the nature of formula retail was concerning Council and that findings Council could be made to establish a square footage limitation for formula retail, and he would work with staff to incorporate Council's comments in the next version as well as staff recommendation, and the need to keep the uniqueness of Sanibel.

Councilman Rothman made a motion, seconded by Vice Mayor Denham, to direct staff to investigate and rewrite the wording in the 2 paragraphs on the bottom of Page 12 and provide flexibility for independent businesses.

The motion carried unanimously.

- Page 13 reflect the previous vote
- Page 14 include that dumpsters on the ground have added site invasion

Mayor Johnston made a motion, seconded by Vice Mayor Denham, that where 2 districts meet direct staff to come back with language that any ground equipment would comply with current codes.

The motion carried unanimously.

Discussion ensued regarding dumpster placement and items grandfathered in. Mr. Duffy spoke to the opportunity to include new standards.

Public Comment:

Beverly Grady spoke to the side set back for larger parcels and requested to keep the current side set-back.

Mr. Duffy spoke to sending a response to the issue brought up by Beverly Grady.

Council recessed at 11:08 a. m.

Council reconvened at 11:20 a. m.

Steve Hartsell, Attorney representing CNC Investments spoke to a pending application for consolidation of 2 units into 1 unit being denied, filed an appeal of the denial was put on hold pending the proposed ordinance, an apparel store needing business fronts, and request that Council acknowledge the application as an existing grandfathered formula retail space. He further stated the 2 spaces had been empty for 2 years.

Mr. Cuyler spoke to the need for the final document before discussion was held regarding the pending appeal.

Discussion ensued regarding a former formula retail space, and Mr. Cuyler asked that there be no discussion due to the pending appeal.

- Page 20 Below Market Rate Housing and workforce housing a permitted use

Ms. Duffy clarified that they were permitted as a conditional use.

Council asked for any comments on the Town Center General and Town Center Limited Districts.

Public Comment:

Jerry Stern spoke to the purpose of the Town Center General Commercial District to provide for commercial and mixed use development, and the preferred location for retail and mixed use development why under the other uses it could be used for single-family dwellings, i.e. no commercial or mixed use district that seemed in conflict with the purpose of the district.

Mr. Duffy spoke to the purpose statement derived from previous sections of the Land Development Code and language stems from the Goals and Policies from the Sanibel Plan. He further spoke that in the Town Center Limited District residential did remain as a permitted use, but could have residential and commercial as separate buildings, or a mixed use project. He also stated there were no restrictions and in the Town Center General District there were both uses for many years and treats the district different from the General Commercial District in terms of range of use and types of uses and allows for mixed use. He explained that both individual uses and combined uses of Palm Ridge Road.

Mr. Stern stated that it would allow for single-family dwellings with no mixed use or commercial use in a district that was specifically designed for commercial and mixed use district. He also spoke to the Town Center Limited Commercial District provides for commercial and mixed use development, and one of the uses permitted was single-family homes alone. He stated that single-family homes could be built even though the zone was not for single-family homes.

Discussion ensued regarding replacement of commercial dwellings with single-family dwellings, Mr. Duffy spoke to retaining the small island neighborhood commercial centers currently, commercial development allowed to change commercial uses to single-family uses and vice versa, there was also a provision that enables mixed use to exist and formula to deduct footage for that provision, tax consequence from changing commercial to residential and Mr. Cuyler stated that would not be a problem.

- Page 22 under purpose – one of the purposes was to provide opportunities to limit vehicles trips that were consistent to the Sanibel Plan and a person could walk or bike to get something without getting in the car

Council did not object to add a sentence as mentioned-above.

Discussion ensued regarding what bonus dwelling units mean. Mr. Duffy explained that if one wanted to development a mixed use property 1,000 square feet of commercial use would be deducted for each dwelling unit. He explained the proposal was to retain neighborhood and island serving retail use and encourage the mixed use that already exists. He further spoke to the current density map permitted by the underlying density map would allow the residential unit as well as the commercial unit.

Mr. Cuyler spoke to the reason for the bonus was that one could have the full square footage allowed in that commercial district and then still add residential units without reducing the commercial units no to exceed the current density map.

Council directed Mr. Duffy to add a definition of a bonus dwelling unit, why not allow in the other commercial districts not subtracting commercial footage for residential. Mr. Duffy spoke to the ability to work in other district

Council directed staff to review the bonus use in all districts and add to the ordinance.

Councilman Rothman made a motion, seconded by Vice Mayor Denham, to accept staff recommendation that formula retail stores not be permitted in the neighborhood Commercial District.

The motion carried unanimously.

Mr. Cuyler stated that Council may want to take public comment before voting.

- Page 23 uses 1 thru 4

Mr. Duffy clarified alternative 1 came from the Zoning-In-Progress where that was a specific range of uses on an interim basis to potential not permit the outlining commercial districts. He further stated that in Alternative 2 based on the Planning Commission recommendations would continue to include those uses above 1 through 5 as part of the range of uses in the Commercial District. He added that since the language was proposed that was 1 small business regarding the ability to begin a gift or novelty store about 300 square feet and under the Zoning-In-Progress that would not be permitted. He stated that the Planning Commission believed that it could be primary intended or permitted uses in the new neighborhood district. Mr. Duffy stated direction was needed to decide that the uses should be permitted in the Neighborhood Commercial District as was permitted currently.

Council agreed with staff recommendation of alternative 2 and permitting the items below.

- Apparel and apparel accessories stores (retail)
- Children's and infant's wear stores (retail)
- Gift, novelty and souvenir shops, including shell shops (retail)
- Jewelry stores (retail)

Council agreed to allow the continued permitting of the above mentioned items as uses.

Discussion ensued regarding the outlying neighborhood districts would serve the needs of the local community, may not be the kinds of stores the neighborhood would need, the above-mentioned businesses do not serve the neighborhood, permit the businesses currently there. Mr. Duffy spoke to a number of each use on the east and west end that were successful for many years and the possibility would be there for these businesses to blend in with those basic neighborhood services. He further stated that there had been several requests from retailers to create gift/novelty stores as part of the smaller centers. Should there be neighborhood districts, Sanibel Bayous real estate office and the need for a convenient store and increased traffic. Mr. Duffy spoke to the parcel at the corner of Wulfert Road and San-Cap Road served as small real estate office and the true neighborhood center was to the west. He also spoke to the other center at Rabbit Road and to the east on Ferry Road. He stated that with the proposed ordinance the Sanibel Bayous office would convert from General Commercial use to Neighborhood Commercial. He spoke to the question for the single parcel was should it remain a commercial use or convert to a residential property, and it would be one of the neighborhood zones and permitted as a conditional use it could be converted to residential and subject to all dimensional standards. Mr. Duffy spoke to the basic principle or policy of the Sanibel Plan to avoid commercial sprawl with defined clusters whether they were neighborhood serving or the 3 mentioned above along Periwinkle Way.

Council asked staff to reconsider in light of the concerns with alternative proposals pertaining to the Sanibel Bayous parcel. Mr. Cuyler stated that would kick in a potential Burt Harris claim. Discussion ensued that if the zoning stays as it is and residential was a conditional use permit it would not kick in Burt Harris. Mr. Cuyler stated the issue of Burt Harris would arise because it would depend on if there was a diminution of the property value and under the proposed regulations there would be a potential advantage without reducing the commercial area as well as adding the bonus units on top. He further stated that before it could have been a mixed use project, but it would have reduced the commercial use. Mr. Cuyler explained that Mr. Thompson would lose the ability as a permitted use to tear down the commercial unit and build a residential unit without the conditional use process. He further explained that yes this would kick in the process, but it would depend on the appraisal numbers should they indicate property value was lost due to Council action.

Council recessed at 11:57 a. m.

Council reconvened at 1:21 p. m.

Council continued the discussion on Ordinance 06-022.

Councilman Rothman made a motion, seconded by Vice Mayor Denham, to accept Alternative 1 Section 126-541 as written.

- Apparel and apparel accessories stores (retail)
- Children's and infant's wear stores (retail)
- Gift, novelty and souvenir shops, including shell shops (retail)
- Jewelry stores (retail)

Discussion ensued to grandfather the current permitted uses.

The motion carried

Mr. Duffy explained the differences in Alternative 1 and Alternative 2 page 23 and 24 as follows:

- Alternative 2 deals with the issue of bonus dwelling units
- Needs to be re-written to introduce mixed use and define in greater detail
- Introduce bonus residential units and when they would be permitted
- Intention if pursuing the outline neighborhood district was to find a change to the regulation that would encourage mixed use, but not exceeding the residential density
- Have an incentive for mixed use

Discussion ensued regarding bonus units being a new concept. Mr. Duffy spoke to changing the regulation to provide mixed use without losing density, with every bonus residential unit 1,000 square feet of commercial use would be lost.

Mr. Cuyler spoke to retaining the commercial at the west end in the neighborhood district and provide an incentive to the owner to encourage mixed use of commercial/residential without losing density and the Bert Harris Act gives the property owner the ability to sue due to diminished property value.

Discussion ensued regarding this being a staff recommendation to provide an incentive, alternative 1 permits single-family dwellings and Planning Commission wanted that to be a conditional use, Mr. Duffy stated that one of the issues with Alternative 1 was it was too vague and did not provide a mixed use definition. He further stated that Alternative 2 under Section 1 provide a definition for mixed use and under Section 2 was vague and alternative 2 address the issue of bonus dwelling units and other uses could be included.

Council agreed to allow Mr. Duffy re-write.

- Page 24 bottom and Page 25 Conditional Use

Mr. Duffy stated Alternative 1 on page 24 was part of the May ordinance that neighborhood district formula retail would not be permitted and alternative 2, which came from Planning Commission discussions treated formula retail stores as a conditional use.

Discussion ensued regarding Council agreeing to choose Alternative 1

- Page 26 Alternative 2 a

Discussion ensued regarding Alternative 1 was staff's initial recommendation, by creating a new district height, set back and related dimensional standards needed to be introduced, Alternative 2 clearer and added the additional items, as well as adding Council's previous discussion, does Alternative 1 a on page 26

replace Alternative 2 a, or does Alternative 1 a replace Alternative 2 a,b,c, and d. Mr. Duffy stated it was only replacing Alternative 2 a, and Council agreed on Alternative 2 a.

- Page 27 (h) Item (1) why reduce the square footage and Item (3) why restrict the size of a dwelling unit. Council directed staff to review (h) 1&3 – define bonus units
- Page 28 bottom of the page before Section 17 – the need to review and should building material stores and grocery stores be exempted, Section 126-1024 no maximum size commercial building, need to set the maximum size building and exempt grocery stores

Discussion ensued regarding maximum building size on a lot was determined by floor area ratio and no need to cap, separating 2 commercial buildings by a 20-foot area and not separating the commercial buildings, but providing an area as not to have a large commercial uses. Mr. Duffy stated that staff created the separation between 2 building masses, enter and exit within a closed space and the larger site applying the floor ratio would not allow the larger buildings. He further stated the intent was for no monolithic buildings, would apply when reviewing the site plan, revisit on how to separate building masses, ensure enough separation of buildings, the need to define better, buildings material store included because there might be an exterior storage area, and larger volume and cap depending on the size, deleting (3) top of page 28 and direct staff to review Item (3), why were building material stores, furniture and home furnishing stores included. Mr. Duffy explained that the building material stores, home furnishing store and furniture stores were included because of the interior and exterior storage for displayed goods. Council liked the monolithic concept, but not the definition.

- Page 28 top of page – no bonus unit should be no larger than 1,250 square feet

Discussion ensued regarding the above-mentioned, Council directed staff to review the bonus unit issue, and other restrictions would limit the size. Council decided to leave the language at the bottom of page 28.

- Page 29 – no current maximum road frontage

Mr. Duffy spoke to alternative 1 being consistent with the current zoning-in-progress, and Council agreed to keep Alternative 1.

- Page 30 Architectural Standards – Council agreed with Alternative 2 as long as there were minor modifications of not more than 25%
- Page 30 bottom – Item c issue to have the roof line center higher and make more visually pleasing

Mr. Duffy stated that b and d 1 would try to step back of the building mass. He explained that this was the first time of including more specific design standards, and discussion with the Planning Commission to give adequate direction to communities. Discussion ensued regarding directing staff to further illustrate to provide adequate direction to the owner, and reference models and/or examples.

- Page 31 – delete “if any” in the 3<sup>rd</sup> line, include the design should take into account windows, public walkways or anything that would violate in adjacent zoning areas
- Page 31 the need to reference lighting and signage trespassing as a cross reference

Council agreed to both items as mentioned above and choose Alternative 2.

Discussion ensued regarding to revisit landscaping due to comments from businesses, landscaping buffer between businesses,

- Page 32 – landscape buffers in the commercial district

Ms. Zimomra spoke to landscaping buffers and the Periwinkle Way plantings.

Discussion ensued regarding a problem with locating parking behind businesses, disruptive to abutting property, the need for better landscaping, may increase crime, issue as redevelopment occur, and Council directed staff to review parking, vegetation buffers and keeping those buffers trimmed.

Mr. Duffy spoke to cases where there was a preexisting parking lot and a center with multiple store front and owners wanting to subdivide to smaller retail units and would ensure there would not be a penalty and allow the same amount of parking spaces as with the exiting business.

- Page 33 mistake in Section 22 3<sup>rd</sup> line from the top and delete “in the neighborhood commercial district.” Section 126-102 original set of conditions as part of the original ordinance to met for formula retail

Council agreed to direct staff to review everything on formula retail

- Page 36/37 – Mr. Pfalzer stated that mixed use was a permitted use, but if the residential floor exceeds the commercial floor that would be a conditional use including the standards. He explained that the mixed use was the predominant use in residential rather than commercial. He further explained that commercial would be encouraged and the accepting mixed use to avoid the reduction of property values

Council directed staff to further review Alternative 2 on page 37

- Page 40 alternative 2 – Council agreed

Public Comment:

Jerry Stern, Attorney representing Mr. Larry Thompson spoke to the parcel at the corner of Wulfert and San-Cap Road being a parcel that would go into the neighborhood commercial district as an example that the parcel could not be purely residential property, but part of a mixed use.

Mr. Duffy stated that under the draft ordinance recommended by the Planning Commission a single conversion from a commercial to a single-family dwelling would be a conditional use.

Mr. Cuyler stated that under the proposed regulations there could be a conditional use of purely residential.

Mr. Stern stated that on pages 12 and 13 there were no conditional uses listed for single-family dwellings. He further stated that on page 23 Primary Intended Uses were allowed, but residential was not a primary intended use.

Discussion ensued regarding allowing staff to clarify the point of permitted uses and conditional uses.

Mr. Cuyler explained that legally a conditional use application could be filed and go through the standard long form.

Mr. Stern spoke to Mr. Thompson objecting to the creation of the neighborhood commercial district limitations.

Hazel Schuller spoke to page 41 and the accessory beach equipment for resort housing uses and short-form applications.

Mr. Duffy stated this language was in the current code and should have only listed the part that dealt with the commercial district.

Larry Thompson spoke to not wanting the option to keep that option for residential use on his property where a commercial use was currently.

Councilman Jennings made a motion, seconded by Councilman Rothman, to continue the public hearing until February 20, 2007 at 9:30 a. m.

Council recessed at 2:37 p. m.

Council reconvened at 2:45 p. m.

**ORDINANCE 06-021 ESTABLISHING AND CONFIRMING THE RIGHTS OF PRIVATE PROPERTY OWNERS TO RETAIN AUSTRALIAN PINES THAT CURRENTLY EXIST ON THEIR PRIVATE PROPERTY; PROVIDING FOR DEFINITIONS; PROVIDING FOR INTENT; PROVIDING FOR THE ESTABLISHMENT OF THE RIGHTS OF PRIVATE PROPERTY OWNERS TO RETAIN AUSTRALIAN PINES THAT CURRENTLY EXIST ON THEIR PRIVATE PROPERTY; PROVIDING A FINDING THAT AUSTRALIAN PINES OR OTHER TREES THAT COULD DAMAGE OR DESTROY CRITICAL PUBLIC OR QUASI-PUBLIC INFRASTRUCTURE ARE A DANGER TO HEALTH, SAFETY AND WELFARE; PROVIDING FOR REMOVAL OR “TOPPING” OF AUSTRALIAN PINES AND OTHER TREES DETERMINED TO BE A DANGER TO CRITICAL PUBLIC OR QUASI-PUBLIC INFRASTRUCTURE; PROVIDING A PROCEDURE FOR DETERMINATION THAT AN AUSTRALIAN PINE OR OTHER TREE IS A DANGER TO CRITICAL PUBLIC OR QUASI-PUBLIC INFRASTRUCTURE; PROVIDING PROCEDURES FOR REMOVAL OR “TOPPING” OF SUCH TREES; PROVIDING FOR APPEAL; PROVIDING THAT CERTAIN EXISTING ORDINANCES RELATING TO AUSTRALIAN PINES ON PRIVATE PROPERTY REMAIN UNAFFECTED; PROVIDING THAT ORDINANCE RIGHTS GRANTED DO NOT AFFECT PRIOR CONDITIONS OF SUBDIVISION APPROVALS; PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE**

Ms. Zimomra read the title Ordinance 06-021.

- Page 3 – infrastructure owned by utility companies

Mr. Cuyler spoke to the ordinance defining all species of pines.

Discussion ensued regarding LCEC trimming 10 feet on either side of electrical wires, and only trim within the right-of-way.

Mr. Cuyler stated that Councilman Rothman made the motion to include the utilities, but it was Council final decision. He further stated that it would be easier for staff to handle if the infrastructure mentioned in the ordinance was City infrastructure. He explained that a system could be set up if a company request removal of a tree if the tree would destroy infrastructure.

Discussion ensued regarding not paying twice for tree trimming, expense to keep the large trees by damage to infrastructure or removing due to possible damage, as proposed the utility company could remove a tree on private land 120 feet from a utility, there was a direct motion to include above and below ground utilities 120 feet from City infrastructure.

Councilman Brown made a motion, seconded by Vice Mayor Denham delete paragraphs (b), (c) and (d) on page 3.

Mike Cuscaden clarified that CHR made the commitment to try for grants to restore Shorehaven, but not to renovate the interior.

Discussion ensued regarding the issue being more due to Council's previous motion, and no place for relocation except the Historical Village.

Sam Bailey spoke a second time to keeping Shorehaven on the bay.

Discussion ensued regarding several locations Shorehaven could have been moved to, Mr. Cuyler stated that Mr. Thompson indicated he had applied for a demolition permit and if there was no other direction from Council the permit would be issued, and the corner of Periwinkle Way and Bailey Road was environmental sensitive land.

Bernie Lubetkin asked if Community Park land had been considered.

Ms. Zimomra stated that contiguous to Casa Mariposa was a detention basin for the Casa Mariposa parking lot and roof top run-off. She further stated that east to the detention basin was Community Park, and if Shorehaven was located on that land the state grant funding for purchase of the land would be refunded.

Discussion ensued regarding where the money for re-location would come from, and thought the decision was made 60 days ago.

Council decided there was no need for further decision.

Mr. Cuyler stated that if not action was taken the Certificate of Appropriateness would be given as well as the demolition permit.

## **OLD BUSINESS**

### **Planning Department Update**

Mr. Duffy called Council's attention to the update in the agenda packet. He spoke to the following:

- February 20 weigh station report and relocation options
- February 22 receive proposal from the RFP for commercial district plan (Periwinkle Way District)
- FEMA appeal period for flood maps ended January 31, 2007
- Council authorized staff to submit an appeal on October 3, 2006 and pending
- Public Comment period for Flood maps ended
- Appeal period expired
- Lee County request an extension of appeal period
- 6 months after FEMA renders a decision to update the flood maps

### **Request for direction regarding staff recommendations for re-use water charges for Beachview, Dunes, and Sanctuary Golf Courses**

Discussion ensued regarding contract not good for the City, approach the businesses with fairness of the existing contract, Mr. Cuyler spoke to Sanibel not being unique in the beginning of the sewer plant expansion needing to get rid of re-use water as quickly as possible, the need to check if the golf courses were using environmentally friendly fertilizer, and if all 3 contract were the same revenue would be approximately \$150,000.

Ms. Castle spoke to the following:

- Sanctuary and Dunes had a 30-year agreement with The City of Sanibel

Mr. Cuyler stated that majority would rule and if a Councilmember was not interested He further stated that Council would need to set the hearing for a date and time certain. He also stated that if the Commercial regulations ordinance was adopted today the formula retail zoning-in-progress would end today except for this upcoming appeal

Mr. Hartsell stated that another 2 weeks would not make a difference in negotiations with the proposed tenant.

Discussion ensued regarding holding the hearing, if the hearing were delayed and if there were new Councilmember's would the hearing process need to start from the beginning.

Mr. Cuyler stated that no because the hearing had not begun.

The motion carried and the quasi-judicial would be March 06, 2007 at 10:15 a. m.

**CONTINUATION OF SECOND READING AND PUBLIC HEARING  
ORDINANCE 06-022 AMENDING THE SANIBEL CODE, PART II, SUBPART B  
LAND DEVELOPMENT CODE: BY AMENDING CHAPTER 126 ZONING,  
ARTICLE VI DISTRICTS GENERALLY, SECTION 126-241 ZONING  
DISTRICTS, TO ADD A NEIGHBORHOOD COMMERCIAL DISTRICT TO  
THE COMMERCIAL ZONING MAP AND READOPT THE AMENDED MAP;  
AND BY AMENDING CHAPTER 126 ZONING, ARTICLE VIII COMMERCIAL  
DISTRICTS, TO AMEND DIVISION 1 GENERALLY, TO ADD A NEW  
SECTION 126-470 PURPOSE OF COMMERCIAL ZONING DISTRICTS; AND  
TO AMEND DIVISION 2 GC GENERAL COMMERCIAL DISTRICT, TO ADD  
A NEW SECTION 126-490 PURPOSE OF THE DISTRICT; AND TO AMEND  
THE LIST OF PERMITTED USES IN SECTION 126-491; AND TO AMEND THE  
LIST OF CONDITIONAL USES IN SECTION 126-492; AND TO AMEND THE  
REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN  
SECTION 126-494; AND TO AMEND DIVISION 3 TCG TOWN CENTER  
GENERAL COMMERCIAL DISTRICT, TO ADD A NEW SECTION 126-510  
PURPOSE OF THE DISTRICT; AND TO AMEND THE LIST OF PERMITTED  
USES IN SECTION 126-511; AND TO AMEND THE LIST OF CONDITIONAL  
USES IN SECTION 126-512, AND TO AMEND THE REQUIRED CONDITIONS  
FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-514; AND TO  
AMEND DIVISION 4 TCL TOWN CENTER LIMITED COMMERCIAL  
DISTRICT, TO ADD A NEW SECTION 126-530 PURPOSE OF THE DISTRICT;  
AND TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-531;  
AND TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-532;  
AND TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN  
THE DISTRICT IN SECTION 126-534; AND TO ADD A NEW DIVISION 5 NC  
NEIGHBORHOOD COMMERCIAL DISTRICT, TO ADD A NEW SECTION  
126-540 PURPOSE OF THE DISTRICT; AND TO ADD A NEW SECTION 126-  
541 PERMITTED USES; AND TO ADD A NEW SECTION 126-542  
CONDITIONAL USES; AND TO ADD A NEW SECTION 126-543 ACCESSORY  
USES; AND TO ADD A NEW SECTION 126-544 REQUIRED CONDITIONS;  
AND BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV  
SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL  
USES GENERALLY, TO ADD A NEW SECTION 126-1024 MAXIMUM**

PERCENTAGE OF COMMERCIAL FLOOR AREA (BALANCE AND MIX OF BUSINESSES) OCCUPIED BY FORMULA RETAIL STORES; AND TO ADD A NEW SECTION 126-1025 MAXIMUM SIZE FOR A RETAIL COMMERCIAL BUILDING;AND TO ADD A NEW SECTION 126-1026 MAXIMUM STREET FRONTAGE FOR A COMMERCIAL UNIT; AND TO ADD A NEW SECTION 126-1027 MAXIMUM SIZE FOR A RETAIL COMMERCIAL UNIT; AND TO ADD A NEW SECTION 126-1028 ARCHITECTURAL STANDARDS TO ESTABLISH ARCHITECTURAL STANDARDS FOR COMMERCIAL LAND USES; AND TO ADD A NEW SECTION 126-1029 SITE PLANNING STANDARDS TO ESTABLISH SITE PLANNING STANDARDS FOR COMMERCIAL LAND USES; BY AMENDING CHAPTER 126 ZONING, ARTICLE XV OFF-STREET PARKING AND LOADING, DIVISION 2 OFF-STREET PARKING,SUBDIVISION III NONRESIDENTIAL USES, SECTION 126-1361 REQUIRED PARKING SPACES, TO EXEMPT THE DIVISION AND REESTABLISHMENT OF COMMERCIAL UNITS THAT HAD PREVIOUSLY BEEN COMBINED FROM COMPLYING WITH THE REQUIREMENTS OF THIS SECTION; AND BY AMENDING CHAPTER 126 ZONING, ARTICLE IV CONDITIONAL USES, TO AMEND SECTION 126-87 COMBINED RESIDENTIAL AND COMMERCIAL DEVELOPMENT TO PROVIDE FOR BONUS RESIDENTIAL UNITS IN MIXED USE DEVELOPMENTS; AND TO ADD A NEW SECTION 126-102 FORMULA RETAIL STORES THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR FORMULA RETAIL STORES; AND TO ADD A NEW SECTION 126-104 VARIETY OR DEPARTMENT STORES AND COMMERCIAL RETAIL STORES WITH MORE THAN 2000SF OF COMMERCIAL FLOOR AREA THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR THIS USE; AND BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-1 RULES OF CONSTRUCTION AND DEFINITIONS, TO ADD A DEFINITION FOR DELICATESSEN STORE, FOOD MARKET, FORMULA RETAIL STORE, GROCERY STORE AND MIXED-USE COMMERCIAL AND RESIDENTIAL DEVELOPMENT; AND BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-9 ACTIVITIES CONSTITUTING DEVELOPMENT, TO AMEND THE DESCRIPTION OF ACTIVITIES THAT INVOLVE DEVELOPMENT TO INCLUDE THE DECREASE IN THE NUMBER OF DWELLING UNITS OR COMMERCIAL UNITS IN A STRUCTURE AND THE ESTABLISHMENT OF A NEW FORMULA RETAIL STORE, EVEN IF THE PRIOR USE WAS A FORMULA RETAIL STORE, REGARDLESS OF WHETHER THE PRIOR FORMULA RETAIL STORE HAD OBTAINED CONDITIONAL USE APPROVAL FOR THAT USE; AND BY AMENDING CHAPTER 82 ADMINISTRATION, ARTICLE IV DEVELOPMENT PERMITS, DIVISION 2 PROCEDURE, SUBDIVISION II SHORT FORM, SECTION 82-401 APPLICATION, TO MAKE SHORT FORM APPLICATIONS AVAILABLE FOR COMMERCIAL BUILDINGS NOT EXCEEDING 2000SF OR FLOOR AREA AND ADDITIONS, NOT EXCEEDING 2000SF OF FLOOR AREA, TO COMMERCIAL BUILDINGS; AND PROVIDING FOR CODIFICATION;

## **PROVIDING FOR CONFLICT AND SEVERANCE; AND PROVIDING AN EFFECTIVE DATE.**

Ms. Zimomra read the title of Ordinance 06-022.

Mr. Duffy spoke to the following:

- January 16, 2007 public hearing of City Council and recommended revisions
- Revisions from City Council
- Revisions for the new neighborhood commercial district (east end, west end, Rabbit Road and a small parcel at the intersection of San-Cap Road and Sanibel Bayous Road)
- Bonus residential was a complex and complicated discussion
- Requested that Council allow staff to further review the issue of bonus residential and mixed use and bring a report back within 90 days
- Issue of mixed use
- Applying mixed use in the general commercial districts, but applying to town center limited general commercial district
- Review density issue and review Periwinkle West district
- Later in the week hearing proposals to develop the Periwinkle West district plan and may include a number of sub-areas with key parcels that may be subject to redevelopment with a mixed use concept
- Report from Planning Commission in greater detail on how mixed use was applied on island today and regulations may embrace the concept in greater detail
- Staff recommendation was to focus on those sections of the ordinance such as, the purpose statement, elements that he to retain and improve local island serving businesses, maximum commercial size, maximum unit size of commercial establishments, frontage, architectural site planning and land use standards and definitions

Mr. Duffy spoke again to allowing staff to bring a report back to Council within 90-days for a presentation and recommendation on the mixed use concept and decide how to move forward with the neighborhood commercial district. He stated the general commercial district regulations as they are presently would continue including the small parcel at San-Cap Road and Sanibel Bayou Road, which would be part of the study.

Discussion ensued regarding pulling out the matter of neighborhood commercial zoning as is in the Zoning-in-Progress until staff brings recommendations back to Council, motion would be to pull out the neighborhood zoning and zoning would remain the same, Mr. Duffy answered the general commercial district designation would stay in place for the 4 outlying areas, any amendments to the general commercial district island wide would also apply in those 4 outlying areas. Mr. Duffy continued that all provisions to the bonus residential, mixed use, and land use would not be affected if Council moved forward.

Mr. Cuyler stated that there were no staff recommendations for any interim regulations, what would be prohibited or not prohibited and staff would operate under the general commercial district.

Discussion ensued regarding affecting the approval of the Rabbit Road store, and Mr. Duffy stated if the Zoning-in-Progress was extinguished then the permitted conditional uses for the general commercial district would apply for the outlying areas until staff brought back recommendations, approval of the children's apparel store at Rabbit Road, why not keep the Zoning-in-Progress, Mr. Cuyler answered the children's apparel would have been allowed under the regulations if not for the Zoning-in-Progress, the regulations were headed toward a certain concept and staff wanted to reevaluate the concept, Mr. Cuyler further stated that staff would return in 60 to 90 days to discuss the issue with no intent to return with regulations, he further stated that the point for interim regulations were that they were interim and it had been 18 months, sending mixed signals with the interim regulations, and then 60 to 90 day regulations would be sending mixed signals..

Mr. Duffy spoke to the Planning Department not prepared to speak to continued Zoning-in-Progress regulations and may need to adopt a new companion resolution for continue of the Zoning-in-Progress.

Discussion ensued regarding not changing the pre-decision guidelines, should not granted the children's clothing store, need to follow the zoning-in-progress, pull neighborhood portion today, and Zoning-in-Progress should, Mr. Cuyler asked for a timeline of new regulations and a concern of interim regulations, staff should bring back recommendations by April 03, 2007.

Councilman Brown made a motion, seconded by Vice Mayor Denham, that Ordinance 06-022 would not include neighborhood commercial not part of Ordinance 06-022, with regard to those elements of commercial neighborhood zoning would be maintained under the Zoning-in-Progress until staff brings back recommendations April 03, 2007 for Council consideration.

The motion carried unanimously.

Discussion ensued regarding: Ordinance 06-022 as follows:

Page 3 – add a whereas clause that speaks to Sanibel being perceived as a unique world-wide community – “Whereas, the City is recognized worldwide for its unique community character the City decides to nurture this unique characteristic.”

Discussion ensued regarding retain Sanibel's unique characteristic, Mr. Cuyler stated that the Sanibel Plan indicates that Sanibel would not be an attraction, and adding the word unique when necessary.

Mr. Cuyler stated that the whereas clause constitute findings.

Council agreed.

Page 6 - add the word unique where necessary.

Hazel Schuller spoke to the resort housing use in the ordinance.

Council stated the resort housing was not being heard.

Mr. Duffy spoke to resort housing was not an identified permitted use in the general commercial district.

Page 13 (6) second paragraph – 82% of commercial retail fits within the 50 linear feet

Mr. Duffy answered that was correct and 18% exceeding 50 linear feet, Council asked if this was language to expand, Mr. Duffy stated that only Council could grant an approval and the width and depth of the property would limit any expansion, the zoning-in-progress set the regulation, and if Council wanted to allow 52 or 53 linear feet if could only be granted by Council.

Judy Minchie, business owner asked if a business owns a property and the neighbor owns the other side, but was not contiguous. Mr. Duffy spoke to stated it would apply to each parcel independently and would not be an accumulation. She further spoke to being allowed for parking with the building. Mr. Duffy spoke to parking not being a permitted use or a conditional use and was granted many years ago, but could not establish a separate off-site parking lot today.

Page 23 – the need to recognize that current formula retail on the island and would not be changing the existing formula retail

Mr. Duffy answered the definition of formula retail was included and a statement that indicates a number of retailers on island that began on island, grandfather those old formula retailer, and could be replace by alternative retail space over time.

Discussion ensued regarding not wanting to retain a certain amount of retail space, and not increase formula retail, do not want to encourage formula retail, the need to make formula retail stores more

difficult to be authorized, not allowing the pressures and characters of change to allow formula retail, concerns

Mr. Duffy stated that Page 31 Section 126-102, Page 38 definition of formula retail and 3<sup>rd</sup> paragraph from the bottom and notes grandfathering current formula retail.

Mr. Cuyler stated that a “WHEREAS” clause regarding formula retail could be added to the ordinance.

Discussion ensued regarding not allowing future formula retail space, 3 votes of Council could change the character of the island, and the need to have a balance of formula retail on the island.

Mr. Duffy spoke to the square footage of formula retail as follows:

- Inventory of formula retail as it appears in each district
- 18 stores that meet the definition of formula retail
- Currently 48,523 square feet of formula retail space
- Formula retail inventory come from 3 sources; 1) property appraiser; 2) occupational license; and 3) development permits
- Margin of error 3% for total gross square footage
- Staff recommendation to retain the 50,000 square feet for formula retail

Discussion ensued regarding if Council wants to follow-up with the motion to retain the current commercial footage, that footage would be 50,000 square footage, if 55,000 square footage was correct and not a reason to fit another formula retail business, Mr. Duffy spoke to the current inventory being 50,000 square footage and staff recommendation for businesses below 2,000 square feet that may want to increase their square forage due to an operational change Council may want to increase formula retail footage above 50,000, staff recommendation was not to increase above 55,000 square feet, 93 occupied retail establishments under 2,000 square feet, 500 more feet to great of an increase, and not increase formula retail footage anymore.

Councilman Brown made a motion, seconded by Vice Mayor Denham, not to exceed 50,000 square footage for formula retail.

Herb Rubin, Sanibel spoke to the former discussion being 78,000 square footage and 27 retail stores.

Mr. Duffy spoke to the 50,000 being a clarification and previously included some businesses that did not meet the definition.

Dick Walsh, Sanibel spoke to continue the unique of the island would be not to increase the amount of formula retail footage.

Discussion ensued regarding new regulation put in place several years ago, which caused massive construction, Mr. Cuyler answered no.

Peter Pappas, Sanibel spoke to no one having an idea of what would be enough or too little. He further spoke to the need to have a compelling public purpose.

The motion carried 4 to 1 with Councilman Jennings voting in opposition.

Page 24 – 1<sup>st</sup> paragraph exterior commercial space separated by 20 feet or more and breezeways would allow more massive buildings.

Mr. Duffy stated the intent was to work with the building code that sets a minimum separation between buildings for light, air, access, fire protection, and public safety and attempting to include that provision while at the same time setting up a more rigorous design review process if 2 buildings were being proposed

and several architectural standards that deal with issues of monolithic or a long continuous frontage with blank walls that may not be conducive on Sanibel and balance design.

Discussion ensued regarding the possibility of providing a loop hole, the need to protect Sanibel for the future, a way to allow reasonableness without producing a monolithic design, and Mr. Duffy stated that Council could delete the sentence and fall back on the architectural standards.

Section 126-1025 second paragraph, Council agreed to delete the breezeway sentence.

Page 27 – Section 126-1029

Keeshan Haney, Roetzel and Andress gave a letter to City Council. She spoke to Section 126-129 1<sup>st</sup> 2 sentences were inconsistency of development and redevelopment. She suggested the following change as follows: “The site plan standards in this section shall apply to all new commercial development whether or not the commercial buildings are new development or redevelopment where these site planning standards are still applied to commercial development or redevelopment where more than 10% of commercial floor area of that development and no more than 3,000 square feet of commercial floor area.”

Mr. Duffy stated the language applied to development and redevelopment and set the 10% as a threshold to trigger an application of one or more of the site planning standards. He further stated staff reviewed and addressed comments from Roetzel and Andress previously.

Page 27 item (b) last sentence that reads; “environmentally sensitive land uses will not be significantly negatively impacted.” Delete the word “significant.”

Council agreed.

Item (c) second from last dash remove the word “vehicle” after the word “possible”.

Mr. Duffy spoke to multiple curb cuts to provide free flowing movement and trying to limit the number of conflicts for entering and exiting traffic.

Council agreed.

Page 28 – Section 126-1030 include references to impervious surfaces.

Mr. Duffy spoke to staff trying to pull together different sections in the Land Development Code and could include that under (a)

Council agreed.

Page 31 – Councilman Jennings supported holding commercial footage to 50,000 square feet.

Karen Storjohann spoke to making a distinction between franchise and corporately owned for formula retail. She asked how a charitable organization was listed as formula retail.

Discussion ensued regarding making room for larger commercial establishments and the smaller entrepreneurs, any problem that formula retail would the establishment of limiting formula retail square footage, Mr. Cuyler stated that all conditional use permits were handled by the Planning Commission, but the ordinance changes that by allowing Council to review conditional use criteria, a past referendum that changed the charter and possible concerns that Council could allow formula retail, majority of voters did not understand the fragility and shifting votes and Council, make it difficult to approve conditional use permits, conditional use permits should go to the Planning Commission and then to City Council, Mr. Cuyler spoke all regulations would need to be consistent, the decision was if Council wanted to hear conditional use permits, Mr. Cuyler stated there needed to be a good reason to make the change from the Planning Commission hearing conditional use permits, final review by Council, Mr. Cuyler stated that

Planning Commission could make a recommendation, Council could hear the conditional use permit and any appeal would go to the Circuit Court, and there would be a quasi-judicial hearing at the Planning Commission.

Vice Mayor Denham made a motion, seconded by Councilman Jennings, that the Planning Commission hear the conditional use permit as a quasi-judicial hearing and make recommendations to Council, then the permit would go to Council and an appeal would go to the Circuit Court.

The motion carried unanimously.

Herb Rubin, Sanibel spoke to his agreement with the motion.

Dr. John Harries, Sanibel asked if there could be a super majority requirement.

Mr. Cuyler answered the rule was simple majority could put in affect a super majority requirement, but a super majority could also remove a super majority requirement.

Discussion ensued regarding if a resident could file a stay, Mr. Cuyler stated that challenge could be entered.

Vice Mayor Denham made a motion, seconded by Councilman Brown, to adopt Ordinance 06-022 with the above-mentioned amendments.

Keeshan Haney, Roetzel and Andress spoke to page 31 – and asked for clarity of grandfathering formula retail.

Mr. Duffy reiterated the question that if there was an existing formula retail establishment and that establishment closed could it be replaced and the answered was yes, but would require a conditional use permit. He further stated that if the business was below the 50,000 square feet threshold it would go to the Planning Commission.

Keeshan Haney continued with page 32 Section 126-102 using the term other low and moderate intensity retail uses and there being no definition.

Mr. Duffy stated there was no definition and would be interpreted based on the Sanibel Plan a use in terms of traffic generation

Discussion ensued regarding the need for a definition and Mr. Duffy speaking the ability of staff to administrate the low and moderate retail uses.

Keeshan Haney spoke to page 32 bottom of page measuring rather a formula retail store would place an added demand on Sanibel's natural infrastructure.

Mr. Duffy stated that there were words missing and should read natural and man-made infrastructure because if was both a natural system, which was the fundamental basis for growth management on Sanibel with the ecological zones and the overlay districts that deal with density intensity. He further stated that is was also the man-made systems, the roadways and utility systems that could both be taxed by various commercial uses. He also stated that he would insert Sanibel's natural and human-made infrastructure.

Council agreed.

Keeshan Haney spoke to Section 126-105 (page 35 and 36) requirement that a building exceeding 50 linear feet must be designed in compliance with the architectural and site planning standards. She asked that if there was a unit that exceeded 50 linear feet and a new tenant was proposed to enter the space does that section apply.

Mr. Duffy answered no. He stated that an existing structure would be grandfathered ad if the architectural appearance were changed that would triggered the requirement.

Ms. Haney stated that a public records request was made and there had been not City Attorney opinion as to the legality of the ordinance.

Mr. Cuyler stated that there was no code requirement that the City Attorney issue an opinion prior to consideration. He also stated that he was prepared to sign off on if the ordinance was adopted. He further stated that Sanibel was the first City in Florida to adopt new ordinance and he could not guarantee the ordinance was defensible, but was ready to sign off on as adopted.

Discussion ensued regarding the ordinance on formula retail, City reviewing the balance of formula retail and other retail, and the existing formula retail was the correct mix for Sanibel.

Dick Walsh, Sanibel spoke to the motion that any conditional use would go before Council.

Mr. Duffy answered the conditional use would require final approval by Council, report review and public hearing by both the Planning Commission and Council.

Herb Rubin, Sanibel spoke to page 27 Council approved the word significantly in front of the word negatively and a similar statement on page 31 under number 8.

Council agreed.

Wayne Ponader, Sanibel spoke to significant traffic problems of vehicles getting back on the road for a business 50-feet away.

Mr. Duffy spoke to the word vehicular was for curb-cuts and site plan review standards to endure the safest ingress and egress.

Howard Packman stated when Council acts as a body to hear the conditional use application they would be acting as an administrative unit and could be appealed to the court.

Jane Picker, Sanibel spoke to Section 126-87 Page 30 and deferral of the neighborhood districts and no discussion of other commercial zoning.

Mr. Duffy stated that this would be delayed until staff could bring back recommendation April 03, 2007 to look at the neighborhood commercial and how it would apply to the general and town center districts.

Jack Luft, Sanibel spoke to building a positive constructive environment.

Mr. Pfalzer spoke to the following:

- Adoption would include deleting Section 1 neighborhood district
- Consider re-adopting the commercial map, which would be digitized and consist with the Sanibel Plan map and commercial zoning under Section 126-241
- Re-incorporating the neighborhood commercial districts into the general district

The motion carried unanimously.

Vice Mayor Denham and Councilman Brown accepted the amendment to the ordinance incorporating the maps.

Mr. Cuyler spoke to the ordinance and defensibility of a takings claim and very difficult to evaluate a taking claim. He further spoke to no guarantees and defend as necessary.

The motion carried unanimously.

### **CONSENT AGENDA**

Councilman Jennings asked that the minutes be brought back at the March 06, 2007 minutes, item (a), Mayor Johnston pulled item (i). Mr. Cuyler stated he had comment on item (f), and a member of the audience requested that item (f) be pulled.

- a. **Approval of Minutes – January 22, 2007 Special Meeting**
- b. **RESOLUTION 07-021 ESTABLISHING THE COUNCIL POLICY OF A THREE (3) MINUTE TIME LIMIT PER PERSON FOR PUBLIC COMMENT AT SANIBEL CITY COUNCIL MEETINGS; PROVIDING THAT INDIVIDUALS TAKING PART IN PUBLIC COMMENT STATE THEIR NAME AND CITY OF RESIDENCE PRIOR TO THEIR PUBLIC COMMENT; AND PROVIDING AN EFFECTIVE DATE**
- e. **RESOLUTION 07-024 CALLING FOR A SPECIAL ELECTION TO FILL A VACANT SEAT ON THE SANIBEL CITY COUNCIL; SETTING THE DATE AND POLLING PLACES FOR THE ELECTION; PROVIDING FOR QUALIFICATION OF CANDIDATES AND FOR SUBMITTING THE NAMES OF THOSE WHO QUALIFY AS CITY COUNCIL CANDIDATES; PROVIDING FOR BALLOT LANGUAGE AND FOR NOTICE; REQUESTING THE LEE COUNTY SUPERVISOR OF ELECTIONS TO CONDUCT THE ELECTION AND CERTIFY THE RESULTS TO THE SANIBEL CITY COUNCIL; AND PROVIDING AN EFFECTIVE DATE**
- j. **RESOLUTION 07-003 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2007-042 AND PROVIDING AN EFFECTIVE DATE** (to transfer appropriate \$56,206 from the project contingency reserve to adjust of the security fencing around the new recreation facility as approved by City Council on February 6, 2007. There are no new or additional funds appropriated by this Budget Amendment; however the result of the budget amendment increases the City-wide budget by \$25,000 due to transfer between funds)

Ms. Zimomra read the titles of Resolutions 07-003, 07-024 and 07-021.

Councilman Brown made a motion, seconded by Vice Mayor Denham, to adopt Resolution 07-003, 07-021 and 07-024.

The motion carried unanimously.

- g. **Request from Clinic for the Rehabilitation of Wildlife, Inc., (C.R.O.W.) to serve alcohol at Taste of the Islands to be held at Sanibel Community Park, Periwinkle Way, Sunday, April 22, 2007**
- h. **Request from Water Shadows Homeowners Association to serve alcohol at Bock Park, 1560 San Carlos Bay Road as part of their Annual Homeowners Picnic**

Councilman Brown made a motion, seconded by Vice Mayor Denham, to approve the above-mentioned.

The motion carried unanimously.

**CITY OF SANIBEL  
ORDINANCE NO. 06-022**

**AN ORDINANCE AMENDING THE SANIBEL CODE, PART II, SUBPART B LAND DEVELOPMENT CODE:**

**BY AMENDING CHAPTER 126 ZONING, ARTICLE VIII COMMERCIAL DISTRICTS,**

**TO AMEND DIVISION 1 GENERALLY, TO ADD A NEW SECTION 126-470 PURPOSE OF COMMERCIAL ZONING DISTRICTS; AND**

**TO AMEND DIVISION 2 GC GENERAL COMMERCIAL DISTRICT,**

**TO ADD A NEW SECTION 126-490 PURPOSE OF THE DISTRICT; AND**

**TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-491; AND**

**TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-492; AND**

**TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-494; AND**

**TO AMEND DIVISION 3 TCG TOWN CENTER GENERAL COMMERCIAL DISTRICT,**

**TO ADD A NEW SECTION 126-510 PURPOSE OF THE DISTRICT; AND**

**TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-511; AND**

**TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-512, AND**

**TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-514; AND**

**TO AMEND DIVISION 4 TCL TOWN CENTER LIMITED COMMERCIAL DISTRICT,**

**TO ADD A NEW SECTION 126-530 PURPOSE OF THE DISTRICT; AND**

**TO AMEND THE LIST OF PERMITTED USES IN SECTION 126-531; AND**

**TO AMEND THE LIST OF CONDITIONAL USES IN SECTION 126-532; AND**

**TO AMEND THE REQUIRED CONDITIONS FOR DEVELOPMENT IN THE DISTRICT IN SECTION 126-534; AND**

**BY AMENDING CHAPTER 126 ZONING, ARTICLE XIV SUPPLEMENTARY DISTRICT REGULATIONS, DIVISION 5 COMMERCIAL USES GENERALLY,**

TO ADD A NEW SECTION 126-1024 MAXIMUM PERCENTAGE OF COMMERCIAL FLOOR AREA (BALANCE AND MIX OF BUSINESSES) OCCUPIED BY FORMULA RETAIL STORES; AND

TO ADD A NEW SECTION 126-1025 MAXIMUM SIZE FOR A COMMERCIAL BUILDING; AND

TO ADD A NEW SECTION 126-1026 MAXIMUM SIZE FOR A RETAIL COMMERCIAL UNIT; AND

TO ADD A NEW SECTION 126-1027 MAXIMUM STREET FRONTAGE FOR A COMMERCIAL UNIT; AND

TO ADD A NEW SECTION 126-1028 ARCHITECTURAL STANDARDS TO ESTABLISH ARCHITECTURAL STANDARDS FOR COMMERCIAL BUILDINGS AND STRUCTURES; AND

TO ADD A NEW SECTION 126-1029 SITE PLANNING STANDARDS TO ESTABLISH SITE PLANNING STANDARDS FOR COMMERCIAL LAND USES; AND

TO ADD A NEW SECTION 126-1030 STANDARDS FOR COMPATIBILITY WITH RESIDENTIAL AREAS, WILDLIFE HABITAT AND CONSERVATION LANDS,

BY AMENDING CHAPTER 126 ZONING, ARTICLE XV OFF-STREET PARKING AND LOADING, DIVISION 2 OFF-STREET PARKING, SUBDIVISION III NONRESIDENTIAL USES, SECTION 126-1361 REQUIRED PARKING SPACES, TO EXEMPT THE DIVISION AND REESTABLISHMENT OF COMMERCIAL UNITS THAT HAD PREVIOUSLY BEEN COMBINED FROM COMPLYING WITH THE REQUIREMENTS OF THIS SECTION; AND

BY AMENDING CHAPTER 126 ZONING, ARTICLE IV CONDITIONAL USES,

TO ADD A NEW SECTION 126-102 FORMULA RETAIL STORES THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR FORMULA RETAIL STORES; AND

TO ADD A NEW SECTION 126-103 COMMERCIAL BUILDINGS LARGER THAN 6,000 SQUARE FEET OF COMMERCIAL FLOOR AREA THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR COMMERCIAL BUILDINGS LARGER THAN 6,000 SQUARE FEET; AND

TO ADD A NEW SECTION 126-104 VARIETY OR DEPARTMENT STORES AND COMMERCIAL RETAIL STORES WITH MORE THAN 2,000 SQUARE FEET OF COMMERCIAL FLOOR AREA THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR THIS USE; AND

TO ADD A NEW SECTION 126-105 COMMERCIAL UNITS WITH STREET FRONTAGE EXCEEDING 50 LINEAR FEET THAT ESTABLISHES CONDITIONAL USE STANDARDS FOR COMMERCIAL UNITS EXCEEDING 50 LINEAR FEET; AND

BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-1 RULES OF CONSTRUCTION AND DEFINITIONS, TO ADD A DEFINITION FOR DELICATESSEN STORE, DRUG STORE AND PHARMACY, FOOD MARKET, FORMULA RETAIL STORE, GROCERY STORE; AND

BY AMENDING CHAPTER 78 GENERAL PROVISIONS, SECTION 78-9 ACTIVITIES CONSTITUTING DEVELOPMENT, TO AMEND THE DESCRIPTION OF ACTIVITIES THAT INVOLVE DEVELOPMENT TO INCLUDE THE DECREASE IN THE NUMBER OF DWELLING UNITS OR COMMERCIAL UNITS IN A STRUCTURE AND THE ESTABLISHMENT OF A NEW FORMULA RETAIL STORE, EVEN IF THE PRIOR USE WAS A FORMULA RETAIL STORE, REGARDLESS OF WHETHER THE PRIOR FORMULA RETAIL STORE HAD OBTAINED CONDITIONAL USE APPROVAL FOR THAT USE; AND

BY AMENDING CHAPTER 82 ADMINISTRATION, ARTICLE IV DEVELOPMENT PERMITS, DIVISION 2 PROCEDURE, SUBDIVISION II SHORT FORM, SECTION 82-401 APPLICATION, TO MAKE SHORT FORM APPLICATIONS AVAILABLE FOR COMMERCIAL BUILDINGS NOT EXCEEDING 2,000 SQUARE FEET OR FLOOR AREA AND ADDITIONS, NOT EXCEEDING 2,000 SQUARE FEET OF FLOOR AREA, TO COMMERCIAL BUILDINGS; AND

PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT AND SEVERANCE; AND PROVIDING AN EFFECTIVE DATE.

**WHEREAS**, the City, recognized world-wide for its unique community character, declares, in its Vision, the importance of preserving that unique island character; and

**WHEREAS**, the Vision Statement of the *Sanibel Plan*, establishes a hierarchy of values with “sanctuary” and “community” being of higher value than “attraction”; and

**WHEREAS**, the City desires to protect the unique character of the community so that Sanibel remains an attractive and desirable residential community; and

**WHEREAS**, the City desires to retain a proper balance between the resident-serving and resort (tourist) segments of the Commercial Sector of the community; and

**WHEREAS**, the City desires to retain and improve the historical and visual character of the Commercial Sector; and

**WHEREAS**, the City desires to protect the historical character of the 2-lane arterial roadway that provides vehicular access for the community and to the commercial land uses in the Commercial Sector of the community; and

**WHEREAS**, changes in commercial land use, as currently regulated, have raised legitimate concerns that the City of Sanibel is at risk of becoming a resort-oriented market, contrary to public desires; and

**WHEREAS**, it is important to ensure that the City’s regulations support the continuation of existing businesses or establishment of new businesses that serve the residential segment of the community; and

**WHEREAS**, left unregulated, the proliferation of retail businesses that do not serve residents can frustrate the City’s desire to retain a unique and diverse service and

retail base in the local economy and to provide opportunities for small, local businesses;  
and

**WHEREAS**, City Council has established and re-affirmed a goal of preserving local businesses; and

**WHEREAS**, further limitations on permitted uses and conditional uses, within each of the City's Commercial Zoning Districts, are necessary to ensure that a proper balance is maintained between the resident-serving and resort (tourist) segments of the Commercial Sector of the community, and

**WHEREAS**, the establishment of a limit on the size of specific commercial retail units can contribute to the maintenance of a proper balance between the resident-serving and resort (tourist) segments of the Commercial Sector of the community; and

**WHEREAS**, the establishment of architectural standards for commercial buildings can contribute to the maintenance of historic, visual, scenic and architectural character of Commercial Sector of the community; and

**WHEREAS**, the City Council has determined that it is appropriate and in the best interests of the citizens of Sanibel to study, consider and develop land use regulations to address certain land use matters as set forth more particularly in City Council Resolutions no. 05-171; and

**WHEREAS**, the Planning Department has prepared land use regulations for consideration by the Planning Commission and the City Council to replace the interim regulations established in the Notice of Pendency of "Zoning in Progress" set forth in City Council Resolution no. 05-171; and

**WHEREAS**, a procedure has been established to revise and amend the Land Development Code in a manner consistent with the *Sanibel Plan*; and

**WHEREAS**, such revisions have been referred to the Planning Commission for a recommendation as to the consistency of that Amendment with the *Sanibel Plan*; and

**WHEREAS**, the City Council deems it necessary to make such revisions to the Land Development Code, as contained in this ordinance; and

**WHEREAS**, all required public notices and public hearings for such amendment have been properly given and held.

**NOW, THEREFORE, BE IT ORDAINED** by the Council for the City of Sanibel, Lee County, Florida:

**SECTION 1.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 1 Generally, is hereby amended by adding a new Section 126-470 Purpose of Commercial Zoning Districts, with underlining indicating additions, as follows:

**Section 126-470. Purpose of Commercial Zoning Districts.**

The purpose of these development regulations for commercial land uses is to implement the Plan for Commercial Development in the *Sanibel Plan* in a manner that respects the City's objective to remain a unique small town community whose members choose to live in harmony with one another and with nature; creating a human settlement distinguished by its diversity, beauty, uniqueness, character and stewardship.

These land development regulations are intended to:

- Ensure that the commercial sector of the community serves and blends in with the residential sector and natural resources of the community.
- Limit the acreage for and the floor area of commercial development to an amount that can be supported on Sanibel by its residents, property owners and guests residing in the resort housing segment of the community.
- Guide commercial development into clusters, rather than in a continuous commercial strip.
- Assure that opportunities are available for a wide range of unique commercial activities primarily focusing on the needs of island residents.
- Maintain a balance between various types of commercial activities by:
  - retaining and embracing unique commercial uses that contribute to the sanctuary and barrier island qualities unique to Sanibel, and
  - supporting the establishment and retention of island and resident serving commercial uses; and
  - discouraging commercial uses that cater principally to the day visitor to the City or create an attraction,in order to retain the City's desired qualities as sanctuary and community.
- Contribute to the maintenance of the character of the community by:

- preserving the scale and architectural character of existing commercial buildings that reflect the City's history and community character;
- using architectural design and features that are compatible with the community;
- avoiding what is referred to as "cookie cutter" architecture; and
- using substantial vegetation in the buffering and landscaping of the development.
- Encourage mixed-use commercial and residential development in Commercial Districts.
- Promote alternative forms of travel and accessibility, including pedestrian and bicycle access.

**SECTION 2.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 2 General Commercial District, is hereby amended by adding a new Section 126-490 Purpose, with underlining indicating additions, as follows:

**Section 126-490. Purpose.**

The purpose of the GC General Commercial District is to provide for clusters of commercial development along Periwinkle Way, rather than a continuous commercial strip. This district provides opportunities for a wide range of commercial activities that primarily serve islander needs. The GC General Commercial District is designed to permit low intensity commercial development with a wide variety and mixture of retail, office, and service uses, with integrated residential uses offered as an alternative to commercial uses.

**SECTION 3.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 2 General Commercial District, Section 126-491 Permitted Uses, is hereby amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

## Section 126-491. Permitted Uses.

(a) *Primary intended uses.* ~~The GC General Commercial District is designed to permit low intensity commercial development with a wide variety and mixture of retail, office, and service uses, with integrated residential uses offered as an alternative to commercial uses.~~ Primary intended commercial uses in the GC General Commercial District are the following, provided no such use involves on-site food preparation or processing, drive-in or drive-through facilities, outdoor storage, or combined residential and commercial development, so as to require conditional use approval:

- (1) Accounting, auditing and bookkeeping services.
- (2) Advertising agents.
- (3) Animal training and grooming services.
- (4) Apparel and apparel accessories stores (retail).
- (5) Appraisers.
- (6) Architectural, engineering and surveying services.
- (7) Artists' studios (retail).
- (8) Auctioneering services.
- (9) Auto and home supply stores (retail).
- (10) Bait and tackle shops (retail).
- (11) Banks.
- (12) Barber shops.
- (13) Beauty shops.
- (14) Bicycle shops (retail).
- (15) Blueprinting and photocopying services.
- (16) Book stores (retail).
- (17) Building contractors and subcontractors.
- (18) Building materials stores (retail).
- (19) Business associations.
- (20) Cablevision services.
- (21) Camera and photographic supply stores (retail).
- (22) Candy, nut and confectionery stores (retail).
- (23) Carpet and upholstery cleaning.
- (24) Child care services.
- (25) Children's and infant's wear stores (retail).

- (26) Cleaning and maintenance services.
- (27) Commercial art galleries (retail).
- (28) Commercial photography.
- (29) Communication services.
- (30) Computer services.
- (31) Credit institutions.
- (32) Dairy products stores (retail).
- (33) Detective agencies and protective services.
- (34) Developers.
- (35) Disinfecting and exterminating services.
- (36) Drug and proprietary stores and pharmacies (retail).
- (37) Florists (retail).
- (38) Fruit and vegetable markets (retail).
- (39) Funeral homes and parlors.
- (40) Furniture and wood products, manufacturing.
- (41) Furniture stores (retail).
- (42) Garment pressing, and agents, laundries and dry cleaning.
- (43) Gift, novelty, and souvenir shops, including shell shops (retail).
- (44) Hand painting and printing of textiles.
- (45) Hardware stores (retail).
- (46) Health clubs or spas.
- (47) Hobby, toy and game stores (retail).
- (48) Household appliance stores (retail).
- (49) Insurance agents.
- (50) Interior decorators.
- (51) Jewelry stores (retail).
- (52) Landscape and horticultural services.
- (53) Legal services.
- (54) Linen supply.
- (55) Liquor stores (retail).
- (56) Luggage and leather goods stores (retail).
- (57) Mail order houses and distributors.
- (58) Management, consulting and public relation services.
- (59) Mortgage bankers and brokers.

- (60) Music stores (retail).
- (61) News dealers (retail).
- (62) Notary publics.
- (63) Offices of dentists.
- (64) Offices of health practitioners.
- (65) Offices of physicians.
- (66) Office supply stores (retail).
- (67) Optical goods stores (retail).
- (68) Packaging and labeling services.
- (69) Paint, glass and wallpaper stores (retail).
- (70) Pet food stores (retail).
- (71) Pet shops (retail).
- (72) Printing, publishing and allied industries.
- (73) Professional membership organizations.
- (74) Radio and television stores (retail).
- (75) Real estate agents and managers.
- (76) Religious goods stores (retail).
- (77) Repair shops.
- (78) Retail bakeries (retail).
- (79) Retail nurseries, lawn and garden supply stores (retail).
- (80) Re-upholstery and furniture repair.
- (81) Savings and loan associations.
- (82) Security brokers and services.
- (83) Sewing, needlework, and piece goods stores (retail).
- (84) Shoe stores (retail).
- (85) Sign painting and lettering shops.
- (86) Sporting goods stores (retail).
- (87) Stationery and card stores (retail).
- (88) Swimming pool cleaning and maintenance.
- (89) Tailoring and dressmaking services.
- (90) Taxicab services.
- (91) Telephone message services.
- (92) Title abstract offices.
- (93) Tobacco shops (retail).

- (94) Tool and equipment rental.
- (95) Travel agents.
- (96) Uniform supply stores.
- (97) Used merchandise stores (retail).
- ~~(98) Variety or department stores of at least 5,000 square feet of floor area.~~
- ~~(98 99)~~ Veterinary services.
- ~~(99 100)~~ Video equipment and tapes, sales and rentals (retail).
- ~~(100 101)~~ Warehousing and storage.

(b) *Other permitted uses.* The following uses are also permitted in the GC general commercial district.

- (1) Single-family dwellings.
- (2) Duplex dwelling units.
- (3) Residential cluster developments and multifamily developments, subject to the provisions of Section 86-71 (Development Standards; Residential) Average Occupancy Rate.
- (4) Occupancy of a dwelling unit by one family.
- (5) Public facilities.
- (6) Rental of a dwelling unit by one family for periods of no less than four consecutive weeks.

**SECTION 4.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 2 General Commercial District, Section 126-492 Conditional Uses, is hereby amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

**Section 126-492. Conditional Uses.**

The following uses in the GC General Commercial District shall be permitted as conditional uses subject to the conditions and procedures set forth in articles II and IV of this chapter:

- (1) Assisted living facilities.
- (2) Any drive-in or drive-through facility in conjunction with a permitted, or ~~approved~~ conditional, commercial use; except that drive-up, drive-through or drive-in lanes

with carry-out service windows shall not be permitted in or at any eating place, restaurant, food service operation or beverage or liquor store; and except that formula restaurants shall not be permitted in this, or in any, district of the City.

- (3) Any permitted, or ~~approved~~ conditional, commercial use involving on-site food preparation or processing; except that drive-up, drive-through or drive-in lanes with carry-out service windows shall not be permitted in or at any eating place, restaurant, food service operation or beverage or liquor store; and except that formula restaurants shall not be permitted in this, or in any, district of the City.

- (4) Any commercial building resulting in more than 6,000 square feet of commercial floor area, not including buildings occupied by the following uses that are exempt from this limitation: grocery stores, hardware stores, restaurants and furniture and home furnishings stores. The expansion of an existing commercial building resulting in a building with more than 6,000 square feet of commercial floor area requires conditional use approval. However, a conditional use permit is not required to re-occupy a lawfully existing commercial building that is larger than 6,000 square feet of commercial floor area with Retail Uses listed in Section 126-491 Permitted Uses.

For this use, conditional use approval must be obtained from City Council.

- (5) Any commercial retail use resulting in more than 2,000 square feet of commercial floor area, not including the following uses that are exempt from this limitation: grocery stores and food markets, hardware stores, and furniture and home furnishings stores.

The combining of existing commercial units or the expansion of an existing commercial unit resulting in a commercial retail unit with more than 2,000 square feet of commercial floor area requires conditional use approval. However, conditional use approval is not required to re-occupy a lawfully existing retail unit that is larger than 2,000 square feet of commercial floor area with a Retail Use listed in Section 126-491 Permitted Uses.

For this use, conditional use approval must be obtained from City Council.

- (6) Any commercial unit with street frontage exceeding 50 linear feet for any commercial units fronting on and within 200 feet of the right-of-way for an arterial or collector road, not including the following uses that are exempt from this limitation: grocery stores, hardware stores, restaurants, and furniture and home furnishings stores.

The combining of existing commercial units or the expansion of an existing commercial unit resulting in a commercial retail unit with more than 50 linear feet of street frontage on and within 200 feet of the right-of-way for an arterial or collector road requires conditional use approval.

For this use, conditional use approval must be obtained from City Council.

- (7 4) Automobile and other motorized vehicle rental agencies.
- (8 5) Automotive repair shops.
- (9 6) Bicycle rentals.
- (10 7) Boat and canoe rentals.
- (11 8) Car washes.
- (12 9) Carry-out food stores not listed as a permitted use, including ice cream shops (retail).
- (13 10) Caterers.
- (14 11) Coin-operated laundries.
- (15 12) Combined residential and commercial developments.
- (16 13) Foster family homes.
- (17) Formula Retail Stores (retail) provided that the retail use (activity) is listed as a Primary Intended Use or Conditional Use for this District. The definition of Formula Retail Store is provided in Section 78-1 Rules of Construction and Definitions.
- (18 14) Gasoline service stations (retail).
- (19 15) Grocery stores, delicatessen stores, and food markets (retail).
- (20 16) Increased-density below market rate housing.
- (21 17) Institutional uses.
- (22 18) Marine sales and repair shops (retail).
- (23 19) Motion picture theatres, except drive-in.
- (24 20) Outdoor storage in conjunction with a permitted, or approved, conditional commercial use.
- (25 21) Public utility uses.
- (26 22) Rehabilitation centers.
- (27 23) Residential child caring facilities.
- (28 24) Restaurants and other eating places (retail); except that:

- a. Drive-up, drive-through or drive-in lanes with carry-out service windows shall not be permitted in or at any eating place, restaurant, food service operation or beverage or liquor store; and
- b. Formula restaurants shall not be permitted in this, or in any, district in the City.

- (29 25) Social service homes.
- (30 26) Theatres for live performances.
- (31) Variety or department stores (retail).

**SECTION 5.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 2 General Commercial District, Section 126-494 Required Conditions, is hereby amended, with underlining indicating additions and ~~striketrough~~ indicating deletions, as follows:

**Section 126-494. Required Conditions.**

(a) *Maximum floor area ratio.* The maximum floor area ratio for parcels in the GC General Commercial District ~~with an area of 20,000 square feet or greater and with 100 feet or more of road frontage~~ shall be ten percent. ~~For all other parcels in the GC general commercial district the maximum floor area ratio shall be five percent.~~

(b) *Height.* The height of the principal structure in the GC General Commercial District shall not exceed 45 feet above mean sea level. In any structure, commercial floor area shall be limited to the lowest story, either below base flood elevation (and floodproofed) or elevated to or above the base flood elevation. However, two stories may be used for commercial floor area, provided that the following criteria are met:

- (1) No more than 40 percent of the commercial floor area in the structure is on the second story.
- (2) The second story is to be completely within the roof of the structure.
- (3) The main roof of the structure is limited to a maximum pitch of ten vertical on 12 horizontal and must extend down to the ceiling of the first floor.
- (4) Dormers shall be limited in number and size to that necessary to provide adequate air circulation to the second story.
- (5) The access to the second story of the structure is permitted only by means of an interior connection to the first floor.

(c) *Front yard setback.* For principal structures in the GC General Commercial District there shall be a front yard setback of not less than 100 feet from the centerline of minor arterial or collector roads and 50 feet from the centerline of any other street, except where a special setback is imposed, as set forth in Article XIV, Division 3, Subdivision II of this Chapter, and except that such applicable setback shall not be less than 20 feet from any open body of water.

(d) *Side and rear yard setbacks.* For principal structures in the GC General Commercial District there shall be side yard setbacks of 25 feet each for parcels with more than 125 feet of road frontage and of 15 feet each for parcels with 125 feet or less of road frontage, and there shall be a rear yard setback of 20 feet. All structures in the GC General Commercial District shall be set back a minimum of 20 feet from open bodies of water.

(e) *Coverage.* The maximum land area to be covered with impermeable surfaces in the GC General Commercial District shall not exceed 45 percent of the lot area, but see also Section 126-977.

(f) *Developed area and vegetation removal.* The maximum land area to be used as developed area and the maximum land area to be cleared of vegetation in the GC General Commercial District shall not exceed 50 percent of the gross area of any parcel.

(g) *Environmental performance standards.* Except as may be specified to the contrary in divisions 2 through 5 of this Article, commercial development of any parcel in the GC General Commercial District shall comply with the environmental performance standards set forth in section 126-653 and Article XIII, Divisions 2 through 7, of this Chapter for the applicable ecological zones designated on the Zoning Map of the City.

**SECTION 6.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 3 Town Center General Commercial District, is hereby amended by adding a new Section 126-510 Purpose, with underlining indicating additions, as follows:

**Section 126-510. Purpose.**

The purpose of the TCG Town Center General Commercial District is to provide for commercial and mixed use development in the geographical center of the City. Because of this area's relatively good access from Periwinkle Way, Palm Ridge Road and Tarpon

Bay Road and proximity to civic, cultural and governmental uses, the Town Center General District is a preferred location for retail and mixed use development and therefore higher floor area ratios are permitted. The TCG Town Center General Commercial District is designed to provide a wide variety and mixture of retail, office, and service uses, along with integrated residential uses of low and moderate intensities.

**SECTION 7.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 3 Town Center General Commercial District, Section 126-511 Permitted Uses, is hereby amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

**Section 126-511. Permitted Uses.**

(a) *Primary intended uses.* ~~The TCG Town Center General Commercial District is designed to provide a wide variety and mixture of retail, office, and service uses, along with integrated residential uses of low and moderate intensities.~~ Primary intended commercial uses for the TCG Town Center General Commercial District are the same as for the GC General Commercial District, but with higher permitted floor area ratios and residential densities. See Subsection 126-491(a) for the listing of permitted uses.

(b) *Other permitted uses.* Other permitted uses for the TCG Town Center General Commercial District are the same as for the GC General Commercial District. See Subsection 126-491(b) for the listing of other permitted uses.

**SECTION 8.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 3 Town Center General Commercial District, Section 126-512 Conditional Uses, is not amended, however, there are amendments to Section 126-492, which is referenced in this section of the ordinance.

**Section 126-512. Conditional Uses.**

Conditional uses in the TCG Town Center General Commercial District are the same as for the GC General Commercial District, but with higher permitted floor area ratios. See Section 126-492 for the listing of conditional uses.

**SECTION 9.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 3 Town Center General Commercial District, Section 126-514 Required Conditions, is hereby amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

**Section 126-514. Required Conditions.**

(a) *Maximum floor area ratio.* The maximum floor area ratio for parcels in the TCG Town Center General Commercial District ~~with an area of 20,000 square feet or greater and with 100 feet or more of road frontage~~ shall be 12 percent. ~~For all other parcels in the TCG town center general commercial district the maximum floor area ratio shall be five percent.~~

(b) *Height.* The height of the principal structure in the TCG Town Center General Commercial District shall not exceed 45 feet above mean sea level. In any structure in the TCG GG Town Center General Commercial District, commercial floor area shall be limited to the lowest story, either below base flood elevation (and floodproofed) or elevated to or above the base flood elevation. However, two stories may be used for commercial floor area, provided that the following criteria are met:

- (1) No more than 40 percent of the commercial floor area in the structure is on the second story.
- (2) . . .

- (c) *Front yard setback.* . . .
- (d) *Side and rear yard setbacks.* . . .
- (e) *Coverage.* . . .
- (f) *Developed area and vegetation removal.* . . .
- (g) *Environmental performance standards.* . . .

**SECTION 10.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 4 Town Center Limited Commercial District, is hereby amended by adding a new Section 126-530 Purpose, with underlining indicating additions, as follows:

**Section 126-530. Purpose.**

The purpose of the TCL Town Center Limited Commercial District, like the TCG Town Center General Commercial District, is also to provide for commercial and mixed-use development in the geographical center of the City. Because of this area's relatively good access from Periwinkle Way, Palm Ridge Road and Tarpon Bay Road, and proximity to civic, cultural and governmental uses, the TCL Town Center Limited District is a preferred location for retail development and therefore higher floor area ratios are permitted. The TCL Town Center Limited Commercial District is designed to provide an opportunity for a variety and mixture of retail, office, and service uses which support the establishment and retention of island and resident serving commercial uses and discourage commercial uses that cater principally to the day visitor to the City.

**SECTION 11.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 4 Town Center Limited Commercial District, Section 126-531 Permitted Uses, is not amended.

**Section 126-531. Permitted Uses.**

(a) *Primary intended uses.* ~~The TCL Town Center Limited Commercial District is designed to provide an opportunity for a variety and mixture of retail, office, and service uses which serve the needs of city residents, with integrated residential uses of moderate intensity.~~ Primary intended commercial uses for the TCL Town Center Limited Commercial District are the same as for the GC General Commercial District and the TCG Town Center General Commercial District, except that the following uses are not permitted:

- (1) Apparel and apparel accessories stores (retail).
- (2) Children's and infant's wear stores (retail).
- (3) Gift, novelty, and souvenir shops, including shell shops (retail).
- (4) Jewelry stores (retail).

See Subsection 126-491(a) for the listing of other uses that ~~which~~ are permitted.

(b) *Other permitted uses.* Other permitted uses for the TCL Town Center Limited Commercial District are the same as for the GC General Commercial District and the TCG Town Center General Commercial District. See Subsection 126-491(b) for the listing of other permitted uses.

**SECTION 12.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 4 Town Center Limited Commercial District, Section 126-532 Conditional Uses, is not amended, however, there are amendments to Section 126-492 in this ordinance.

**Section 126-532. Conditional Uses.**

Conditional uses in the TCL Town Center Limited Commercial District are the same as for the GC General Commercial District and the TCG Town Center General Commercial District. See Section 126-492 for the listing of conditional uses.

**SECTION 13.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VIII Commercial Districts, Division 4 Town Center Limited Commercial District, Section 126-534 Required Conditions, is hereby amended, with underlining indicating additions and ~~strike through~~ indicating deletions, as follows:

**Section. 126-534. Required Conditions.**

(a) *Maximum floor area ratio.* The maximum floor area ratio for parcels in the TCL Town Center Limited Commercial District ~~with an area of 20,000 square feet or greater and with 100 feet or more of road frontage shall be 12 percent. For all other parcels in the TCL town center limited commercial district the maximum floor area ratio shall be five percent.~~

(b) *Height. . . .*

(c) *Front yard setback. . . .*

(d) *Side and rear yard setbacks. . . .*

(e) *Coverage. . . .*

(f) *Developed area and vegetation removal. . . .*

(g) *Environmental performance standards. . . .*

**SECTION 14.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations is hereby amended to add a new Section 126-1024 Maximum Percentage of Commercial Floor Area (Balance and Mix of Businesses) Occupied by Formula Retail Stores with underlining indicating additions, as follows:

**Section 126-1024 Maximum Percentage of Commercial Floor Area (Balance and Mix of Businesses) Occupied by Formula Retail Stores.**

In order to maintain Sanibel's economic viability and diversity, community character and unique composition of island serving commercial land uses, the total floor area of all permitted formula retail stores, as defined in Section 78-1 Rules of Construction and Definitions, shall not exceed 50,000 square feet, unless a Conditional Use Permit is issued by City Council pursuant to Section 126-102 Formula Retail Stores.

The City Manager or the manager's designee shall maintain an Inventory of Commercial Land Uses, including formula retail stores, within the GC General Commercial District, the TCG Town Center General Commercial District and the TCL Town Center Limited Commercial District. The Commercial Land Use Inventory shall be updated on an annual basis or at the request of City Council.

City Council shall consult the Commercial Land Use Inventory and the Sanibel Plan, including the Economic Assumptions of the Plan, other relevant information and a report from the Planning Commission when considering an application for a conditional use permit seeking an expansion of the total number of square feet devoted to formula retail uses.

**SECTION 15.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations is hereby amended to add a new Section 126-1025 Maximum Size for a Commercial Building with underlining indicating additions, as follows:

**Section 126-1025. Maximum Size for a Commercial Building.**

The size of a commercial building shall not exceed 6,000 square feet of commercial floor area, unless conditional use approval is obtained from City Council for the building, pursuant to Section 126-103.

For the purposes of this regulation, the commercial floor area of a building is based on the total floor surface under roof in a structure.

For buildings occupied by both commercial and residential uses, the limitation on building size applies only to the commercial floor area and does not include residential floor area.

This limitation on maximum building size does not apply to commercial buildings occupied by the following commercial uses: grocery stores, hardware stores, restaurants, and furniture and home furnishings stores.

**SECTION 16.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations is hereby amended to add a new Section 126-1026 Maximum Size for a Commercial Unit with underlining indicating additions, as follows:

**Section 126-1026. Maximum Size for a Retail Commercial Unit.**

The size of a commercial retail unit shall not exceed 2,000 square feet of commercial floor area, unless conditional use approval is obtained from City Council for the retail unit, pursuant to Section 126-104.

This limitation on maximum unit size does not apply to grocery stores and food markets, hardware stores, restaurants, and furniture and home furnishings stores. This limitation does not apply to office and service commercial uses.

**SECTION 17.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations is hereby amended to add a new Section 126-1027 Maximum Street Frontage for a Commercial Unit with underlining indicating additions, as follows:

**Section 126-1027. Maximum Street Frontage for a Commercial Unit.**

The width of a commercial unit that fronts (faces) on an arterial or collector road and that is within 200 feet of that street right-of-way shall not exceed 50 linear feet, unless conditional use approval is obtained from City Council for the commercial unit, pursuant to Section 126-105.

The following uses that are exempt from this limitation: grocery stores, hardware stores, restaurants, and furniture and home furnishings stores.

**SECTION 18.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations, Division 5 Commercial Uses Generally, is hereby amended to add a new Section 126-1028 Architectural Standards, with underlining indicating additions, as follows:

**Section 126-1028. Architectural Standards.**

The architectural standards in this section shall apply to all new commercial buildings, whether the buildings are new development or redevelopment of existing commercial floor area. These architectural standards also apply to an existing commercial building that is adding, or redeveloping, more than 25% of the commercial floor area of that building. To the extent practicable, these standards will apply to major improvements to the exterior of existing commercial buildings that involve replacement or relocation of windows, entryways, walkways and elements of the building's façade, provided that the improvement exceeds normal repair and maintenance. These standards do not apply to interior renovations that do not affect the external appearance of the building.

- a) Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.
- b) Commercial buildings shall not appear monolithic.

- c) Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and recognize and respect local character and site conditions.
- d) Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses. The following provides a basis for general standards:
  - 1. Facades shall be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls.
  - 2. Articulation of facades and roofing shall be used to vary the building's mass, in height and width, so that it appears to be divided into distinct elements and details.
  - 3. Facades shall provide, through the use of detail and scale, visual interest that is consistent with the character of the community.
- e) Building entryways and windows shall be located so as not to permit noise, light and other impacts on the quiet and private enjoyment of adjacent residential uses.
- f) All rooftop mechanical equipment protruding from the roof must be screened from public view by integrating it into a building and roof design.
- g) City Council may adopt and, from time to time, amend an illustrated guide of architectural standards to aid in the administration and interpretation of the above standards.

**SECTION 19.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations, Division 5 Commercial Uses Generally, is hereby amended to add a new Section 126-1029 Site Planning Standards, with underlining indicating additions, as follows:

**Section 126-1029. Site Planning Standards.**

The site planning standards in this section shall apply to all new commercial developments, whether or not the commercial buildings are new development or redevelopment of existing commercial floor area. These site planning standards also apply to commercial developments that are adding, or redeveloping, more than 10% of

the commercial floor area of that development or more than 3,000sf of commercial floor area.

a) Location and Design of Off-street Parking.

Off-street parking spaces shall be primarily located below or at the front or side of commercial buildings. The location and design of off-street parking shall not impact adjoining residential uses, conservation land or wildlife habitat.

b) Location and Design of Off-street Loading and Service Areas.

On-street loading and service areas shall be appropriately designed, located, landscaped and screened to ensure that adjoining residential areas and environmentally sensitive land uses will not be negatively impacted.

c) Site Access and Internal Circulation.

- Multiple and independent points of ingress and egress shall be avoided when possible.
- Unobstructed sight lines at points of ingress and egress shall be provided to ensure pedestrian, bicyclists and motorist safety.
- When possible, bicycle and pedestrian cross access between commercial sites and developments shall be established.
- Functional and integrated access and internal circulation for people with disabilities shall be provided.
- Safe and efficient internal pedestrian circulation to and from on-site parking spaces shall be provided.
- Conveniently located on-site storage areas for bicycles shall be provided.

d) On-site Utilities, Equipment, Lighting, Trash Containers, Dumpsters and Service Areas and Activities.

All above ground utilities, equipment and related service facilities and operations shall be designed, located and maintained to ensure compatibility with adjoining residential areas and other environmentally sensitive land.

e) Landscaping, Buffering and Screening.

In addition to the vegetation buffers and parking area vegetation required for commercial uses, by Chapter 122, Article II, Division 2, courtyards and lands around buildings are to be landscaped. Specific and detailed landscape plans are required for buffering and screening adjacent residential uses from negative visual and physical impacts of the commercial land uses. Side and rear yard

setbacks may have to be increased to provide adequate vegetation buffering for abutting and nearby residential land uses.

- f) City Council may adopt and, from time to time, amend an illustrated guide of site planning guidelines to aid in the administration and interpretation of the above standards.

**SECTION 20.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XIV Supplementary District Regulations, Division 5 Commercial Uses Generally, is hereby amended to add a new Section 126-1030 Standards for Compatibility with Wildlife Habitat, Conservation Land and Residential Areas, with underlining indicating additions, as follows:

**Section 126-1030. Standards for Compatibility with Wildlife Habitat, Conservation Land and Residential Areas.**

It is imperative that commercial land uses, in terms of site, architectural and environmental design, blend in with the natural and residential character of the community and mitigate potential negative impacts. All plans for commercial development or redevelopment shall fully comply with the following conditions, standards, and requirements to ensure compatibility with wildlife habitat, conservation and environmentally sensitive land, and residential areas:

- a) The Required Conditions established for each Commercial District (Sections 126-494, 126-514, and 126-534);
- b) Limitations on Amount of Coverage with Impermeable Surfaces, Vegetation Removal and Developed Area (Sections 126-494, 126-514, and 126-534);
- c) Architectural Standards (Section 126-1028);
- d) Site Planning Standards (Section 126-1029);
- e) Environmental Performance Standards (Chapter 126. Zoning, Article XIII).
- f) Landscaping and Buffering (Chapter 122 Vegetation).
- g) Outdoor Lighting Standards (Section 126-997).
- h) Litter (Chapter 30 Environment, Article II); and
- i) Noise (Chapter 30 Environment, Article III).

**SECTION 21.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article XV Off-Street Parking and Loading, Division 2 Off-Street Parking, Subdivision III Nonresidential Uses, Section 126-1361 Required Parking Spaces, is hereby amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

**Section 126-1361. Required Parking Spaces.**

No development permit shall be issued for any nonresidential use or structure, or for any addition to or expansion thereof, unless parking spaces, in compliance with all requirements of this section are provided as follows:

| <u>Use</u>             | <u>Required Parking Spaces</u> |
|------------------------|--------------------------------|
| Commercial Retail Uses | For each . . .                 |
| ...                    | ...                            |
| Boat Rentals           | 1 for each . . . , or canoes   |

Division and reestablishment of commercial units that had previously been combined into a larger commercial unit are not required to comply with the requirements of this section, provided there has been no reduction in the number of on-site parking spaces since the commercial units being recreated were combined.

**SECTION 22.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article IV Conditional Uses, is hereby amended to add a new Section 126-102 Formula Retail Stores, with underlining indicating additions, as follows:

**Section 126-102. Formula Retail Stores.**

Conditional use approval is required for all new formula retail stores, even if the prior use was a formula retail store, regardless of whether the prior formula retail store had obtained conditional use approval for that use. Formula Retail Stores may be permitted as a conditional use, subject to the following conditions set forth in this section:

- (1) The formula retail store shall be compatible with existing land uses on the same site as the formula retail store and with existing and permitted, adjacent and nearby land uses.
- (2) The formula retail store shall be designed and operated in a non-intrusive manner that preserves and is consistent with the historic, architectural, visual character and ambiance of the Commercial Sector of the community. Formula, standardized, "cookie-cutter" architecture, including architectural features, is prohibited.
- (3) The floor area of the formula retail store shall not exceed 2,000 square feet of commercial floor area.
- (4) The proposed development intensity of the formula retail store shall not exceed that of other low and moderate intensity retail uses that are permitted on the site of the formula retail store.
- (5) The formula retail store shall not imbalance the variety and mixture of retail, office, and service uses that make up the Commercial Sector of the community.

A conditional use application for a new formula retail store that results in the total commercial floor area used by formula retail stores in all of the City's Commercial Districts to exceed 50,000 square feet, or as may be adjusted pursuant to Section 126-1024 of this Code, requires Planning Commission review and City Council approval, subject to the following conditions, in addition to the prior 5 conditions listed in this section:

- (6) The formula retail store, in aggregation with other formula retail stores in the City, shall not produce an imbalance between the resident-serving and resort (tourist) segments of the Commercial Sector of the community.
- (7) The formula retail store, in aggregation with other formula retail stores in the City, shall not frustrate the City's desire to retain a unique and diverse service and retail base in the local economy and to provide opportunities for small, local businesses
- (8) The formula retail store, in aggregation with other formula retail stores in the City, shall not discourage the continuation of existing businesses or establishment of new businesses that serve the residential segment of the community.

(9) The formula retail store, in aggregation with other formula retail stores in the City, shall retain the historical and visual character of the Commercial Sector.

(10) The most basic of all of the economic assumptions for Sanibel's planning is that Sanibel's economic fortune is directly related to the viability of its natural systems. The formula retail store, in aggregation with other formula retail stores in the City, must not place added demand on Sanibel's natural and human made infrastructure. Sanibel must protect the environment because of the responsibility entrusted to the people of Sanibel to care for these resources, but also as a component of a sound economic policy. The economic base of Sanibel is the environment.

City Council review of the conditional use application will be in accordance with the authorization, requirements and conditions established for the Planning Commission review of conditional use applications in Sections 82-201, 82-202 and 82-203 of this Code.

**SECTION 23.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article IV Conditional Uses, is hereby amended to add a new Section 126-103 Any Commercial Building Exceeding 6,000 Square Feet of Commercial Floor Area, with underlining indicating additions, as follows:

**Section 126-103. Any Commercial Building Exceeding 6,000 Square Feet of Commercial Floor Area.**

Any commercial building exceeding 6,000 square feet of commercial floor area, not including buildings occupied by the following uses that are exempt from this limitation: grocery stores, hardware stores, restaurants and furniture and home furnishings stores, may only be permitted as a conditional use.

A conditional use application for a commercial building exceeding 6,000 square feet in commercial floor area, requires Planning Commission review and City Council approval, subject to the conditions set forth in this section:

- (1) The size of the commercial building shall be compatible with existing and permitted, adjacent and nearby land uses and with existing land uses on the same site as the commercial building.
- (2) The size of the commercial building shall be designed and operated in a non-intrusive manner that preserves and is consistent with the historic, architectural, visual character and ambiance of the Commercial Sector of the community.
- (3) Formula, standardized, "cookie-cutter" architecture, including architectural features, is prohibited.
- (4) The commercial building shall be designed in full compliance with:
  - a) the Architectural Standards in Section 126-1028;
  - b) the Site Planning Standards in Section 126-1029; and
  - c) the Standards for Compatibility with Wildlife Habitat, Conservation Land and Residential Areas in Section 126-1030.
- (5) The proposed size and development intensity of the commercial building shall not contribute to an imbalance in the mix of businesses that primarily serve the island and its residents and businesses and that primarily serve guests of resort housing developments and day visitors.

City Council review of the conditional use application will be in accordance with the authorization, requirements and conditions established for the Planning Commission review of conditional use applications in Sections 82-201, 82-202 and 82-203 of this Code.

**SECTION 24.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article IV Conditional Uses, is hereby amended to add a new Section 126-104 Variety or Department Stores and Commercial Retail Stores with More than 2,000 Square Feet of Commercial Floor Area, with underlining indicating additions, as follows:

**Section 126-104. Variety or Department Stores or Any Commercial Retail Use with More than 2,000 Square Feet of Commercial Floor Area.**

Variety or Department Stores and any commercial retail use with more than 2,000 square feet of commercial floor area, not including the following uses that are exempt

from this limitation: grocery stores and food markets, hardware stores, and furniture and home furnishings stores, may only be permitted as a conditional use:

A conditional use application for a commercial retail unit exceeding 2,000 square feet in commercial floor area, requires Planning Commission review and City Council approval, subject to the conditions set forth in this section:

- (1) Any commercial retail use with more than 2,000 square feet of commercial floor area shall provide products or services principally for the residents, property owners and guests residing in the resort housing sector of the City of Sanibel.
- (2) Any commercial retail use with more than 2,000 square feet of commercial floor area, as with specific commercial uses that are exempt from this size limitation, shall demonstrate that more than 2,000 square feet of commercial floor area is reasonably necessary for the operation of the business.
- (3) The building containing the use does not appear as standardized design that is replicated from another location.
- (4) The use is not a formula retail store.
- (5) Any commercial retail use with more than 2,000 square feet of commercial floor area shall not frustrate the City's desire to retain a unique and diverse service and retail base in the local economy and to provide opportunities for small, local businesses.
- (6) Any commercial retail use with more than 2,000 square feet of commercial floor area shall not discourage the continuation of existing businesses or establishment of new businesses that serve the residential segment of the community.
- (7) Any commercial retail use with more than 2,000 square feet of commercial floor area shall retain the historical and visual character of the Commercial Sector.

City Council review of the conditional use application will be in accordance with the authorization, requirements and conditions established for the Planning Commission review of conditional use applications in Sections 82-201, 82-202 and 82-203 of this Code.

**SECTION 25.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article IV Conditional Uses, is hereby amended to add a new Section 126-105 Commercial Units with Street Frontage Exceeding 50 Linear Feet, with underlining indicating additions, as follows:

**Section 126-105. Commercial Units With Street Frontage Exceeding 50 Linear Feet.**

Any commercial unit with street frontage exceeding 50 linear feet for commercial units fronting on and within 200 feet of the right-of-way for an arterial or collector road, not including the following uses that are exempt from this limitation: grocery stores, hardware stores, restaurants, and furniture and home furnishings stores, may only be permitted as a conditional use,

A conditional use application for a commercial unit with street frontage exceeding 50 linear feet for commercial units fronting on and within 200 feet of the right-of-way for an arterial or collector road, requires Planning Commission review and City Council approval, subject to the conditions set forth in this section:

- (1) The width of the street frontage of the commercial unit shall be compatible with existing land uses on the same site as the commercial unit and with existing and permitted, adjacent and nearby land uses.
- (2) The width of the street frontage of the commercial unit shall be designed in a manner that preserves and is consistent with the historic, architectural, visual character and ambiance of the Commercial Sector of the community.
- (3) The commercial building shall be designed in full compliance with:
  - a) the Architectural Standards in Section 126-1028;
  - b) the Site Planning Standards in Section 126-1029; and
  - c) the Standards for Compatibility with Wildlife Habitat, Conservation Land and Residential Areas in Section 126-1030.
- (4) The width of the street frontage of the commercial unit shall not frustrate the City's desire to retain a unique and diverse service and retail base in the local economy and to provide opportunities for small, local businesses.

(5) The width of the street frontage of the commercial unit shall not discourage the continuation of existing businesses or establishment of new businesses that serve the residential segment of the community.

City Council review of the conditional use application will be in accordance with the authorization, requirements and conditions established for the Planning Commission review of conditional use applications in Sections 82-201, 82-202 and 82-203 of this Code.

**SECTION 26.** The Code of Ordinances of the City of Sanibel, Chapter 78 General Provisions, Section 78-1 Rules of Construction and Definitions, is hereby amended, with underlining indicating additions and ~~strikethrough~~ indicating deletions, as follows:

**LDC Section 78-1. Rule of Construction and Definitions.**

(c) Throughout this Land Development Code, the following words and phrases shall have the meanings indicated unless the text of the article or section in which it is used clearly indicates otherwise:

*Delicatessen Store:* See Food Market.

Drug store or pharmacy means an establishment engaged in the retail sale of prescription drugs and nonprescription medicines, cosmetics and related supplies, where the majority of retail sales are prescription drugs and nonprescription medicines.

*Food Market* means a business establishment containing less than 5000sf of commercial floor area, primarily engaged in retailing a limited line of goods, household products, foods and beverages that generally includes milk, bread, sodas and snacks and may include a delicatessen-type component. This use does not include the retail sale of motor fuels at fuel pumps.

Formula Retail Store means a type of retail sales activity or retail sales establishment that is required by contractual or other arrangement to maintain any of the following:

Standardized name of business

Standardized business signage

Standardized architecture

Standardized (formula) array of merchandise

Trademark

Logo

Uniforms

For the purposes of the City's Commercial Land Use Regulations, Formula Retail Stores do not include establishments providing professional services, including, but not limited to, real estate offices, medical offices, dental offices, offices of health practitioners, banks, savings and loan associations, mortgage and securities brokers, accounting services, appraisers, cable television services, insurance agents, and interior decorators.

Formula Retail Stores do not include grocery stores, hardware stores, gasoline service stations and restaurants; however, see the definition of formula restaurant.

Furthermore, retail stores that have more than one (1) location, but that had their original location in the City, are not defined as Formula Retail Stores. The second location of a retail store, that had its original location in the City, is not defined as a Formula Retail Store.

Grocery Store means a business establishment, containing more than 5000sf of commercial floor area, primarily engaged in retailing a general line of food and household products, including canned, packaged and frozen foods, fresh fruits and vegetables, and fresh and prepared meats, fish and poultry.

**SECTION 27.** The Code of Ordinances of the City of Sanibel, Chapter 78 General Provisions, Section 78-9 Activities constituting development, is hereby

amended, with underlining indicating additions and ~~striketrough~~ indicating deletions, as follows:

**Section 78-9. Activities constituting development**

(a) The following activities or uses shall be taken, for the purposes of this land development code, to involve development as defined in this section:

- (1) A reconstruction, alteration, addition, or material change in the external appearance, of a structure or land.
- (2) A change in the intensity of use of land, such as an increase or decrease in the number of dwelling units in a structure or on land or an increase or decrease in the number of ~~businesses, manufacturing establishments, offices or other~~ commercial units in a structure or on land.
- (3) . . .
- . . .
- (12) The establishment of a new formula retail store, even if the prior use was a formula retail store, regardless of whether the prior formula retail store had obtained conditional use approval for that use.

**SECTION 28.** The Code of Ordinances of the City of Sanibel, Chapter 82 Administration, Article IV Development Permits, Division 2 Procedure, Subdivision II Short Form, Section 82-401 Application, is hereby amended, with underlining indicating additions and ~~striketrough~~ indicating deletions, as follows:

**Section 82-401. Application.**

A short-form application may be available for the following types of development:

- (1) Construction of a single family dwelling or duplex, . . .
- (2) Additions or extensions to existing buildings, . . .
- (3) Commercial buildings structures not exceeding 2,000 4500 square feet of ~~in~~ floor area and additions, not exceeding 2,000sf of floor area, to commercial buildings.
- (4) . . .

**SECTION 29.** The Code of Ordinances of the City of Sanibel, Chapter 126 Zoning, Article VI Districts Generally, Section 126-241 Zoning Districts, is hereby amended by re-adopting the Commercial Zoning Map. The re-adopted Commercial Zoning Map has been converted to a digitized format, and a paper copy of the re-adopted Map is included in this ordinance as Attachment 1.

**SECTION 30.** Codification.

This ordinance shall be an amendment to the Code of Ordinances of the City of Sanibel. Sections 78-1, 78-9, 82-401, 26-491, 126-492, 126-494, 126-511, 126-512, 125-514, 126-531, 126-532, 126-534 and 126-1361 of the Sanibel Code of Ordinances are hereby amended. New Sections 126-102, 126-103, 126-104, 126-105, 126-470, 126-490, 126-510, 126-530, 126-1024, 126-1025, 126-1026, 126-1027, 126-1028, 126-1029, and 126-1030 are added to the Sanibel Code of Ordinances.

**SECTION 31.** Conflict.

All ordinances and parts of ordinances in conflict herewith shall be and the same are hereby repealed. If any part of this ordinance conflicts with any other part, it shall be severed and the remainder shall have full force and effect and be liberally construed.

**SECTION 32.** Severance.

If any section, subsection, sentence, clause, phrase or portion of this ordinance, or application hereof, is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such portion or application shall be deemed a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portion of application hereof.

**SECTION 33.** Effective date.

This ordinance shall take effect immediately upon adoption.

**DULY PASSED AND ENACTED** by the Council of the City of Sanibel, Lee County, Florida, this 20<sup>th</sup> day of February, 2007.

AUTHENTICATION: *Carla Brooks Johnston* *Pamela Smith*  
Carla Brooks Johnston, Mayor Pamela Smith, City Clerk

APPROVED AS TO FORM: *Kenneth B. Cuyler* *3/1/07*  
Kenneth B. Cuyler, City Attorney Date

Publication and Hearing Dates

|   |                          |
|---|--------------------------|
| Date notice mailed - Chpt 166, F.S.:      | <u>November 16, 2006</u> |
| Chpt 166, F.S. Publication Date:          | <u>December 11, 2006</u> |
| Date of First Public Hearing:             | <u>December 19, 2006</u> |
| Chpt. 166, F.S. Publication Date:         | <u>January 8, 2007</u>   |
| Date of Second Public Hearing:            | <u>January 16, 2007</u>  |
| Chpt. 166, F.S. Publication Date (cont.): | <u>February 12, 2007</u> |
| Ordinance Publication Date:               | <u>February 8, 2007</u>  |
| Date of Second Public Hearing (cont.):    | <u>February 20, 2007</u> |

Vote of Council Members:

|          |     |
|----------|-----|
| Johnston | yea |
| Denham   | yea |
| Brown    | yea |
| Jennings | yea |

Date filed with the City Clerk: February 26, 2007

- Called Council's attention to the recommendations in the packet

Council thanked Mr. Bailey for his work on the island.

### **Marine Advisory Committee**

No report given.

### **Parks and Recreation Committee**

No report given.

### **Vegetation Committee**

Ms. Gresham spoke to the following

- Approval of an ad for the newspaper
- Use City Hall and Periwinkle Preserve to show the public how native plants could grow
- Funding for a plaque for the last tree planted in memory of a deceased Vegetation Committee member

### **Wildlife Committee**

Vern Frankwich gave the following report:

- Violations of dumpster not meeting City standards to keep raccoons out
- Committee involvement in raccoon enforcement

### **Planning Commission Report**

Dr. Berger gave the following report of the March 22, 2007 Planning Commission.

- Denial of an application for a variance of the installation of a boatlift at 1500 Angel Drive
- Distributed a report for the EAR
- Distributed a report for the RFP for the Periwinkle Way commercial district plan
- Distributed a report for the preliminary objectives for the update of commercial market and economic and land use analysis
- Brief discussion of alternative means of on-island transportation, specifically of multi-passenger battery powered golf cart type vehicles
- Date for Joint City Council/Planning meeting tentatively set for May 04
- Issues for inclusion on the joint meeting agenda, such as the relationship between City Council and Planning Commission members

Council recessed at 9:50 a. m.

Council reconvened at 10:00 a. m.

### **OLD BUSINESS**

Mayor Denham asked Vice Mayor Johnston if she would continue working on with Lake Okeechobee issues.

Discussion ensued regarding Mayor Denham working on basin issues, fertilizer issues and Vice Mayor Johnston dealing with Lake Okeechobee issues, agencies would look to speak with the Mayor, anyone wanting information or interview would be directed to the Vice Mayor, main reason to focus on the release schedule last year was a decision needed to be made, and find a way to meet all issues and bring ideas together.

## **CITY MANAGER**

### **Informational Items**

#### **Presentation by Ashley and Brown, CPA for the audit and financial statements for FY 2006**

Mr. Jeff Brown gave the following report:

- Independent report given was in perfect order
- Debt coverage – in compliance with all bond requirements

Discussion ensued regarding the annual debt service just under \$3.4 million dollars

- Total net assets \$27 million
- Total bond assets \$20 million

Ms. Lynch stated that payments for debt of the sewer system must be held apart.

- Total net assets \$45 million
- Just under \$11 million unrestricted assets
- No noted material weakness
- City complied with all requirements to major federal awards programs
- Management letter comments already addressed

Ms. Lynch asked Council to review the following:

- Transmittal letter
- Comparison of net assets and activities
- Statistical Section format change under the new statute

#### **Distribution of status report of Neighborhood Commercial regulations to enable mixed commercial/residential use for discussion May 15, 2007**

Mayor asked that discussion be delayed until later in the year. He further stated that the Town Center district was much more important.

Bob Duffy, Planning Director spoke to the following:

- Issue of mixed use
- Issue of current zoning at the intersection of San-Cap Road and Sanibel Bayous
- Issue of converting commercial zoning that governs land use in the 3 outlying commercial centers to a more neighborhood serving commercial mixed use
- Part of the Zoning-in-Progress and basis for the commercial zoning ordinance adopted on February 20, 2007
- Planning Department recommended addressing the outlying commercial areas at a later date and focus on the key issues of the commercial district
- Direction of Council was the report the issues as 3 parts and prepare the first report
- Each report fairly basic and provide early ideas and obtain direction from Council
- No issues facing the 3 outlying areas
- Core of work program would be to continue to pursue to re-development program involving Periwinkle Way west, and Town Center District

He explained that when Council adopted the Commercial zoning ordinance in February they asked that staff prepare a report for converting the general commercial districts to neighborhood commercial districts.



# City of Sanibel

Planning Department

## MEMORANDUM

DATE: April 25, 2007

TO: Judie Zimomra, City Manager

FROM: Robert J. Duffy, AICP, Planning Director

SUBJECT: **Commercial Zoning District Amendments**  
- **Preliminary Report on Alternative Amendments to Address Mixed Commercial and Residential Development**

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On February 20, 2007, City Council adopted Ordinance No. 06-022 that amended the Land Development Code's commercial zoning regulations. The amendments addressed a number of important zoning issues facing Sanibel and for the first time established the following for the General Commercial (GC), Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts: Statements of purpose consistent with the Sanibel Plan; Revised regulations supporting the retention and improvement of island serving businesses; Definition and conditional use regulations for formula retail uses; Maximum building and unit size and store frontage regulations; and architectural, site planning and land use compatibility standards.

In addition to adopting the revised commercial district regulations, City Council also directed the Planning Department to further study the following three additional issues:

1. Alternative zoning approaches to enable commercial and residential Mixed Use development.
2. Potential zoning alternatives for the property located at the southwest corner of Sanibel Captiva Road and Sanibel Bayous Road which today is zoned General Commercial (GC).
3. Alternative zoning approaches for converting the existing three outlying General Commercial (GC) districts located at eastern Periwinkle Way, Rabbit Road and Sanibel Captiva Road to neighborhood serving commercial uses.

The enclosed initial report focuses on several alternative zoning approaches the City could pursue to enable mixed commercial and residential uses within the three existing commercial zoning districts. The report includes the following sections: Definition of mixed uses; Existing inventory of commercially zoned mixed commercial and residential uses and structures; Existing Land Development Code regulations pertaining to mixed use; Sanibel Plan recommendations that pertain to mixed commercial and residential use; and alternative zoning approaches consistent with the Sanibel Plan.

The Planning Department looks forward to reviewing the enclosed report with the City Council and the Planning Commission.

C: City Council  
Planning Commission  
Planning Department



## **Alternative Zoning Approaches Mixed Commercial and Residential Uses**

May 2007

### **Introduction**

On February 20, 2007, City Council adopted Ordinance No. 06-022 amending the Land Development Code's (LDC) commercial zoning regulations. The amendments addressed a number of important zoning issues facing Sanibel and for the first time established the following for the General Commercial (GC), Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts: Statements of purpose consistent with the Sanibel Plan; Revised regulations supporting the retention and improvement of island serving businesses; Definition and conditional use regulations for formula retail uses; Maximum building and unit size and store frontage regulations; and Architectural, site planning and land use compatibility standards.

In addition to adopting the revised commercial district regulations, City Council also directed the Planning Department to further study the following three additional issues:

1. Alternative zoning approaches to enable commercial and residential Mixed Use development.
2. Potential zoning alternatives for the property located at the southwest corner of Sanibel Captiva Road and Sanibel Bayous Road which today is zoned General Commercial (GC).
3. Alternative zoning approaches for converting the existing three outlying General Commercial (GC) districts located at eastern Periwinkle Way, Rabbit Road and Sanibel Captiva Road to neighborhood serving commercial and mixed use districts.

The following initial report focuses on several alternative zoning approaches the City could pursue to enable mixed commercial and residential uses and structures within the three existing commercial zoning districts. The report includes the following sections: Definitions of mixed use development and structures; Existing inventory of commercially zoned mixed commercial and residential uses and structures; Existing Land Development Code regulations

## Plan for Commercial Development

...

Continue to seek alternatives to commercial development on Periwinkle Way by monitoring the feasibility of the incentives contained within the development regulations.

Reduce the potential for future commercial development by providing developers with an incentive to develop commercial parcels as residential, providing that the residential development is consistent with the purpose and objectives of the *Sanibel Plan* and is consistent and compatible with surrounding land uses and furthers the objectives of the *Sanibel Plan*.

The limited outlying locations in the Commercial District, at the east and west ends of the island, should be reserved for commercial uses that serve the surrounding residential areas. Residential uses should be permitted and encouraged in the form of mixed-use development. Residential uses that replace existing commercial uses should be permitted only when the neighborhood will not be significantly negatively impacted by the loss of the commercial uses.

NOTE: Underlined text is language proposed to be added to the *Sanibel Plan* by the pending EAR-based Amendment to the Plan. ~~Struck-through text~~ is language proposed to be deleted from the *Sanibel Plan* by the pending EAR-based Amendment to the Plan

### 5. Alternative Mixed Use Zoning Approaches

The following is a summary of four preliminary alternative zoning approaches that will be considered as work proceeds with the formulation of alternative neighborhood commercial zoning regulations and the Periwinkle Way West commercial district plan. Each preliminary zoning approach responds to the goals, policies and recommendations of the *Sanibel Plan*.

To illustrate the application of each preliminary alternative mixed residential and commercial zoning approach, the Planning Department has selected the approximately 9.8 acre Nave property located at 2240 – 2250 Periwinkle Way. Attachment 2 provides a basic layout of existing site conditions and a profile of pertinent site characteristics. The Nave property is currently a split zone property with 5.4 acres of frontage zoned for Town Center General (TCG) commercial uses and the rear 4.2 acres zoned for residential uses. The mixed use parcel contains approximately 16,900 square feet of commercial floor area and 3 single family residential dwelling units.

It should be noted that each of the preliminary zoning approaches outlined below will require further study to determine how full compliance with existing parking, landscaping, lot coverage, dimensional requirements and other applicable zoning standards can be achieved. Each of the preliminary alternatives presented maintain the permitted intensity of commercial floor area enabled by the commercial zoning districts and the prevailing residential density permitted by the adopted Development Intensity Map. Several of the alternative mixed use zoning

approaches will likely require various companion zoning amendments to address a wide array of site planning, design and environmental objectives and to insure full compliance with the Sanibel Plan.

**Alternative 1: Maintain Current LDC Combined Residential and Commercial Regulations**

Under the current LDC regulations there are three basic mixed residential and commercial use options as applied to the Nave property:

Option 1: The frontage of the property could be developed for 28,000 sq. ft. of commercial floor area with no residential dwelling units. The rear portion of the parcel could be developed at a residential density of 7 dwelling units.

Option 2: Same as Option 1, except that the total permitted commercial floor area could be reduced by 1,000 square feet for each market rate residential unit introduced. For example, the parcel's frontage could be developed for 20,000 sq. ft. of commercial floor area and an additional 8 market rate residential units above the commercial floor area.

Option 3: Same as Option 1 or 2 but with the introduction of increased residential density to permit Below Market Rate Housing (BMRH) as either free standing residential construction or as part of mixed residential and commercial structures.

Commercial floor area within all three of the above options would be limited to the frontage of the parcel which is zoned for TCG commercial uses.

**Alternative 2: Amend LDC Sec. 86-1 to permit a Unified Development Plan for Mixed Commercial and Residential Uses on a Split Zoned Parcel Subject to Conditional Use Approval.**

This alternative would maintain the permitted commercial floor area and residential development intensity defined by the LDC and Sanibel Plan. However, subject to conditional use review and approval, the permitted commercial and residential uses could be planned in a unified manner regardless of the commercial zoning boundary which currently divides a property.

While specific minimum lot size, setback, buffer yard, parking, lot coverage and environmental protection and design standards will be necessary to insure overall neighborhood compatibility, this alternative could achieve a number of important objectives consistent with the Sanibel Plan including: enable mixed residential and commercial land uses to minimize impervious surface coverage associated with independent and multiple single use structures and separate on-site parking; establishment of greater buffer areas between a unified mixed use development site and residential neighborhoods; conservation of larger contiguous habitat and open space areas; vehicular trip reductions due to the concentration of residential and commercial uses; and the potential for

environmentally sensitive "green" architectural design options within the LDC's building height and massing limits.

This preliminary alternative could also include BMRH construction as part of the required conditional use permit application to create a unique mixed use project comprising commercial floor area and both market rate and BMRH units. When applied to the Nave property, this alternative would permit a site plan that would eliminate the segregated commercial and residential building forms, as illustrated by the existing site layout that is part of Attachment 2. This alternative would permit a total of 28,000 sq. feet of commercial floor area and a minimum of 7 market rate residential units organized as a true mixed use complex within a highly pedestrian oriented environment with the potential for a significant reduction in impervious surface coverage due to shared on-site parking and the reduction of the number of single use structures. Rather than enabling a fragmented landscape and open space plan, a larger and more contiguous open space plan could be established. Again, a true diversity of dwelling unit types composed of market and BMRH housing could be provided consistent with the Sanibel Plan.

**Alternative 3: Amend LDC Sec. 126-87 to Encourage Mixed Residential and Commercial Uses Without a Reduction in Permitted Commercial Floor Area**

This preliminary alternative would amend Subsection 126-87 by eliminating the requirement for a 1,000 sq. ft. reduction in commercial floor area for each permitted residential dwelling unit. This alternative, subject again to further study and the possible amendment of related dimensional, parking and other development standards, would provide a basic incentive to enable an economically viable and appropriately designed mixed use redevelopment within the required commercial and residential development intensities and building height and massing limitations established by the LDC and Sanibel Plan. This revision to the LDC could solely focus on the creation of BMRH units or at least require that the redevelopment project's residential component commit at least 20% of the permitted dwelling units as part of the City's BMRH program. This alternative would also require conditional use approval subject to various site planning, design and environmental standards.

This alternative, again subject to conditional use approval, would enable redevelopment of the Nave property to include: 28,000 square feet of commercial floor area; market rate residential units; and 20% committed to BMRH units. This preliminary alternative could also include a companion conditional use permit application to increase the overall number of BMRH units while maintaining the number of permitted market rate units.

**Alternative 4: Amend LDC Article XVI. Planned Unit Development to Create A New Division 4. Mixed Residential and Commercial Development**

Article XVI. Planned Unit Development of the LDC provides an opportunity to consider establishing a new Division 4. Planned Mixed Use District to support implementation of the Sanibel Plan. A Planned Mixed Use District could be

Discussion ensued regarding an understanding that 1) if in the course of Planning Commission deliberation the liaison should come to Council regarding the direction of said discussion, 2) liaison should give a significant progress report, and 3) protocol on major items when Council gave parameters of Planning Commission discussion, not a good use of time to intervene in ongoing small matters, each body could request a joint meeting, and Sanibel Plan should supersede everything else when making decisions.

Public Comment:  
None.

Discussion ensued regarding reversal of a decision not a personal thing, Council had different functions, concern that both bodies depend heavily on staff, live in a place that has limitation of land usage, reversal must be persuasive, liaison should not stay for the entire Council meeting if they have something else to do, at one time the Planning Commission liaison sat at the dais with Council, if there was something significant the item, topic or idea should be re-enforced, and Council asked Mr. Duffy to speak to issue coming before the Planning Commission.

Mr. Duffy spoke to:

- May 15 Council to authorize negotiations of Periwinkle Way west
- Would present opportunities for possible joint meetings and a number of public meeting
- Economic Analysis – 6-month effort and report to Council and the Planning Commission
- Mixed use – report provided to Council and defined give a number of potential defining actions
- Council voted to ask the Planning Department to place that work as a lesser priority

Mayor Denham explained that Council decided to focus on the Town Center district focus and give the outlying district issue as a lesser priority.

Discussion ensued regarding mixed use and Town Center the same thing, Town Center would provide mixed use, Mr. Duffy stated it was always an objective to have a mixed use component of the Town Center district, hired a Transportation Planner, read articles of negative comments of a trolley, trolley would overload the beach carrying capacity, Mr. Duffy stated the Interlocal Agreement for cooperation between the City, Lee Tran and Ding Darling for alternative transportation, Ms. Zimomra stated City Council was responsible for establishing policy, carrying capacity of beaches as a past goal, review the contract regarding the amount of vehicles the new bridges expect to bring to Sanibel, Ms. Zimomra stated that Council did not de-emphasize the carrying capacity, but other items were given priority, any Planning Commission goals that Council should know about, provide discussion from Planning Commission to City Council, should discuss green issues and solar power, using recycle water on golf courses, City recycles, limited amount of re-use water, requiring businesses and condo to recycle, and Ms. Zimomra stated that Council had adopted an ordinance for mandatory recycling for condos.

Public Comment:  
Charles Emerson spoke to setting an example with City-owned property.

Jane Picker requested clarification of mixed use and a response that the Town Center was a priority for City Council.

Mr. Duffy stated there were several potential amendments to the Sanibel Plan, the Town Center plan was to provide implementation of the Sanibel Plan and further revise commercial regulations, and provide direction how re-development would occur as it would apply to work force housing and market rate housing with prescribed densities. He further stated the report defines the Town Center and includes several large parcels.

Discussion ensued regarding the Town Center District the top priority, in the past there was an appraisals done of the Knave property, definition was part of the RFP and graphic that defined the area, including today that were zoned for Town Center General and Town Center limited zoning and part of that stems from the existing Sanibel Plan, parcel of property change hands, Council asked to complete work within 9 months, would an application be denied prior to changing the code, Mayor Denham answered no, currently working with a property that would have mixed-use, Town Center zone had not began after 6-months, put mixed use on a Council agenda, Ms. Zimomra stated that the approval of a contract negotiations and the Zoning-in-Progress resolution was on the Tuesday, May 15 Council meeting, she further stated that there was a statutory process for the RFQ process, and contract negotiations.

- n. Reject bid received from Norstar Construction, Inc. in the amount of \$126,065 for the Chamber of Commerce restroom upgrade

Mayor Denham made a motion, seconded by Councilman Ruane, to approve Consent Agenda items, (a), (d), (e), (f), (i), (k), (l) and (n).

The motion carried.

- c. Award Casa Ybel Shared Use Path widening contract to Florida Paving and Landscaping, Inc., in the amount of \$83,100.10 and authorize the City Manager to execute the contract (this project is fully funded by an Economic Development Administration grant work to be completed prior to October 01, 2007)

Public Comment

Doug Dietrich spoke to the maintenance of paths and that last year maintenance was not up to standard.

Mr. Gates Castle, Public Works Director spoke to there being issues with the quality of the work, staff found work sub-standard and work was re-done. He further stated that objectives needed to be specific for future work being completed.

Discussion ensued regarding thickness of asphalt, grass growing through asphalt, treating with herbicide for nut grass, improving water drainage in front of Jerry's, Mr. Castle answered that there was a 3 parts to an economical grant, 1) swale in front of Jerry's completed; 2) Casa Ybel Shared Use Path widening, not completed and 3) separation of Shared Use Path on Periwinkle Way between Meridian and Dunlop Road was completed.

Vice Mayor Johnston made a motion, seconded by Councilman Jennings, to approve the item.

The motion carried.

- j. Authorize the Planning Department to negotiate a professional services contract with Wallace Roberts & Todd, LLC to perform specific planning, design and zoning services associated with the preparation of the Periwinkle Way, Palm Ridge Road, Tarpon Bay and Dunlop Road District Plan as recommended by the Sanibel Plan.

Vice Mayor Johnston thanked staff for the supplemental material and ask Mr. Duffy to comment on the scope of work.

Mr. Duffy, Planning Director spoke to the following:

- Asking Council to authorize to proceed to negotiate a contract
- Come back to Council with milestones
- Grow out of joint City Council/Planning Commission meetings
- Funds appropriated to move forward with district planning effort
- December, 2007 Council authorized the release the Request for Proposal included 19 objectives
- 7 qualified proposals received
- Proposals evaluated
- 3 chosen and Wallace Roberts and Todd, LLC chosen
- Work to be done in phases
- Identify earlier steps or implementation items
- Defining focus areas within the large district
- Work program and budget back to Council

Discussion ensued regarding the commercial district reviewing how land use would be determined for small locally-owned businesses, Mr. Duffy spoke to the first phase would be to identify a series of parcels to serve as focus areas throughout the remaining process, identify strategies, at least 3 or 4 target/focus areas, district plan provide support, area of focus Dunlop Road to Palm Ridge and Tarpon Bay Road, fund the plan, but not development in 3 or 4 months provide Council with an architectural vision.

#### Public Comment

Mickie Kaplan spoke to major piece of property for sale and interested in development.

David Bath spoke to citizen interest in the project and would Council be issuing a Zoning-in-Progress.

Darla Letourneau spoke to the importance of this plan.

Vice Mayor Johnston made a motion, seconded by Councilman Ruane, to approve the item.

The motion carried.

Council recessed at 12:00 p.m.

Council reconvened at 1:00 p. m.

## **OLD BUSINESS**

### **Water Quality Issues**

#### **Reports from City Councilmembers**

Councilman Jennings reported that Sanibel citizens met with Charles Duaray regarding water quality challenges. He stated that he would be meeting with the Attorney General in the near future.

Discussion ensued regarding approaching the Attorney General, provide information to the Attorney General and an understanding of water quality problems, Director Sole told that funds for land purchase was a high priority and Council should use the water quality issues paper when speaking with elected officials.

Mayor Denham gave the following report:

- Lower West Coast Watershed Committee making progress
- Satisfied fertilizer industry with fertilizer legislation
- Sub-committee approved a wastewater sewage treatment resolution
- Lee County put \$13 million aside to upgrade treatment plants on the Caloosahatchee River
- Regional Planning working to find grants to fund the wastewater sewage treatment plant resolution within the 6 counties of southwest Florida

Discussion ensued regarding Councilman Jennings and residents speaking with Charles Duaray on the C-43 topic, several governmental entities working on their own fertilizer legislation, and Mayor contacting governmental entities across the state on fertilizer.

#### **Staff Report**

#### **Army Corps of Engineers position regarding flow way South**

Dr. Loflin reported the following:

- Spill way from the Hubert Hoover Dike as an alternative of raising the dike so no water escape with outlets to the east and west and would connect to the Northern Everglades Restoration project
- Cost analysis of restoration project, dike repair, flow way and spill way
- Plan 6 study of a flow way south from Lake Okeechobee



# City of Sanibel

Planning Department

## MEMORANDUM

DATE: May 2, 2007

TO: Judie Zimomra, City Manager

FROM: Robert J. Duffy, AICP, Planning Director

SUBJECT: **Periwinkle Way, Palm Ridge Road, Tarpon Bay Road and Dunlop Road District Plan**

- **Consultant Team Recommendation**
- **Authorization to Proceed with Contract Negotiation**

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On behalf of the City's interdepartmental consultant proposal evaluation and interview team (See Attachment 1) I am recommending that City Council authorize the Planning Department to proceed with negotiating a contract with Wallace Roberts & Todd, LLC (WRT) and Real Estate Research Consultants, Inc. (RERC) to perform professional planning, design and zoning services necessary to complete the Periwinkle Way, Palm Ridge Road, Tarpon Bay Road and Dunlop Road district plan.

Previously, City Council reviewed and approved the district planning objectives and authorized the release of the Request for Proposals (RFP). Seven qualified firms and teams submitted proposals. Based on the results of the initial proposal evaluation and ranking process (See Attachment 2, Criteria for Proposal Evaluation), three teams were selected for interviews. At the conclusion of the interview process, the three teams were again evaluated and ranked. The WRT and RERC team received the highest ranking.

The Florida based team of WRT (Coral Gables) and RERC (Orlando) brings an impressive and uniquely qualified range of planning and related experience to this important project. WRT's long term involvement with the City of Sanibel includes preparation of the 1976 Sanibel Plan and facilitation of the 1996 community based process that created the Sanibel Vision Statement. In addition, WRT has successfully completed over 20 similar district planning efforts for communities in Florida.

RERC has teamed with WRT to insure that the planning effort will not only be responsive to the island's community character, natural environment and carrying capacity but also to insure that the plan's recommendations are financially and fiscally sound and will sustain the island's unique and environmentally based economy. William Owens, President and Chief Executive Officer of RERC, prepared the original market and economic projections for the commercial district element of the Sanibel Plan. Mr. Owens and RERC have extensive experience in advising communities in Florida regarding market conditions, economic forecasts, fiscal impacts and strategic redevelopment planning strategies.

The complete proposal submitted by the team of WRT and RERC is available from the Planning Department. Also, copies of the RFP, all consultant proposals, and the final ranking and scoring documentation are available from the Planning Department.

With City Council's authorization to proceed with contract negotiation, the Planning Department will commence this effort and if a successful contract can be negotiated within the budget previously appropriated by City Council as part of the Planning Department's FY2006 – 2007 budget, a recommended contract and complete scope of work will be presented to City Council on June 19, 2007.

C:      City Council  
         Planning Commission  
         Planning Department  
         Proposal Evaluation and Interview Team  
         Wallace Roberts & Todd, LLC  
         Real Estate Research Consultants, Inc.

## **ATTACHMENT 1**

### **Periwinkle Way, Palm Ridge Road, Tarpon Bay Road And Dunlop Road District Plan**

#### **Interdepartmental Proposal Evaluation and Interview Team**

**Merribeth Farnham - Farnham & Associates, Inc.  
Gates Castle - Public Works Director/City Engineer  
Jim Isom – Administrative Services Director  
Renee Lynch – Finance Director  
Robert J. Duffy, AICP – Planning Director  
Kenneth Pfalzer – Deputy Planning Director  
Roy Gibson, AICP – City Planner**

## ATTACHMENT 2

### Periwinkle Way West Commercial District Plan RFP

#### Criteria for Proposal and Interview Evaluation

The successful Firm or Team will be selected based in part on the completeness and quality of the proposal submitted to the City of Sanibel. Firms or Teams may be requested to give an oral presentation after submission of a proposal should the City of Sanibel find it necessary.

**Evaluation Criteria:** Submittals will be evaluated and scored on the following criteria:

| <b>Evaluation Criteria</b>  | <b>Points Assigned</b> |
|---|------------------------|
|   |                        |
| <b>Completeness and Thoroughness of Proposal</b>                                      | <b>5</b>               |
| <b>Experience of Firm or Team</b>   | <b>10</b>              |
| <b>Experience with Comparable Projects</b>  | <b>10</b>              |
| <b>Demonstrated Knowledge of Sanibel Plan, Land Development Code and City Charter</b> | <b>20</b>              |
| <b>Responsiveness of Scope of Work to RFP Objectives</b>                              | <b>25</b>              |
| <b>Approach to Community Participation</b>  | <b>20</b>              |
| <b>Time Frame for Completion of Work</b>  | <b>10</b>              |

Evaluation and ranking of proposals will be conducted in the Sunshine with appropriate public notice. The City will negotiate a contract with a Firm or Team based on the results of the evaluation and following a presentation to and recommendation by City Council. The resulting contract shall be subject to review and approval by City Council. The award shall be made to the responsible Firm or Team determined to be the most advantageous to the City taking into consideration the objectives and evaluation criteria set forth in the RFP.



# MEMORANDUM

**DATE:** May 15, 2007  
**TO:** Sanibel City Council  
**FROM:** Judie Zimomra, City Manager  
**SUBJECT:** Goals Matrix

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Please find attached a DRAFT Matrix developed by staff in an effort to distill and meld the previously submitted individual goals. If you have any questions this evening, I can be reached on my cell phone at (239) 770-0013.

Thank you.

JAZ/cjm

xc: Executive Staff



**City of Sanibel  
City Council Goals  
Fiscal Year 2007-2008  
DRAFT**

| <b>AGGRESSIVELY CONTINUE EFFORTS TO IMPROVE WATER QUALITY-FEDERAL/STATE/REGIONAL/LOCAL</b>   | <b>CONTINUE REDEVELOPMENT EFFORTS</b>   | <b>PROTECT ENVIRONMENT BY IDENTIFYING CARRYING CAPACITY</b>  | <b>BROADCAST CITY COUNCIL MEETINGS VIA INTERNET</b>         | <b>FINANCIAL SECURITY</b>  |
|--|---|--|---|--|
| <p><b>Stay intimately involved with all organizations and political forces to minimize Lake Okeechobee releases including:</b></p> <ul style="list-style-type: none"> <li>• Release Schedule</li> <li>• Water Quality C-43</li> <li>• CERP Projects</li> <li>• Additional Storage</li> <li>• Restore water flow south to Everglades</li> </ul> <p><b>Reduce urban development nutrient releases into Caloosahatchee River by:</b></p> <ul style="list-style-type: none"> <li>• Accelerate establishment TMDL's for Lake Okeechobee, the Rivers, and Estuary</li> <li>• Implement programs to reduce urban nutrient pollution to our waterways including releases on-island such as removing package plants</li> <li>• Investigate strategies to remove excess nutrient releases from golf courses</li> <li>• Fertilizer, Wastewater, Septic Systems, and Stormwater Runoff in collaboration with the six counties of SW Florida</li> <li>• Implement strategies to reduce nutrient releases from Sanibel Sewage Treatment Facility</li> </ul> <p><b>Develop an Algae Management Plan by October 1, 2007</b></p> <ul style="list-style-type: none"> <li>• The plan will begin to remove red drift algae from our waters, preventing regeneration of red drift algae that leaves deposits on beaches prior to such deposits occurring. The Plan will utilize environmentally safe techniques including evaluation of water harvesting to remove accumulations at edge of water and beach.</li> </ul> | <p><b>Plan for the commercial district of Dunlop Road to Palm Ridge Road and Tarpon Bay Road area by:</b></p> <ul style="list-style-type: none"> <li>• Developing a vision for central Commercial District of the Island. The vision will include concepts and philosophies compatible with Sanibel's unique character of the island and include mixed-use architecture, bicycle and pedestrian friendly area, restaurants with outside dining, local serving commercial and retail use enterprises and provision of lower cost workforce housing and serve as the framework for future development proposals.</li> </ul> <p><b>Develop a redevelopment policy for all non-conforming properties by:</b></p> <ul style="list-style-type: none"> <li>• Establishing a redevelopment policy for non-conforming properties, both residential and commercial, that will allow the owners to develop and/or become a conforming property without the loss of square footage permitting owners the opportunity to enhance their property without increasing density. Within the same spirit expressed in the Charter Amendments wherein, if at all possible, owners would not lose assets/value as a result of build back.</li> </ul> | <p><b>Protect Environment by Identifying Carrying Capacity by:</b></p> <ul style="list-style-type: none"> <li>• Determining methods to identify island (Beach, road, shared-use path, natural preserve) carrying capacity in order to develop viable methods to enable visitors and residents to enjoy the island while protecting the environment that is the base for our economy</li> </ul> | <p><b>Broadcast City Council meetings via internet.</b></p> | <p><b>Explore methods to secure necessary funding, specifically:</b></p> <ul style="list-style-type: none"> <li>• Explore methods to secure the necessary funding that will fund the plan to eliminate red drift algae from our waters and beaches.</li> <li>• Adopt a Shared-use plan that will increase safety by widening paths and creating alternative and additional paths.</li> </ul> |

- Implement programs to reduce urban nutrient pollution to our waterways including releases on-island such as removing package plants
- Investigate strategies to remove excess nutrient releases from golf courses
- Fertilizer, Wastewater, Septic Systems, and Stormwater Runoff in collaboration with the six counties of SW Florida
- Implement strategies to reduce nutrient releases from Sanibel Sewage Treatment Facility

**Develop an Algae Management Plan by October 1, 2007**

- The plan will begin to remove red drift algae from our waters and beaches, preventing regeneration of red drift algae that leaves deposits on beaches prior to such deposits occurring. The Plan will utilize environmentally safe techniques including evaluation of water harvesting to remove accumulations at edge of water and beach.

~~Explore methods to secure the necessary funding that will fund the plan to eliminate red drift algae from our waters and beaches.~~

Council agreed.

Ms. Zimomra spoke to the next goal of re-development as follows:

- Vision to develop the commercial area (Dunlop Road, Periwinkle Way)
- Develop a redevelopment policy for nonconforming properties both residential and commercial to become a conforming property that would not decrease value

Discussion ensued regarding mixed use architecture insert a comma, change sentence regarding redevelopment policy and nonconforming properties, and Council may want to move to a higher priority.

**Public Comment**

Louise Johnson spoke to her concern of the last part of the redevelopment policy, the last sentence may result in residents losing density.

Discussion ensued regarding policy may need further review, bottom part of paragraph would be deleted, Council may review further, and Council trying to establish a framework or guideline for property renovation.

Darla Letourneau suggested the Carrying Capacity be addressed as well as the Causeway Issue and Shared Use Master Plan.

Hazel Schuller – Read page 235 of the new Sanibel Plan. She stated that the carrying capacity needs to be prioritized before redevelopment.

Discussion ensued regarding the redevelopment of hotels and motels doesn't mean there will be increased density, questions from residents, need to eliminate last paragraph, only had certain number of units determined for the island, and beaches over utilized.

Ms. Zimomra reviewed the changes to the 2<sup>nd</sup> goal redevelopment with Council as follows.

**CONTINUE REDEVELOPMENT EFFORTS**

**Plan for the commercial district of Dunlop Road to Palm Ridge Road and Tarpon Bay Road area by:**

- Developing a vision for the central Commercial District of the Island. The vision will include concepts and philosophies compatible with Sanibel's unique character of the island and include mixed-use, island-compatible architecture, bicycle and pedestrian friendly area, restaurants with outside dining, local serving commercial and retail use enterprises and provision of lower cost workforce housing and serve as the framework for future development proposals.

**Develop a redevelopment policy for all non-conforming properties by:**

- Establishing a redevelopment policy for non-conforming properties, both residential and commercial, that will allow the owners to develop and/or become a conforming property.

Council agreed to the changes.

Ms. Zimomra reviewed the 3<sup>rd</sup> goal - Protect the environment by Carrying Capacity.  
 Sanibel City Council Goals Workshop  
 May 16, 2007



**SANIBEL CITY COUNCIL  
2006-2007**

**GOALS**

**(NOT IN PRIORITY ORDER)**

**Approve and Implement a Redevelopment Work Plan**

RFP for Periwinkle Way West Commercial District planning effort completed and reviewed of proposals completed and interviews scheduled for 042707.

RFP for Updated Sanibel Economic Analysis completed and reviewed by City Council on March 20, 2007. RFP released.

Update of Single Family and Duplex Land Use Inventory underway.

Update of vacant Land Inventory underway.

**Protect the Quality of Sanibel's Water by completing installation of the Sanitary Sewer System, investigate the feasibility of a Storm Water Utility, and Developing a Fertilizer Control Program**

Phase 3B of the sanitary sewer system expansion program is complete except for restoration issues. It is estimated that there are less than 100 existing housing units or lots without access to a centralized sewer system on the island. Phase 4 of the program, scheduled for FY 2008-2009, will address approximately half of these remaining units.

March 04, 1997, City Council rejected a staff recommendation to perform an in-house stormwater utility feasibility study. A copy of the memo to Council is attached for reference.



**SANIBEL CITY COUNCIL GOALS**  
**Master List of Potential Goals**  
**As submitted by Individual City Councilmembers**  
**Fiscal Year 2007-2008**

- **Improve Water Quality – Local**
  - Remove Red Algae nutrients from our beaches using the most environmental sensitive process in an attempt to break the drift algae growth cycle, considered by the scientific community to be an important step in the elimination of this problem.
  - Now that domestic fertilizer protection process is nearing completion, shift focus to investigation of excess nutrient releases from local golf courses.
  - Assess pollution releases from the islands package plants.
  - Assess nutrient releases from the Sanibel Sewage Treatment facility.
- **Determining methods to identify island (Beach, road, shared-use path, natural preserve) carrying capacity in order to develop viable methods to enable visitors and residents to enjoy the island while protecting the environment that is the base for our economy**
- **Redevelopment – Community Redevelopment/Town Center Planning**
- **Develop a redevelopment policy for all non-conforming properties**
  - We should try to develop a redevelopment policy for non-conforming properties, both residential and commercial, that will allow the owners to develop and/or become a conforming property without the loss of square footage.
  - The goal here is to permit redevelopment in order to allow the owner the opportunity to enhance their property without increasing density. It would be in the same spirit as expressed in the Charter Amendments wherein, if at all possible, owners would not lose assets/value as a result of build back.



**SANIBEL CITY COUNCIL GOALS**  
**Master List of Potential Goals**  
**As submitted by Individual City Councilmembers**  
**Fiscal Year 2007-2008**

➤ **Redevelopment**

- Plan for the commercial district of Dunlop Road to Palm Ridge Road and Tarpon Bay Road area
  - The intent being to provide more than just a plan but a vision of how the City would wish to see this central part of the island developed. This must include concepts and philosophies compatible with the unique character of the island.
  - The plan would include mixed-use architecture, pedestrian friendly area, restaurants with outside dining, local serving commercial and retail use enterprises and provision of lower cost workforce housing.
  - It would become a framework within which any future development proposals must fit.

➤ **Aggressively continue the efforts to ensure that practices outside of Sanibel do not further pollute our waters-fertilizer use, SFWMD emergency storage for excess Lake Okeechobee water, storm water run-off, septic pollution, CERP projects, Clean Water classification systems by state, etc.**

➤ **Broadcast City Council Meetings via internet**

➤ **Explore methods to secure necessary funding**

- Explore methods to secure the necessary funding that will permit us to aggressively develop the plans that will be required to eliminate the red drift algae from our waters and beaches.
- Adopt a Shared-use plan that will increase safety by widening paths and/or creating alternative/additional paths for residents and tourists.



**City of Sanibel  
City Council Goals  
Fiscal Year 2007-2008  
To be adopted June 5, 2007**

| <b>AGGRESSIVELY CONTINUE EFFORTS THROUGH EDUCATION, POLITICAL &amp; LEGAL METHODS TO IMPROVE WATER QUALITY—FEDERAL/STATE/REGIONAL/LOCAL</b>   | <b>CONTINUE REDEVELOPMENT EFFORTS</b>   | <b>PROTECT ENVIRONMENT BY IDENTIFYING CARRYING CAPACITY</b>   |   |
|---|---|---|---|
| <p><b>Stay intimately involved with all organizations and political forces to minimize Lake Okeechobee releases including:</b></p> <ul style="list-style-type: none"> <li>• Release Schedule</li> <li>• Water Quality C-43</li> <li>• CERP Projects</li> <li>• Additional Storage</li> <li>• Restore water flow south to Everglades</li> </ul> <p><b>Reduce urban development nutrient releases into Caloosahatchee River by:</b></p> <ul style="list-style-type: none"> <li>• Accelerate establishment TMDL's for Lake Okeechobee, the Rivers, and Estuary</li> <li>• Implement programs to reduce urban nutrient pollution to our water ways including releases on-island such as removing package plants</li> <li>• Investigate strategies to remove excess nutrient releases from golf courses</li> <li>• Fertilizer, Wastewater, Septic Systems, and Stormwater Runoff in collaboration with the six counties of SW Florida</li> <li>• Implement strategies to reduce nutrient releases from Sanibel Sewage Treatment Facility</li> </ul> <p><b>Develop an Algae Management Plan by October 1, 2007</b></p> <ul style="list-style-type: none"> <li>• The plan will begin to remove red drift algae from our waters and beaches, preventing regeneration of red drift algae that leaves deposits on beaches prior to such deposits occurring. The Plan will utilize environmentally safe techniques including evaluation of water harvesting to remove accumulations at edge of water and beach.</li> </ul> <p><b>Explore methods to secure the necessary funding that will fund the plan to eliminate red drift algae from our waters and beaches.</b></p> | <p><b>Plan for the commercial district of Dunlop Road to Palm Ridge Road and Tarpon Bay Road area by:</b></p> <ul style="list-style-type: none"> <li>• Developing a vision for the central Commercial District of the Island. The vision will include concepts and philosophies compatible with Sanibel's unique character of the island and include mixed-use, island-compatible architecture, bicycle and pedestrian friendly area, restaurants with outside dining, local serving commercial and retail use enterprises and provision of lower cost workforce housing and serve as the framework for future development proposals.</li> </ul> <p><b>Develop a redevelopment policy for all non-conforming properties by:</b></p> <ul style="list-style-type: none"> <li>• Establishing a redevelopment policy for non-conforming properties, both residential and commercial, that will allow the owners to develop and/or become a conforming property without the loss of square footage permitting owners the opportunity to enhance their property.</li> </ul> | <p><b>Protect Environment by Identifying Carrying Capacity by:</b></p> <ul style="list-style-type: none"> <li>• Determining methods to identify island (beach, road, shared-use path, natural preserve) carrying capacity in order to develop viable methods to enable visitors and residents to enjoy the island while protecting the environment that is the base for our economy.</li> <li>• Completing research cataloging the best practice strategies being implemented globally to protect carrying capacity of facilities and mitigate congestion.</li> <li>• Evaluate the options for enforcement of strategies to mitigate congestion and prepare a strategy of legal options to pursue.</li> </ul> | <p><b>Explore special</b></p> <ul style="list-style-type: none"> <li>• A<br/>sa<br/>al</li> </ul> |



**PLANNING DEPARTMENT FY2006-2007 WORK PROGRAM  
3<sup>rd</sup> QUARTER APRIL – JUNE 2007 REPORT**

April 2007

| <b>WORK PROGRAM<br/>PROJECTS AND PROGRAMS</b>        | <b>APRIL</b>  | <b>MAY</b>  |  |
|--|---|---|--|
| <b>Y06-07 Sanibel City Council Goals</b>             |   |   |  |
| <b>Development Planning</b>                          |   |   |  |
| Periwinkle Way West Commercial District Plan         | Consultant Team interviews to be conducted on April 27. | City Council considers interdepartmental interview team consultant recommendation on May 15. Authorization to proceed with contract negotiations. | Consu<br>approv                        |
| Update Environmentally Based Economic Analysis       | Proposals in response to RFP due April 27.              | Proposals evaluated and ranked.   | City Co<br>on Jun<br>Author<br>negotia |
| Residential Land Use Inventory and Analysis          |   | Preliminary single and two-family residential land use inventory completed.   | Final n<br>comple                      |
| Resort Hotel and Inn Land Use Inventory and Analysis |   |   | Invent<br>initiate                     |

# City Goals Fiscal Year 2006-2007

## **Goal Priority 1 – Improve Water Quality – Federal/State/Regional**

- a) Minimize Lake "O" release including:
  - Release schedule
  - Water quality C43
  - Additional Storage
  - Restore water flow south to Everglades
- b) Reduce urban development nutrient releases into Caloosahatchee
  - Accelerate establishment TMDL's for Lake "O", the Rivers and Estuary
  - Implement programs to reduce urban nutrient pollution to our waterways
  - Fertilizer, Wastewater, Septic Systems and Stormwater Runoff in collaboration with the six counties of SW Florida

## **Goal Priority 2 - Improve Water Quality - Local**

- a) Remove Red Algae nutrients from our beaches using the most environmental sensitive process in an attempt to break the Drift Algae growth cycle, considered by the scientific community to be an important step in the elimination of this problem
- b) Now that domestic fertilizer protection process is nearing completion, shift focus to investigation of excess nutrient release from local golf courses
- c) Assess pollution releases from the Islands package plants
- d) Assess nutrient releases from the Sanibel Sewage Treatment facility

## **Goal Priority 3 – Redevelopment**

Plan for the commercial district of Dunlop to Palm Ridge and Tarpon Bay Rd area

The intent being to provide more than just a plan but a vision of how the city would wish to see this central part of the island developed. This must include concepts and philosophies compatible with the unique character of the island.

The plan would include mixed use architecture, pedestrian friendly area, restaurants with outside dining, local serving commercial and retail use enterprises and provision of lower cost workforce housing

It would become a framework within which any future development proposals must fit



# PLANNING DEPARTMENT

## FY 2006-2007 Goals

### STATUS REPORT

| GOAL  | CURRENT STATUS  |
|---|---|
| <p>Goal #1</p> <p>Completion of the 2006-2007 Sanibel Plan.</p>             | <p>Current Status for Goal #1</p> <p>City Council adopted Transmittal Res. No. 07-036 on 3/6/07. Florida DCA review underway. EAR Based Amendments to Volumes 1 and 2 of Sanibel Plan printed and distributed 3/23/07.</p>  |
| <p>Goal #2</p> <p>Implementation of the 2006-2007 Sanibel Plan.</p>         | <p>Current Status for Goal #2</p> <p>Comprehensive amendments to LDC:</p> <ul style="list-style-type: none"> <li>- Commercial Zoning District regulations adopted by City Council on 2/20/07 (Ord. 06-022)</li> <li>- Emergency Electric Power Generator Regulations (Ord. 06-018)</li> <li>- Beach Club Definition and Regulations (Ord. 06-023)</li> </ul>                                  |
| <p>Goal #3</p> <p>Implementation of Redevelopment Planning Work Program</p> | <p>Current Status for Goal #3</p> <p>RFP for Periwinkle Way West Commercial District planning effort completed and reviewed by City Council on 11/21/06, 12/19/06, and 1/2/07. RFP released, review of proposals completed and interviews scheduled for 4/27/07.</p> <p>RFP for Updated Sanibel Economic Analysis completed and reviewed by City Council on March 20, 2007. RFP released.</p> |

| <b>GOAL</b>  | <b>CURRENT STATUS</b>  |
|--|--|
| <p>Goal #3 (Cont'd.)</p> <p>Implementation of Redevelopment Planning Work Program</p>                  | <p>Current Status for Goal #3 (Cont'd.)</p> <p>Update of Single Family and Duplex Land Use Inventory underway.</p> <p>Update of Vacant Land Inventory underway.</p>  |
| <p>Goal #4</p> <p>Provide Planning Services to the Gulf and Bay Beach Carrying Capacity Consortium</p> | <p>Current Status for Goal #4</p> <p>Initial research on National and Regional Carrying Capacity Analyses underway in support of preparing Scope of Work for professional services in FY '07-'08.</p> <p>Draft MOU with Lee Tran and J. N. "Ding" Darling National Wildlife Refuge prepared for City Council consideration in May 2007.</p>              |
| <p>Goal #5</p> <p>Provide Professional, Administrative and Technical Planning Services</p>             | <p>Current Status for Goal #5</p> <p>29 reports prepared for consideration by City Council and City Manager.</p> <p>21 Public Notices prepared.</p> <p>24 Staff Reports prepared for consideration by Planning Commission.</p> <p>3 Resolutions for Planning Commission Action.</p> <p>14 Planning Commission meeting minutes prepared and approved.</p> |

- Employees accruing a right to the benefit upon retirement
- GASB considered OPEB the same as a benefit
- In the past there was no requirement to recognize the matching of the cost and the City would record the benefit
- No cash cost for retiree because they pay 100% of the benefit
- Actuarial models show the true costs of the benefits
- Staff recommendation was to set up a trust fund
- The need for recording the liability of the cumulative difference of what was actuarially required on the City's balance sheet and would be contributed
- Ordinance would alleviate the issue

Ms. Zimomra stated that the City did not pay retirees health insurance, but give retirees that opportunity to purchase health insurance at the same rate of employees.

Discussion continued does not increase employee benefits, addressing an unfunded liability, do not understand why the City must use taxpayers money to set-up the trust fund, the need for a legal opinion for the interpretation of the law, what would happen if the City did not apply the standard, applicable beginning in 2008, Texas in litigation regarding the new rule.

Vice Mayor Johnston made a motion, seconded by Mayor Denham, to defer until Council receives a better legal understanding from governmental entities that have unfunded liabilities to comply with the ruling.

Mr. Cuyler stated that staff may want to speak with the auditors regarding the qualified opinion.

The motion carried.

## **CONSENT AGENDA**

Ms. Zimomra spoke Council pulled item (b) be pulled from a member of the audience. Vice Mayor Johnston pulled a, b, c, and j.

### **b. Confirmation of City Council Goals for Fiscal Year 2007-2008**

David Bath spoke to Council goals for the upcoming year, specifically the "Adopt a Shared-use plan that will increase safety by widening paths and creating alternative and additional paths. He spoke to the state having uniform standards for paths, but may not be applicable to Sanibel. He requested it be deleted.

- a. Approval of minutes – May 09, 2007 Joint City Council/Planning Commission Meeting, and May 16, 2007 Goals Workshop

Vice Mayor Johnston spoke to the May 16<sup>th</sup> minutes reflecting the elimination of the budget issues and deleted under redevelopment "without the loss of square footage permitting owners the opportunity to enhance their property."

Discussion ensued regarding areas not in the budget for certain funding, City Manager had staff working on the budge issues, and Ms. Zimomra asked that item (b) be deferred until later.

Council decided to vote on items (a) and (b) later after changes were made.

- c. Approval of a contract between the City of Sanibel and Wallace Roberts and Todd to perform specific planning, design and zoning services for the Periwinkle Way, Palm Ridge Road, Tarpon Bay and Dunlop Road district plan and authorize the City Manager to execute the agreement

Vice Mayor Johnston spoke to the need to have Council in-put on Phase A and the update of the scope for Phase 2.

Mr. Duffy stated that could be done. He further stated the work program was structured to allow for Council comment and a report would be built in as well as an item on an agenda for the scope of Phase 2.

Vice Mayor Johnston made a motion, seconded by Mayor Denham, to have Council in-put in Phase at the point of citizen input, and update the scope of Phase 2.

The motion carried.

**j. Authorize the Planning Department to negotiate a contract with Real Estate Research Consultants to complete professional services necessary to update the market, economic and land use analysis and assumptions supporting the Sanibel Plan and to present the draft agreement and scope of work to City Council on June 19, 2007**

Vice Mayor Johnston spoke to her concern of the economic assumptions for the island need to be a little different than mainland assumptions. She further spoke to decreased revenue streams and a component of how the economic assumption would be affected to maintain the economic vitality on the island. She further explained that there were a number of individually-owned shops and not becoming a retail chain business district and would like to see as part of the assessment to encourage business-owners to be viable. She also spoke to the grow of the economy and the need to look at the assumption of how to benefit the island workforce. Vice Mayor Johnston spoke to island income largely brought here by residents or visitors and include how to maintain an attractive place to bring income from elsewhere.

Discussion ensued regarding how not to have the income generated on island to other areas, but stay on island, the environment needed to be added to the assumption to show the trade off, concern of decreased revenue streams, should possibly hold off until the legislators make a determination of revenue streams, Ms. Duffy spoke to the structure of the agreement as the commercial planning agreement and could include the issues discussed.

Vice Mayor Johnston made a motion, seconded by Mayor Denham, to direct staff to bring a scope back to Council at the June 19<sup>th</sup> meeting.

The motion carried.

**g. RESOLUTION 07-074 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2007-072, AND PROVIDING AN EFFECTIVE DATE** (to return \$187,057 to the General Fund from the Hurricane Wilma Fund due to the Federal Government's (FEMA) decision to fund 90% of Hurricane Wilma recovery costs, an increase from the 75%. This action reduces the City's required funding of reimburseable recovery costs from 12.5% to 5.0%. In the General Fund, the \$187,057 is being appropriated to ending fund balance which will then be available for carry forward into fiscal year 2008)

**h. Authorize the City Manager to enter in to a contract with Playmore West, Inc., for Bowman's Beach improvements under the FRDAP Program and RESOLUTION 07-076 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2007-073; AND PROVIDING AN EFFECTIVE DATE** (to appropriate a \$10,000 grant from the Florida Department of Environmental Protection (FRDAP), DEP Agreement #F6281 dated September, 2005 for improvements to Bowman's Beach Park. The grant requires a 50%/50% City



# City of Sanibel

Planning Department

## MEMORANDUM

DATE: May 29, 2007

TO: Judie Zimomra, City Manager

FROM: Robert J. Duffy, AICP, Planning Director

SUBJECT: **Periwinkle Way West District Plan  
- Recommended Agreement and Scope of Services**

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On May 15, 2007, City Council authorized the Planning Department to proceed with negotiating an agreement and scope of services with Wallace Roberts & Todd, LLC (WRT) to perform professional services necessary to support the Periwinkle Way west district planning effort.

Enclosed for City Council's consideration is the final draft of the subject agreement and scope of services.

The scope of services, which is defined by Attachment A, has been structured to address the following objectives:

- During the initial two accelerated phases of work, that will be completed between June and September 2007, the following key tasks will be accomplished: an extensive assessment of district environmental, economic, market and physical conditions, opportunities and constraints; preliminary but highly illustrated set of three dimensional graphic products that will focus on the Nave and Bailey focus areas (see enclosed map); initial community based meetings and workshops with City staff, the Planning Commission, property owners, business owners, citizens and stakeholders; and a report outlining key conclusions, early implementation options and potential alternative next steps for consideration by City Council.
- While a four phased work program is defined by the scope of work, only the initial two phases of work have been assigned budgets for both direct and indirect costs. This strategic approach will enable City Council, at the conclusion of phase one and two, to review the initial draft report and recommendations and refine the specific tasks, time lines and budgets for the next appropriate phases or tasks as warranted.

Please let me know if you have any questions regarding the enclosed agreement and scope of services.

The Planning Department and representatives from the WRT team look forward to presenting the enclosed scope of services to City Council on June 5, 2007.

C: City Council  
Ken Cuyler, City Attorney  
Ken Pfalzer, Deputy Planning Director

**DRAFT**



# City of Sanibel

## **PERIWINKLE WAY DISTRICT PLAN**

### **AGREEMENT FOR PROFESSIONAL SERVICES**

This Agreement is entered into the date last below written between the **City of Sanibel, Florida** ("City") and **Wallace Roberts and Todd, LLC**, ("Consultant").

In consideration of the covenants set forth below, acknowledged by the City and Consultant to be sufficient consideration, the City and Consultant hereby agree as follows:

#### **1. SERVICES BY CONSULTANT**

Consultant shall perform the services described in the Scope of Work attached hereto as Attachment A. The City will issue separate Work Orders (See Attachment B) for each phase, task, or group of tasks, contained in the scope. Each work order will include a time of completion.

#### **2. PAYMENT**

Compensation under this Agreement shall be on a per task basis as shown in Table 1 (Task Breakdown and Budget) of Attachment A. These figures include all services and reimbursable expenses.

Consultant shall submit monthly invoices accompanied by a progress report for services performed in the previous calendar month based upon completed tasks.

If the services rendered do not meet the requirements of this Agreement, Consultant shall correct or modify the work to comply with this Agreement. City may withhold payment for such work until it meets the requirements of this Agreement. As specified in Section 6 below, the City's Planning Director shall advise the City Manager whether the services rendered meet the requirements of this Agreement.

**3. DISCRIMINATION AND COMPLIANCE WITH LAWS**

Consultant agrees not to discriminate against any employee or applicant for employment or any other person in the performance of this Agreement because of race, creed, color, national origin, marital status, sex, age, disability, or other circumstance prohibited by federal, state or local law or ordinance, except for a bona fide occupational qualification.

Consultant shall comply with all federal, state and local laws and ordinances applicable to the work to be done under this Agreement.

Violation of this Paragraph 3 shall be a material breach of this Agreement and grounds for cancellation, termination or suspension by City, in whole or in part, and may result in ineligibility for further work for City.

**4. TERM AND TERMINATION OF AGREEMENT**

This Agreement shall remain in effect until completion of the services authorized by all Work Orders issued by the City, unless terminated pursuant to this section.

This Agreement may be terminated by City with or without cause upon 15 days' prior written notice to Consultant, in which event all finished or unfinished documents, reports, or other material or work of Consultant pursuant to this Agreement shall be submitted to City, and Consultant shall be entitled to just and equitable compensation at the rate set forth in Paragraph 2 for any satisfactory work completed prior to the date of termination.

**5. OWNERSHIP OF WORK PRODUCT**

All data, materials, reports, memoranda and other documents developed and paid for under this Agreement whether finished or not shall become the property of the City, shall be forwarded to City in hard copy and in digital format that is compatible with the City's computer software programs, and may be used by City as it sees fit. City agrees that if it uses products prepared by Consultant for purposes other than those intended in this Agreement, it does so at its sole risk and it agrees to hold Consultant harmless therefore.

**6. GENERAL ADMINISTRATION AND MANAGEMENT**

The Planning Director, or written designee, subject to amendment of this Agreement, shall be the City's representative, and shall oversee and approve all services to be performed, coordinate all

communications between the Consultant and the City and review and approve all invoices, under this Agreement.

#### **7. HOLD HARMLESS**

Consultant shall protect, defend, indemnify and save harmless the City, its officers, employees and agents from any and all costs, claims, judgments or awards of damages, arising out of or in any way resulting from the negligent acts or omissions of Consultant, its officers, employees and agents in performing or providing services relating to this Agreement. The first ten dollars (\$10) paid to Consultant pursuant to this Agreement shall constitute separate consideration for this indemnification provision, and is hereby acknowledged to be sufficient consideration by Consultant.

#### **8. INSURANCE**

Consultant shall maintain commercial insurance as follows:

Automobile Liability, Commercial General Liability and Professional Liability as described in Attachment C.

#### **9. SUBLETTING OR ASSIGNING CONTRACT**

Neither City nor Consultant shall assign, transfer, or encumber any rights, duties or interest accruing from this Agreement without the express prior written consent of the other.

#### **10. FUTURE SUPPORT**

City makes no commitment and assumes no obligations for the support of Consultant's activities except as set forth in this Agreement.

#### **11. INDEPENDENT CONSULTANT**

Consultant is and shall be at all times during the term of this Agreement an independent consultant.

**12. EXTENT OF AGREEMENT/MODIFICATIONS**

This Agreement, together with attachments or addenda, represents the entire and integrated Agreement between the parties and supersedes all prior negotiations, representations, or agreements, either written or oral. This Agreement may be amended, modified or added to only by written instrument properly signed by both parties.

**13. NON-WAIVER OF BREACH**

The failure of the City to insist upon strict performance of any of the covenants and agreements contained herein, or to exercise any option herein conferred in one or more instances shall not be construed to be a waiver or relinquishment of said covenants, agreements or options, and the same shall be and remain in full force and effect.

**14. RESOLUTION OF DISPUTES, GOVERNING LAW**

Should any dispute, misunderstanding or conflict arise as to the terms and conditions contained in this Agreement, and in the event of any litigation arising out of this Agreement, the prevailing party shall be reimbursed for its reasonable attorney's fees from the other party. This Agreement shall be governed by and construed in accordance with the law of the State of Florida.

**IN WITNESS WHEREOF**, the parties have executed this Agreement as of \_\_\_\_\_,  
2007.

**CONSULTANT**

By: \_\_\_\_\_

Title: \_\_\_\_\_

\_\_\_\_\_  
Printed/Typed Name

**CITY OF SANIBEL, FLORIDA**

**CITY OF SANIBEL, FLORIDA**

**ATTEST:**

**BY:**

\_\_\_\_\_  
Pamela Smith, City Clerk

\_\_\_\_\_  
Mick Denham, Mayor

Date: \_\_\_\_\_

Date: \_\_\_\_\_

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Kenneth B. Cuyler, City Attorney

Date: \_\_\_\_\_

**FINANCIAL SUFFICIENCY APPROVED**

\_\_\_\_\_  
Renee M. Lynch, Finance Director

**ATTACHMENT A**  
City of Sanibel  
Commercial District Plan  
**Scope of Services**

**Introduction**

The overarching purpose of the Sanibel Commercial District Plan is to further the implementation of the Sanibel Plan and Vision Statement by providing a guide for private and public development and redevelopment decisions within the City's primary commercial area focused on the western portion of Periwinkle Way, Palm Ridge Road, Tarpon Bay Road and including the City's governmental, civic, cultural, historic and recreational complex situated along Dunlop Road.

The primary products of the Plan will provide a highly illustrated guide for the development of the Commercial District and will include:

- A Vision for the long term future character and quality of the Commercial District
- A refined land use plan for the District
- Design studies for key properties / focus areas within the overall study area
- A set of recommended modifications to the Land Development Code, including
  - Refinements to land use and development regulations
  - Additional site design, architectural, and landscape architectural guidelines for private development
- Early Action Items

**Scope of Services**

The following describes the work tasks to be completed and products to be provided for the Commercial District Plan. Through the proposed process, the consultant team and the City's staff, elected officials, stakeholders and citizens will interact cooperatively to develop a vision and Plan for the Commercial District.

The process of creating the Commercial District Plan gives balanced attention to issues of function, design and "place-making", consistent with the Sanibel Plan and Vision Statement, as well as to issues of public acceptance and effective implementation. It also encourages public involvement and treats residents, property and business owners, development interests, and citizens as partner stakeholders. It is a process that will conceive a vision-inspired plan, backed by a consensus of public opinion, and supported by effective incentives and regulatory consistency.

**PHASE 1: EXISTING CONDITIONS, OPPORTUNITIES AND CONSTRAINTS (June 5 – August 31)**

The purpose of this phase of work is to develop an understanding of the functional and physical conditions and context of the Commercial District Study area and real estate and development dynamics. In addition, stakeholder interviews will be conducted to gauge the community's sense of study area issues, problems, opportunities and goals and objectives for the Plan.

**1.1. Project Kickoff**

Over a 2 - 3 Day period WRT will initiate project kickoff activities, which will include an initial commercial district study area tour, and meetings with City's Project Director and representatives of City Departments, as well as key individuals identified by the Client—to accomplish the following:

**ATTACHMENT A**  
City of Sanibel  
Commercial District Plan  
**Scope of Services**

- Data Assembly: WRT will acquire from the City past and on-going plans, studies, reports, as well as recently adopted revisions/modifications of the City's commercial zoning. In addition, WRT will receive hard-copy and/or vector-based digital file base mapping of the City and commercial district area that may include, but is not limited to:
  - Land Use, Zoning, Property, Roadways, Vegetation, FEMA Flood Maps, Infrastructure/Utilities, Topography, Hydrology
- Assist the City's public relations consultant in identifying and producing initial public outreach methods and materials
- Confirm Commercial District 'Focus Areas,' identified in Map 1.
- Identify project milestones
- Identify key stakeholders
- Planning Commission meeting  
WRT will facilitate an initial meeting with the Planning Commission to discuss the planning process, milestones, deliverables, schedule and community outreach/engagement. In addition, WRT will receive input from the Commission regarding desired goals, objectives and outcomes of the planning process.
- Stakeholders Interviews  
The consultant will meet individually or in small focus groups with key stakeholders including, but not limited to, area property and business owners, prospective development interests, elected and appointed officials, residents, and others as may be identified by the City. The purpose of the interviews is Threefold: *first*, to identify the intentions/aspirations of stakeholders regarding the future use and character of the commercial district; *second*, to array interpretations and expectations for the desired outcome of the planning process; and *third*, to identify issues and challenges for which there will need to be focused consensus-building throughout the planning process.

**1.2 Review of Prior Plans, Studies and Data**

In this task WRT will review base information assembled by the City concerning the study area.

**1.3 Review of Existing Conditions**

WRT will review existing City plans and goals and policies as well as the mapped inventories and studies prepared by the City concerning physical, functional and aesthetic conditions within the study area. The range of conditions reviewed may include:

- Sanibel Plan
- City Council Goals
- Island Context
- Existing land uses and orientation
- Existing development density
- Activities / uses likely to remain
- Underutilized property / obsolescent uses

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Commercial District Plan  
**Scope of Services**

- Regulatory / environmental / functional constraints
- Planned and proposed public projects
- Planned and proposed private development projects
- Existing and potential access to habitats and greenways
- Functional assessment of existing site development, including building placement and orientation, property auto access, parking location and functionality, pedestrian and bicycle circulation connectivity, etc.
- Aesthetic assessment of existing architectural, landscape and conservation area character, identity features, neighborhood edge conditions, streetscape character along Periwinkle Way, Palm Ridge Road, Dunlop road and Tarpon Bay Road, etc.
- Existing vehicular circulation
- Existing infrastructure and Utilities

**1.4 Coordination with Economic Study**

WRT will coordinate with the City's economic consultant to incorporate their Market and Economic Study findings into this Commercial District Plan. WRT will consider for incorporation in the District, a "palette" of specific uses consistent with the Sanibel Plan and as identified in the Economic consultant's analysis of Sanibel's environmentally-based economy and market. Prospective uses may include:

- Residential
  - Market Rate
  - Below Market Rate
- Mixed Commercial and Residential
- Medical-related services
- Retail
- Office
- Eating / Drinking / Entertainment
- Marine-Related Activities
- Civic / Public Uses (e.g., outdoor performance space, special events and festivals, etc.)

**1.5 Commercial District Opportunities and Constraints**

This task will identify specific opportunity and constraint dynamics, as well as potential early actions. These early actions may include recommendations to consider amendments to the Land Development Code or to guide redevelopment of specific properties. As part of this task consultant will illustrate preliminary site development and design opportunities for Focus Area A identified on Map 1.

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City of Sanibel  
Commercial District Plan  
**Scope of Services**

**1.6 Phase 1 Presentations / Forums / Meetings**

WRT will attend up to 2 coordination meetings with City staff at Sanibel City Hall to review and comment on Phase 1 findings and documentation, and incorporate comments and recommendations into the final Phase 1 Working Paper.

**1.7 Review Project Scope and Identify Next Steps**

Consultant will assist the City in a review of the project scope and next steps at the conclusion of Phase 1 that will serve as the basis for a Work Order for Phase 2. The Consultant will present the conclusions of Phase 1 to the Planning Commission and City Council.

***Deliverable:***

- One (1) hard-copy and One (1) digital file (Adobe Acrobat PDF-portable document format) of illustrations prepared for Phase 1 tasks.
- WRT will coordinate with the City's Project Team and Public Relations consultant to provide Working Paper I in a printed document and a web-compatible digital format

**PHASE 2: PRELIMINARY COMMERCIAL DISTRICT VISION (September 1 – October 30 2007)**

The purpose of this Phase of work is to develop illustrations that depict the desired character and quality to guide overall development of the Commercial District. The illustrations will be based on community input received in a Vision workshop to be facilitated by the consultant. The illustrations may include an overall sketch plan view of the district, along with sketch vignettes of key elements of the vision. The Vision will at minimum address the key focus areas / properties identified by the City. It is mutually understood that the outcome of the Vision workshop will be compiled as part of a preliminary report that will be presented to the Planning Commission and City Council. This report shall serve as the basis for determining the scope for the remaining phases of the work program.

**2.1 Vision Workshop**

WRT will facilitate a commercial district *vision workshop* with the Sanibel community and participants identified by the City. The purpose of the workshop is twofold; *first*, the forum aims to develop a vision of what the Commercial District should be like as a "place" – what the community wishes the mix of activities, scale and character to be, and; *second*, the forum will serve to outline ideas for specific elements such as development design themes, focal features and public activities and amenities.

**2.2 Preliminary Commercial District Vision Illustrations**

WRT will interpret and articulate input received in the vision workshop in a drawing or series of drawings that depict the desired character and quality of the Commercial District in the future.

**2.3 Preliminary Commercial District Vision Report**

WRT will prepare a brief report summarizing development opportunities and constraints and illustrating design and development principles for the commercial district, with an emphasis on

**ATTACHMENT A**  
City of Sanibel  
Commercial District Plan  
**Scope of Services**

Focus Area "A". This report will not constitute a plan for the commercial district, nor will it include specific designs or implementing actions.

**2.4 Phase 2 Presentations / Forums / Meetings**

- WRT will present the Vision illustrations to the Planning Commission and City Council in separate meetings to be held on consecutive days.
- WRT will present the Vision illustrations in one community forum.

**2.5 Review Project Scope and Identify Next Steps**

Consultant will assist the City in a review of the project scope and next steps at the conclusion of Phase 2. Work Order(s) to proceed with subsequent phases will be defined.

***Deliverable:***

- One (1) hard-copy and One (1) digital file (Adobe Acrobat PDF-portable document format) of preliminary Vision illustrations and report.
- WRT will coordinate with the City's Public Relations consultant to provide the Vision illustrations in a web-compatible digital format

**The following task may be authorized subject to mutual agreement on scope of work, fee and schedule.**

**PHASE 3: VISION REFINEMENT: DESIGN GUIDELINES, LAND USE AND LAND DEVELOPMENT CODE RECOMMENDATIONS (November 1 2007 – February 29 2008)**

The purpose of this Phase of work is to refine the preliminary Vision developed in September 2007 and develop preliminary recommendations.

**3.1 Focus Area Concept Refinement**

The purpose of this task is to refine the Commercial District Vision by further analyzing the potential development of specific property "focus areas" identified by the City (see attached map). WRT will graphically depict up to a maximum of three site plan / design concepts for each of the identified focus area properties. As appropriate the alternatives may include investigation of total new construction or renovation of existing buildings. Key variables to be explored may include:

- Land use / activity mix
- Potential property assemblages
- Design: scale, massing, architectural and landscape design
- Open space, parks, greenways, conservation areas, and streetscape enhancement
- Access and circulation: vehicles, pedestrians, bicycles and transit
- Identity
- Green building principles
- 

**3.2 Market / Economic Study Coordination**

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City of Sanibel  
Commercial District Plan  
**Scope of Services**

WRT will coordinate market / economic evaluation of the scenarios with the City's Economic Consultant.

**3.3 Preliminary Recommendations: Design Guidelines, Land Use and Land Development Regulations**

Based on the outcome of preceding tasks, consultant will prepare preliminary recommendations for:

**Land Use / Land Development Regulations** – potential modifications to the land use districts including potential changes in district boundaries, permitted uses, incentives etc.

**Design Guidelines** – potential architectural, landscape architectural, and site design guidelines

**Capital Improvements** – potential capital improvements to streets, civic spaces, pedestrian and non-vehicular circulation

**3.4 Phase 3 Presentations / Forums**

- WRT will attend up to three meetings with City staff to review and comment on the focus area concepts and will incorporate comments and recommendations in the final product of Phase 3.
- WRT will facilitate three community forums to present and receive comments on the preliminary Vision illustrations and focus area concepts
- WRT will present the Vision Refinement to the Planning Commission and City Council in separate meetings to be held on consecutive days.
- WRT will facilitate one community town hall format presentation at the conclusion of this phase of work

**3.5 Review Project Scope and Identify Next Steps**

Consultant will assist the City in a review of the project scope and next steps at the conclusion of Phase 3.

**3.6 Summary Report**

At the conclusion of Phase 3, WRT will prepare a summary report that describes in narrative and support graphics Phase 3 tasks and products.

***Deliverable:***

- One (1) hard-copy and One (1) digital file (Adobe Acrobat PDF-portable document format) of draft "Working Paper III: Vision Refinement" document.
- Five (5) hard-copy and One (1) digital file (Adobe Acrobat PDF-portable document format) of final "Working Paper III: Vision Refinement" document.
- WRT will coordinate with the City's Public Relations consultant to provide Working Paper III in a web-compatible digital format

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Commercial District Plan  
**Scope of Services**

**The following task may be authorized subject to mutual agreement on scope of work, fee and schedule.**

**PHASE 4: COMMERCIAL DISTRICT PLAN DOCUMENTATION (Schedule to be Determined)**

The purpose of this phase of work is to develop the final Commercial District Plan and report documenting the findings and conclusions of the planning process.

**4.1 Draft Commercial District Plan Document**

WRT will develop a preferred Commercial District Concept that is based on comments and recommendations identified in meetings, workshops, and presentations undertaken in Phase 2. The document will be a summary narrative with support graphics of the key elements of the Preferred Commercial District Plan and as appropriate, special attention will be given to the Focus Areas / properties. The plan document will include the following:

- ***Illustrative Plan:*** A color rendered district plan depicting the conceptual future arrangement of buildings, parking, streets and streetscape elements, public uses, open spaces, conservation area and civic enhancements. In addition, sketch vignettes will depict the intended design character.
- ***Land Use Plan/Development Program:*** An identification of the types, quantities and placement of new uses which may include housing, retail, professional office, entertainment, open space, and civic and cultural uses. Necessary modifications to zoning, land development regulations, and the Comprehensive Plan will be identified conceptually.
- ***Design Guidelines:*** Descriptions and depictions expressing the intent of the Commercial District Plan regarding the proposed architectural and landscape character, development placement and orientation, scale, and density/intensity, as well as access and circulation. The structure for the implementation of these principles through regulatory means will be addressed conceptually.
- ***Implementation Strategy:*** The commercial District plan implementation strategy may include the following:
  - **Capital Improvements:** Identification of specific public investments necessary to support desired development / redevelopment, including provision of shared parking, street re-alignments, district signage and way-finding, new civic spaces, infrastructure and unifying elements.
  - **Identification of incentives** for the introduction of market and below-market housing and the provision of “public” amenities such as extended sidewalks, civic open space.
  - **Identification of amendments** to the Land Development Code necessary to apply the Design Principles.
  - **Identification of site specific redevelopment opportunities** along with actions necessary to induce or support desired development / redevelopment initiatives.

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City of Sanibel  
Commercial District Plan  
**Scope of Services**

**4.2 Final Plan Review and Refinement**

- WRT will facilitate one meeting with City staff to review and comment on the Draft Final Plan and will incorporate comments and recommendations in the Final Plan Document
- WRT will present the Final Plan Document to the Planning Commission and City Council in separate meetings to be held on consecutive days.
- WRT will facilitate one community town hall format presentation

***Deliverable:***

- Five (5) hard-copy and One (1) digital file (Adobe Acrobat PDF-portable document format) of the final Commercial District Plan document.
- WRT will coordinate with the City's Public Relations consultant to provide the final Commercial District Plan document in a web-compatible digital format

## ATTACHMENT A – Table 1

### Fee Summary

|   | Hours             | Labor Fee               |
|---|-------------------|-------------------------|
| <b>Phase 1: Project Parameters Definition</b>               |                   |                         |
| Task 1.1 Project kick-off                                   | 95                | \$17,360                |
| Task 1.2 Review Prior plans                                 | 15                | \$ 1,835                |
| Task 1.4 Existing Conditions Review                         | 75                | \$ 8,150                |
| Task 1.5 Opportunities and Constraints                      | 113               | \$13,080                |
| Task 1.6 Presentations / Forums / Meetings                  | 18                | \$ 2,800                |
| Task 1.7 Review project scope and next steps                | 4                 | \$ 790                  |
| <b>Sub Total Phase 1</b>                                    | <b>320</b>        | <b>\$44,015</b>         |
| <b>Phase 2: Preliminary Commercial District Vision</b>      |                   |                         |
| Task 2.1 Vision Workshop                                    | 66                | \$10,960                |
| Task 2.2 Vision Illustrations                               | 283               | \$29,910                |
| Task 2.3 Preliminary Vision Report                          | 64                | \$10,120                |
| Task 2.4 Vision Presentations / Forums                      | 38                | \$ 7,800                |
| Task 2.5 Review project scope and next steps                | 3                 | \$ 555                  |
| <b>Sub Total Phase 2</b>                                    | <b><u>390</u></b> | <b><u>\$59,345</u></b>  |
| <b>Total Labor Cost – Phases 1 and 2</b>                    |                   | <b>\$103,360</b>        |
| <b>Total Direct Expenses – Phases 1 and 2 (See Table 2)</b> |                   | <b><u>\$6800</u></b>    |
| <b>Total Project Costs – Phases 1 and 2</b>                 |                   | <b>\$110,160</b>        |
| <b>Phases 3 and 4</b>                                       |                   | <b>To Be Determined</b> |

## ATTACHMENT A – Table 2

### Estimated Direct Expenses

#### TRAVEL

##### A. Trip 1: Phase 1 Kick off meetings, interviews and site reconnaissance 3 days, 2 nights: CAP, JEF, MDG, JM

|                  |                          |                |
|------------------|--------------------------|----------------|
| Car rental:      | 4 days X \$75            | \$300          |
| Gas              | 350 mi / 15 mpg X \$3.25 | \$75           |
| Hotel            | 3per X 2 nights X \$175  | \$1050         |
| Sustenance       | 4 per X 3 days X \$75    | \$900          |
| <b>SUB TOTAL</b> |                          | <b>\$2,325</b> |

##### B. Trip 2/3: Phase 1 Coordination meetings Two 1-day trips, MDG

|                  |                          |              |
|------------------|--------------------------|--------------|
| Car rental:      | 3 days X \$75            | \$225        |
| Gas              | 350 mi / 15 mpg X \$3.25 | \$75         |
| Sustenance       | 1 per X 2 days X \$75    | \$150        |
| <b>SUB TOTAL</b> |                          | <b>\$450</b> |

##### C. Trip 4: Phase 2 Vision Workshop 1 day/ 1 night: CAP, JEF, MDG, SV, LW, JM

|                  |                          |                |
|------------------|--------------------------|----------------|
| Car rental:      | 2 days X \$75            | \$150          |
| Gas              | 350 mi / 15 mpg X \$3.25 | \$75           |
| Hotel            | 6per X 1 nights X \$175  | \$1050         |
| Sustenance       | 6 per X 1 days X \$75    | \$450          |
| <b>SUB TOTAL</b> |                          | <b>\$1,725</b> |

##### D. Trip 5: Phase 2 Vision Presentations 2 day/ 2 night: CAP, JEF, MDG

|                  |                          |                |
|------------------|--------------------------|----------------|
| Car rental:      | 3days X \$75             | \$300          |
| Gas              | 350 mi / 15 mpg X \$3.25 | \$75           |
| Hotel            | 3per X 2 nights X \$175  | \$1050         |
| Sustenance       | 3 per X 2 days X \$75    | \$450          |
| <b>SUB TOTAL</b> |                          | <b>\$1,800</b> |

#### PRINTING / MISCELLANEOUS

|           |       |
|-----------|-------|
| Allowance | \$500 |
|-----------|-------|

**TOTAL ESTIMATED DIRECT EXPENSES - PHASES 1 and 2** \$6,800

**ATTACHMENT A – Table 3**

**Hourly Billing Rates**

**PRINCIPALS**

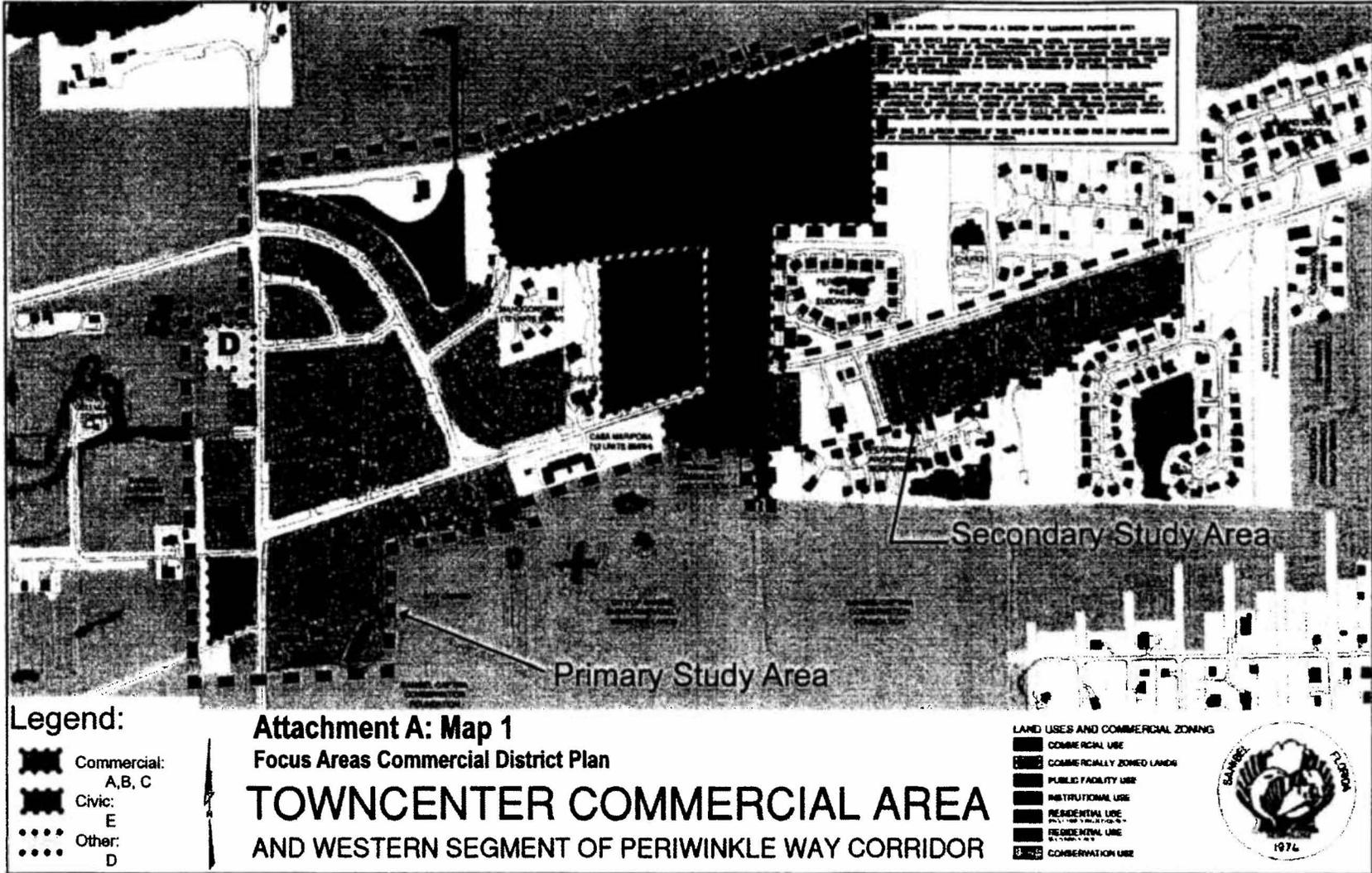
|                |       |
|----------------|-------|
| C. Alyn Pruett | \$235 |
| John Fernsler  | \$235 |

**SENIOR ASSOCIATES**

|                     |       |
|---------------------|-------|
| Michael Del Guidice | \$160 |
| Silvia Vargas       | \$145 |
| Carrie Steinbaum    | \$140 |

**SUPPORT STAFF**

|                                   |       |
|-----------------------------------|-------|
| Senior Architect / Urban Designer | \$140 |
| Senim Metin                       | \$80  |
| Michael Cullen                    | \$90  |



**DRAFT**

**ATTACHMENT B**

**WORK ORDER NO. \_\_\_\_\_  
To  
AGREEMENT FOR PROFESSIONAL SERVICES  
between the  
City of Sanibel  
and  
Wallace Roberts & Todd, LLC**

**PERIWINKLE WAY DISTRICT PLAN**

THIS DOCUMENT executed this \_\_\_\_\_ day of \_\_\_\_\_, 2007 is WORK ORDER No. \_\_\_\_\_ to the Agreement for Professional Services executed between the City of Sanibel (CITY) and Wallace Roberts & Todd, LLC (CONSULTANT) on June \_\_\_\_\_, 2007 (hereafter called "Agreement").

The CITY and CONSULTANT have entered into an Agreement to provide professional services to prepare the Periwinkle Way District Plan. The Agreement provides for services to be performed on the basis of Work Orders to be issued by the City.

This Word Order No. \_\_\_\_\_ authorizes work on Tasks \_\_\_ - \_\_\_ presented in Table 1 of Attachment A of the Agreement. The time of completion hereby established for each task is as follows:

Task \_\_\_\_\_ months  
Task \_\_\_\_\_ months

IN WITNESS WHEREOF, the parties hereto have executed Work Order No. \_\_\_\_ to be effective as of the date above written.

Wallace Roberts & Todd, LLC

City of Sanibel

By: \_\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Approved as to Form

\_\_\_\_\_  
Kenneth B. Cuyler  
City Attorney

Financial Sufficiency Approved

\_\_\_\_\_  
Renee M. Lynch, FINANCE DIRECTOR

**DRAFT**

**ATTACHMENT C**

Insurance against claims for injuries to persons or damage to property arising out of or in connection with the performance of this Agreement by Consultant, its officers, employees and agents:

- A. Automobile Liability Insurance with limits no less than \$500,000 combined single limit per accident for bodily injury and property damage.
- B. Commercial General Liability Insurance written on an occurrence basis with limits no less than \$1,000,000 combined single limit per occurrence and \$1,000,000 aggregate for personal injury, bodily injury and property damage. Coverage shall include, but not be limited to blanket contractual; products/completed operations; broad form property damage; explosion, collapse and underground (XCU) if applicable; and employer's liability.
- C. Professional Liability Insurance with limits no less than \$1,000,000 limit per occurrence.

Before commencing work and services, Consultant shall provide a Certificate of Insurance evidencing the required insurance. City shall be named as an additional insured on the Commercial General Liability Insurance policy with regard to work and services performed by and on behalf of Consultant. City will be given at least 30 days' prior written notice of any cancellation, suspension or material change in coverage.

- m. **RESOLUTION 07-083 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2007-074; AND PROVIDING AN EFFECTIVE DATE** (To transfer \$6,500 from the Capital Acquisition Fund originally budgeted for the SEMP Repeater Trailer plus \$21,556 from the General Fund Reserve for Contingencies for equipment installation to complete the Mobile Communication Van. This project is partially funded with a \$50,000 grant from the State Department of Community Affairs. If approved, the General Fund Contingency Reserve will have a balance of \$139,501 after this Budget Amendment. There are no new funds being budgeted by this Amendment)

Councilman Jennings made a motion, seconded by Vice Mayor Johnston, to adopt Resolutions 07-077, 07-078, 07-079, 07-080, 07-081, 07-082, and 07-083.

The motion carried. Councilman Pappas excused.

- a. **Award a contract to the Dumont Company, Inc., for the purchase of hypochlorite (chlorine) at a cost of \$0.90 per gallon for the Donax plant with an estimated annual usage of 85,000 gallons and \$1.35 per gallon for the Wulfert plant with an estimated annual usage of 2,300 gallons for approximately \$80,000 per year and authorize the City Manager to execute the contract (Funding available in the current Utility Department Enterprise Fund)**
- b. **Award contract to Karle Enviro-Organic Recycling, Inc. for the removal and disposal of approximately 400,000 gallons of sludge from the Donax and Wulfert facilities at a cost of \$0.085 per gallon dry for approximately \$34,000 and \$0.12 per gallon wet for approximately \$48,000 and authorize the City Manager to execute the contract (funding is available in the current Utility Department Enterprise Fund)**
- c. **Reject all bids for a high pressure sewer jetter**
- d. **Award City Hall mitigation contract to Hurricane Glass Shield, Inc., in the amount of \$54,336.00 and authorize the City Manager to execute the contract (75% grant/25% local match)**
- e. **Approval of proposed amendment to agreement between the City of Sanibel and Farnham & Associates, Inc. for Professional Services to support community involvement associated with the Periwinkle Way West District Planning Program and authorize the City Manager to execute the amendment to the agreement (Funded from existing appropriation - no new funds required - estimated cost \$38,750)**
- ~~n. **Approval of the City co-sponsoring the Independence Day Parade and contributing cost of City expenses in the amount of \$1,766**~~

Vice Mayor Johnston made a motion, seconded by Councilman Jennings to approve items (a), (b), (c), (d), (e), and (n).

The motion carried. Councilman Pappas excused.

## **OLD BUSINESS**

### **Water Quality Issues**

#### **Reports from City Council members**

Mayor Denham spoke to the following:



# City of Sanibel

Planning Department

## MEMORANDUM

DATE: June 12, 2007

TO: Judie Zimomra, City Manager

FROM: Robert Duffy, AICP, Planning Director

SUBJECT: **Proposed Amendment to Agreement Between the City of Sanibel and Farnham & Associates, Inc.**  
**- Professional Services to Support Community Involvement Associated with the Periwinkle Way West District Planning Program**

---

Enclosed for your review and consideration is proposed Amendment 07-01 to the November 21, 2006 Agreement between the City of Sanibel and Farnham & Associates, Inc.

Attachment A of proposed Amendment 07-01 details the scope of services to be performed by Farnham & Associates to support the Periwinkle Way West district planning work program recently authorized by City Council.

City Council, during the preparation of the RFP for the Periwinkle Way west district planning effort, requested that the Planning Department involve Farnham & Associates as part of the project team.

Please let me know if you have any questions regarding the enclosed Amendment 07-01 and accompanying Scope of Services.

C: Merribeth Farnham, Farnham & Associates, Inc.  
Ken Cuyler, City Attorney  
Ken Pfalzer, Deputy Planning Director  
Michael DelGiudice, WRT

**Amendment 07-01  
To  
Agreement Between City of Sanibel  
And  
Farnham and Associates, Inc.  
For  
Consulting Services**

The following Amendment 07-01 dated June \_\_\_\_\_, 2007 to the November 21, 2006 Agreement between the City of Sanibel hereinafter referred to as "City", and Farnham & Associates, Inc., a Florida corporation hereinafter referred to as "Consultant", is authorized.

Attachment A to this Amendment 07-01 defines the revised scope of services to be performed by the Consultant consistent with the terms and conditions of the November 21, 2006 Agreement.

**IN WITNESS WHEREOF**, the parties have signed this Amendment as of the date and year written above.

Witness:

\_\_\_\_\_

**FARNHAM & ASSOCIATES, INC.**

By: \_\_\_\_\_  
Merribeth Farnham

Date: \_\_\_\_\_

Witness:

\_\_\_\_\_

**CITY OF SANIBEL, FLORIDA**

By: \_\_\_\_\_  
Judie A. Zimomra,  
City Manager

Date: \_\_\_\_\_

Approved as to form and legality:

\_\_\_\_\_  
Kenneth B. Cuyler, City Attorney

**FINANCIAL SUFFICIENCY APPROVED**

\_\_\_\_\_  
Renee M. Lynch, Finance Director

# **City of Sanibel Commercial Redistrict Planning**

## **Community Involvement Program**

**June 8, 2007**



### **ATTACHMENT A AMENDMENT 07-01 SCOPE OF SERVICES**

**Submitted by:**

**MerriBeth Farnham  
Farnham & Associates, Inc.  
(239) 464-3345**

## **City of Sanibel Commercial Redistricting Community Involvement Program Components**

*To Be Implemented Between June and September 30, 2007*

### ***Phase One***

- 1. Program Overview & Updates**
  - 3 direct mail pieces to be developed
    - Audience to include all Sanibel property owners & occupational license holders
  - To establish and communicate the framework for how community involvement will be invited in a meaningful manner
  - To provide opportunities for citizen/stakeholder input at the earliest reconnaissance & initial visioning stage
  - To identify point of contact via email for public (important that this be consistent throughout the program duration)
  - Develop a consistent look for communications related to this program effort
  - Coordinate with City staff/vendor for printing/distribution
  - Includes up to 45 hours of general program support focused on community involvement component of Commercial redevelopment planning
  
- 2. Web-based Outreach**
  - To be a separate section under City of Sanibel Website [www.mysanibel.com](http://www.mysanibel.com)
  - To be used as a vehicle to provide updates and to invite input from members of the community.
  - To include dedicated email for citizen input
  
- 3. News Releases at appropriate project milestones**
  - Up to three news releases with follow-up phone calls
  - Additional media relations as needed to promote specific events

### ***Future Phases***

To be determined based on outcomes of Phase One work.

***Direct Distribution Methods***

1. Direct Mail
2. Web Site
3. News Outlets
4. by WRT at Stakeholder Meetings
5. by WRT at Council Workshop
6. by WRT at Open House

***Next Step***

1. Develop initial direct mail piece, coordinating content & other necessary components with City staff and WRT

Please note that printing/direct mail costs will be handled directly by the City payable to a City vendor as a cost savings measure.

## City of Sanibel Commercial Redistricting

### Estimated Budget for Community Involvement Program Components



| <b>Educational Component</b>   | <b>Budget</b>   |
|--|-----------------|
| Development of 3 Program Overview & Updates with up to 45 hours of general program support, coordination, participation in planning effort | \$28,200        |
| Web-based Outreach   | \$9,000         |
| Development, Dissemination of up to 3 News Releases at appropriate project milestones  | \$1,550         |
| <b>Total</b>   | <b>\$38,750</b> |

As this important program evolves, some adjustments may be required. Any changes will be communicated accordingly.

- Request to increase the project time by 20 days

Councilman Jennings made a motion, seconded by Councilman Ruane, to approve the Change Order.

The motion carried with Councilman Pappas and Vice Mayor Johnston opposing.

### **Updated Financial Matrix**

Ms. Zimomra stated that this was for informational purposes.

### **Staff report regarding the Alternative Transportation in Parks and Public Lands Grant agreement between the City, Lee County and Lee Tran**

Ms. Duffy, Planning Director stated that due to comments received the decision was made to bring before Council at the August 21, 2007 meeting.

Discussion ensued regarding Council wanting the opportunity to make comments, and arrange individual briefings for Council.

### **Staff report concerning the fertilizer ordinance.**

Ms. Zimomra stated that previous comments had been incorporated and there would be a mailing to property owners. She also stated the information was a joint product of the consultant and the Natural Resources Department. She further stated that the Vegetation Committee Chairperson was present for comment.

Ms. Farnum requested approval of the document and CD verbiage. She further stated the video was a much shorter homeowner video.

Ms. Zimomra stated that a DVD 10 to 12 minutes was too long and Council asked the DVD be shortened.

Discussion ensued regarding budget cuts for the fertilizer educational material, Ms. Zimomra stated that with Council approval the expenditure would be in hand and there was the contingency that Council could use for the printing.

Vice Mayor Johnston made a motion, seconded by Councilman Ruane, to approve the fertilizer educational information as presented.

The motion carried. Councilman Jennings was out of the room when the vote was taken.

## **WORK SESSION**

### **Work session with Wallace Roberts and Todd regarding Periwinkle Way West District Plan**

Wallace Roberts and Todd gave a brief PowerPoint presentation.

Discussion ensued regarding improving the gateway, carrying capacity may take care of itself, the use of property was essential, the need for shopping area and have a commercial and retail area viable, purpose not to sale more stuff, but a civic place that would connect all civic activities, lost a look on Sanibel due to Hurricane Charlie (tree canopy), businesses look tired, should review architectural codes, in favor of design standards that identify Sanibel styles, options for parking and different kinds of vehicles critical due to space issues and congestion, how Town Center reflect island population groups and could accommodate, business philosophy and economic portion, make Town Center viable for small independent business owners, integration of the carrying capacity, Mr. Duffy spoke to retaining a real estate consultant and worked with the original Sanibel Plan and would focus on the economic based analysis and short-term economic issues and people do not come to the island for unique shopping opportunities.

Council recessed at 3:38 p. m.

Ms. Zimomra stated she had spoken to the Fort Myers City Manager and it was decided to have a meeting after September and after legislative discussions with legislators.

Vice Mayor spoke to working as MPO Chair and working toward correcting the \$10 million mistake to Coconut Road rather than improvements to I-75.

### **Planning Commission Report**

Dr. Phillip Marks gave the following report of the August 14, 2007 Planning Commission meeting:

- Request extension for Sanibel Bayous Corporation due to waiting for final approval from SFWMD
- Investigation of a mapping error of the French corner (property beside the post office) 5,000 square foot parcel and approved to finally include within the zoning map
- Approval an application for CROW to construct 2 buildings; 1) hospital and 2) an educational building – Fire Department evaluating the driveway for emergency vehicles – site would be maxed out for further construction
- Approval of temporary permit to construct a temporary module for primary and urgent care and approval for 1 year and possibly for a second year
- Planning Commission would met with Periwinkle Way West consultants in September

Discussion ensued regarding cleaning the property of the French Quarter, have the signage taken down, new medical center would need to have a clear and easy entrance for emergency vehicles.

#### Public Comment

Claudia Burns spoke to the water storage challenge during the hurricanes was helped by using 3 large saltwater tanks emptied to store fresh water.

First Reading of an ordinance and scheduling of public hearing.

**ORDINANCE 07-011 REPEALING CITY OF SANIBEL ORDINANCE NO. 03-008 WHICH ESTABLISHED AN UPDATED AND REVISED SCHEDULE OF RECREATION USER FEES FOR CITY OF SANIBEL RECREATION PROGRAMS; PROVIDING FOR THE ESTABLISHMENT OF RECREATION PROGRAMS FOR FISCAL YEAR 2007-08; AUTHORIZING THE CITY MANAGER TO APPROVE NEW ADDITIONAL RECREATION PROGRAMS DURING FISCAL YEAR 2007-08 AND ESTABLISH FEES FOR SUCH PROGRAMS, PROVIDED THE FEES ESTABLISHED DO NOT EXCEED THE COST OF OPERATION OF THE PROGRAM; AND PROVIDING AN EFFECTIVE DATE**

Ms. Zimomra read the title of Ordinance. Council set the second reading and public hearing for Tuesday, September 18, 2007 at 10:00 a. m

**ORDINANCE 07-012 AMENDING ORDINANCE 07-003 REGULATING THE USE OF FERTLIZERS CONTAINING NITROGEN AND/OR PHOSPHORUS WITHIN THE CITY OF SANIBEL; AMENDING SECTIONS 5(B)(2) AND 9(A) TO CHANGE THE REQUIRED PERCENTAGE OF MINIMUM SLOW RELEASE NITROGEN FROM 70% TO 50%; PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE**

Ms. Zimomra read the title of Ordinance 07-012. Council set the second reading a public hearing for Tuesday, September 18, 2007 at 10:15 a. m.

- m. Acceptance of a grant award of \$8,008 from the Department of State, Division of Historical Resources, Historic Museum Grant Program for General Program Support and authorize the City Manager to execute same
- n. Approval of Reimbursement Agreement with Sanibel Marina, Inc for the City's proportionate share of cost for dredging of the entrance to Shell Harbor canal system
- o. Approval of Reimbursement Agreement with Sanibel Harbour Association for the City's proportionate share of cost for dredging of the entrance to Sanibel Harbour canal system
- p. Approval to purchase a high pressure sewer jetter from US Jetting in the amount of \$32,728; no new funds to be allocated; funded from sewer department capital equipment fund
- q. Approval to purchase two 26Kw portable emergency generators from Neff rentals in the amount of \$28,656 to support lift station operations during power outages; no funds to be allocated; funded from sewer department capital equipment fund
- s. Request from the Retired Military Officers for the City to co-sponsor Veterans' Day Program at historical levels
- t. Request from the Sanibel Captiva Conservation Foundation for the City to sponsor the coastal clean-up day at historical levels

Councilman Jennings made a motion, seconded by Vice Mayor Johnston, to adopt the above-mentioned items.

The motion carried.

### **OLD BUSINESS**

#### **Consideration of a schedule and milestones for the Periwinkle West District Plan; and Approval of Joint City Council/Planning Commission meetings for 9:00 a.m., Tuesday, October 23, 2007 and 9:00 a.m., Tuesday, November 13, 2007**

Ms. Zimomra stated that staff was looking for 2 joint City Council/Planning Commission meetings. She further stated that one would be prior to the visioning workshop and one meeting post.

Discussion ensued regarding move the proposed October 23 to October 16, Council decided that the October 16 Council meeting would adjourn at 2:30 p.m. and convene the joint Council/Planning Commission meeting, move the November 13 joint meeting to November 06 at 2:30 p.m.

Mayor Denham made a motion, seconded by Councilman Pappas, to schedule the 2 joint meetings at October 16 at 2:30 p.m., and the next joint meeting for Tuesday, November 06 at 2:30 p.m.

The motion carried.

### **Water Quality Issues Reports from City Council members**



# City of Sanibel

Planning Department

## MEMORANDUM

DATE: August 30, 2007

TO: Judie Zimomra, City Manager

FROM: Robert J. Duffy, AICP, Planning Director  
*RJD*

RE: **Periwinkle Way West District Plan**  
**- Phase One and Two Progress Report**  
**and Project Schedule**

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The following report outlines progress completed to date and a schedule of key milestones related to the Periwinkle Way West District planning effort.

### Phase 1: Existing Conditions, Opportunities and Constraints

- **July 2 – Ongoing**
  - All Property Owners, Businesses and Stakeholders Receive Notice of Project Initiation, Background, Purpose, Study Area, Schedule and Invitation to Open Houses.
  - “Share Your Ideas” publication produced for open house applications, community distribution and web site posting.
  - Periwinkle Way West District Planning Web Site Launched.
  
- **July 16 – 18**
  - Project Initiation
  - Meetings with Planning Department and City’s Interdepartmental District Planning Team
  - District Planning Area Tour with City Council and Planning Commission
  - Work Session with Planning Commission
  - Work Session with City Council
  - Community Open Houses
  - Property Owner, Citizen and Business and Interviews

*Council  
Pocket*

- **July 16 – August 31**

- Compile and Analyze Existing City and District Plans, Data and Conditions
- Review and Analyze Applicable Land Development Code Regulations
- Complete Market and Economic Analyses
- Complete Property Owner, Citizen and Business Interviews
- Planning Commission Work Session (August 28)
- Planning Department Work Sessions
- Complete Analyses of District Planning Opportunities and Constraints
- Initiate Preparation of Phase One Report: District Conditions, Key Opportunities and Constraints and Illustrated Site Planning and Design Options for the District and Focus Area(s)
- Initiate Preparations for Visioning Work Shops

**Phase 1: Existing Conditions, Opportunities and Constraints (Cont.)**

- **September 18**

- City Council Approves Schedule for Visioning Workshops and Joint City Council and Planning Commission Meetings

- **October 23**

- Presentation of Preliminary Phase One Report: District Planning Conditions, Opportunities, Constraints and Illustrative Site Planning and Design Options

**Phase 2: Preliminary District Vision**

- **November 8, 9 and 10**

- Community Visioning Workshops

- **November 13**

- Report from Visioning Workshops to Joint Meeting of City Council and Planning Commission
- Initiate preparation of Phase 2: Preliminary Vision Report and Related Illustrative Products for Phase 3: Vision Refinement and Preliminary Plan Preparation

**Phase 3: Vision Refinement, Preliminary Plan, Design Guidelines and Land Development Code Recommendations**

- **November 2007 – February 2008**

**Phase 4: District Plan**

- **February – April 2008**

Periwinkle Way West District Plan

August 30, 2007

Page Three

Please contact me if you have any questions regarding the above district planning progress report and schedule.

C: City Council  
Planning Commission  
Michael DelGiudice, WRT  
William H. Owen, RERC  
Ken Pfalzer, Deputy Planning Director  
Planning Department

**JOINT CITY COUNCIL/PLANNING COMMISSION WORKSHOP  
OCTOBER 16, 2007**

Mayor Denham called the meeting to order at 2:30 p.m.

Members present: Mayor Denham, Vice Mayor Johnston, Councilman Jennings, Councilman Pappas, Councilman Ruane, Commissioner Valiquette, Commissioner Marks, Commissioner Berger, Commissioner Sprankle, Commission Lapi, Commissioner Billheimer, and Commissioner Forney.

Councilman Jennings gave the Invocation.

Commissioner Valiquette led the Pledge of Allegiance

Mayor Denham requested that public comment be held before Council/Planning Commission discussion.

Discussion ensued regarding allow presentation without questions, City Council/Planning Commission questions and then public comment.

Robert Duffy introduced Wallace Roberts and Todd, LLC. He further spoke to the consultants ready to discuss the results of the research analysis to date concerning existing conditions, constraints and opportunity within the Periwinkle Way West District planning area. He also spoke to an opportunity for Council and the community to make comments on the early efforts to date that would provide a framework and foundation for the next phases. He spoke to the following:

- City Council approved in July, 2007
- Recommended by the Sanibel Plan
- Pursuant to goals defined by City Council
- To provide a clear comprehensive community-based vision
- Articulate a specific and sustainable plan for future land use, design and regulatory strategies to guide future improvements and private redevelopment efforts consistent with the Sanibel Plan
- Presentation would be included in the conclusion of Phase I
- Base line information
- Define planning and redevelopment opportunities
- Includes several preliminary visioning concepts
- Focus area of Periwinkle Way West and Palm Ridge Road
- Initial ideas of citizen/business involvement
- Concept and visions not a final plan
- Concept and visions serve as a vehicle of the planning effort

**Presentation of Draft Preliminary Phase I existing conditions, constraints, and opportunities report for the Periwinkle Way West District Plan by Wallace Roberts and Todd, LLC**

A PowerPoint presentation was given along with the following report:

Major purposes:

- Implementing the Sanibel Plan
- Pursuing City Council redevelopment goals of 2006/2007
- Enabling a vision for the district

- Town Center Limited - inter core of district Palm Ridge and Tarpon Bay
- Town Center General - flanks limited area and extends to the Knave property
- General Commercial District the same as the Town Center General with intensity of development allowed
- Difference in the Town Center Limited and Town Center General was the reduction of types of uses allowed

Permitted Floor area ratio – amount of building on site to the area on site

- Higher the ratio the more development permitted
- Lower the ration less development permitted
- Development on property would equal the amount of land
- Identified properties that were at or above the ratio resulted from the age of the structures
- Reviewing commercial land uses island wide 600,000 square feet island wide with 70% retail and 30% services
- Vacancy range of 5 to 10%
- 82% commercial inventory included within the above-mentioned zoning
- 85% of total of 82% retail space; 95% services; 28% miscellaneous

District wide opportunities and constraints

Identified Constraints:

- Many existing properties exceed the currently permitted maximum floor area ratio
- May be a dis-incentive
- Mixed use provision of code require a reduction of 1,000 square-foot commercial use for each market rate residential structure incorporated in to a mixed use development site
- Beneficial effect of encouraging below market rate housing usage
- Reverse effect to discourage market rate residential
- Shared parking not permitted
- 100 foot set back along arterial street forces landscape structure and allowing parking, which may not be a good thing when trying to promote more pedestrian traffic and pedestrian access
- Poor pedestrian activity
- Council adopted a number of design guidelines, not yet a comprehensive set of guidelines such as addressing buildings, landscape, open space, sustainability and storm water management
- More guidelines to further safe guard development

Identified Opportunities

- Reducing the 100-foot setback on certain roads
- Keep 100-foot setback on Periwinkle Way and Palm Ridge Road
- Reduce 100-foot setback on smaller roads
- Reconfigure Dunlop Road to allow a better connector – improve accessibility and visibility of civic functions
- Palm Ridge Road with no landscape buffers on some segments
- Right-of-way that could be develop for landscaping and public access improvements
- Better vehicular access on Periwinkle Way
- Relocating the recycling center
- Reducing vehicular access points
- Adoption of green buildings infrastructure guidelines and incentives

Consultants performed an Opportunities Analysis of Focus Area requirements including vegetation, buffer, building setback, building size permitted under floor area ration, parking and existing vegetation.

Knave property – allowable development under current zoning

to put residential above commercial businesses, no incentive for below market rate housing, may need to review codes for bonus housing, may need to decrease setback for vegetation buffer and allow parking behind buildings, design guidelines must be agreed upon during the study, vision in place for Knave property, should have real mixed use, change or modify codes for town center, need an incentive built into the codes for investor(s), may need to decrease some set backs for development, the need for design guidelines, revisit outdoor dining, revisit penalties on sewer, concern carry capacity and traffic, circulation patterns, and are considerations economically feasible.

## **Public Comment**

Jack Luft spoke to consultant hands tied due to constraints of staying within the code, codes written to limit commercial business, density offer solutions, i.e. population of walk to business, need different housing types, and create a mixed use, and the need to concentrate activity area, and workable green space town square.

Ann Yarnall spoke to bring alternative ideas for town center, different density requirements for different parts of the island, and presentation was very conservative.

Hazel Schuller spoke to Historical Museum and Village and why consider lowering density, City over developed Dunlop and Wooster Roads, economic assumptions in Sanibel Plan and strategies to re-enforce the plan.

Jack Samler spoke to consultants hands tied due to the current codes regarding the development of a town center, impossible to create more dwelling units, no redevelopment because under current codes density would be lost, the need for a re-development plan, and incentives needed to develop properties in the center of town.

Karen Stori Johann spoke to not paying attention, need to allow consultants to think creatively, a plan needed that would be ecological based, and concerned that there was no solution of parking problems at B. I. G. Arts.

Claudia Burns spoke to her agreement of the consultant's presentation.

Roger Tabor spoke to density issues being different today than 30 years ago, need to bring City residents back to the City, and time to allow process.

Ralph Clark spoke to the need to address incentives for existing properties that were not in conformance in to the over plan.

Jack Luft spoke a second time to Florida Keys redeveloping land by transferring density rights from conservation lands to residential/commercial areas.

Mattie Hamlin spoke to B.I. G. Arts being short of space and no developer would give space.

Lee Harter, Executive Director B. I. G. Arts spoke to board working on a long-term strategy.

Mr. Duffy, Planning Director spoke to the Sanibel Plan being the City's constitution. He spoke to the following:

- Page 232 town center and retail development along Periwinkle Way and encourage near and around the town center area
- Opportunity to develop with the right vision and press the envelope

Discussion ensued regarding forefathers speaking for the time that they lived in, and the reasons people come to Sanibel property was under valued, Sanibel was under utilized as a premier vacation destinations, City has a transportation planner and the need to review proposed plans, resolution adopted in another place to allow mixed use on the 2<sup>nd</sup> and 3<sup>rd</sup> floor of a commercial establishment, invite people to take a blank piece of paper and put on 2 creative ideas, develop some green space, the need for walking aides for people, disperse residential within to make a development more homogeneous, shared parking, overlays to increase pedestrian movement, discussion on smaller segments and let imaginations to be freer.

Mr. Duffy stated the next joint meeting would be Tuesday, November 6<sup>th</sup> at 2:30 p. m.

## **Next Steps – November 2<sup>nd</sup> and 3<sup>rd</sup> Visioning Workshops**

Mr. Duffy spoke to the dates above between 9:00 a. m. and 1:00 p.m. for the community to have the opportunity for input. He further stated that notices would be sent to all property owners.



*Preliminary – For Discussion Only*

**Periwinkle Way West District Plan  
Focus Area A (Nave Property)  
2240 Periwinkle Way (Tax Parcel No. 26-46-22-T2-00009.0000)**

Source: Planning Department  
October 2007

**A. EXISTING CONDITIONS:**

- |  |   |
|--|---|
| <b>1. Parcel Size</b>  | 9.6 Acres   |
| <b>2. Ecological Zones</b>   | Lowland Wetlands<br>Upland Wetlands<br>Mid Island Ridge   |
| <b>3. Development Intensity</b><br><i>(See LDC Section 126-976 Applicability of regulations to parcels ... with varying residential densities)</i> | 4.0 DUs/Ac or 1 DUs/.25 Acres<br>2.2 Dus/Ac or 1 DUs/.45 Acres<br>0.3 Dus/Ac or 1 DUs/3.34 Acres  |
| <b>4. Existing Land Uses</b><br>Residential<br>Commercial  | 3 Single Family Residential Units<br>17,100 Square Feet Commercial Floor Area<br>Sanibel Square Center  |
| <b>5. Commercial Zones</b>   | Town Center General (TCG)<br>- 5.4 Acres<br>- 12% Floor Area Ratio  |
| <b>6. Permitted Land Uses</b><br>Residential<br><br>Commercial   | Single Family and Two Family<br>Multi-Family (within 400' of Periwinkle Way and not in Lowland Wetlands Zone)<br>Cluster Housing (See LDC Section 86; Art III; Div 3)<br>Below Market Rate Housing<br>All Permitted Commercial Uses (See LDC Ch 126; Art VIII Permitted & Conditional Uses) |

**B. PERMITTED DEVELOPMENT**

- |   |  |
|---|--|
| <b>1. Residential</b><br>5.4 Acres @ 4.0 Dus/Acre<br><br>4.2 Acres @ 0.3 DUs/Ac & 2.2 DUs/Ac<br>Total (See LDC Section 126-976) | 20 - 21 DUs<br><br>7- 8 Dus<br>27 - 29 Dwelling Units                                |
| <b>2. Commercial</b>  | 28,000 Sq. Ft.<br><i>(See LDC Ch 126; Art VIII Permitted &amp; Conditional Uses)</i> |
| <b>3. Combined Residential &amp; Commercial (Conditional Use)</b>   | <i>(See LDC Section 126.87)</i>  |

PC report

- Discussion regarding density of Knave property, redevelopment and Periwinkle Way West District Plan

## 2007 Land Development Code Review Subcommittee Annual Report

Chairman Valiquette gave the following report on priorities:

- Wetlands definitions and conservation
- Periwinkle Way West District Plan
- Resort housing and residential non-conformities
- Outdoor dining
- Telecommunications
- Emergency electrical power generators
- Historic Preservation

Discussion ensued regarding Council's decision to focus on buildback, which legislation was adopted, commercial businesses on island, focus on wider issues of commercial development, which legislation was adopted, focus on motel/resort accommodations, and private residences

Dr. Berger stated that the Planning Commission discussion was to keep focused. He further stated that members were aware of Council's decisions.

## CONSENT AGENDA

Council pulled Consent Agenda items (e), and (h) as requested by the audience.

- e. Approval of an amended Reuse Water Rate Agreement with Sanctuary Golf Club and authorize the Mayor to execute the amendment to the existing Easement and Effluent Disposal Agreement

### Public Comment

Dick Walsh stated the agreement would serve as a model for the two other golf courses. He also spoke to residents paying more than the proposed rate.

Mr. Castle spoke to the following:

- Reviewed other agreements through-out surrounding counties/municipalities
- Reuse rates for general customer \$1.99 per 1,000 gallons previously adopted by Council
- Staff recommendation was for \$.50 per 1,000 gallons

Dick Walsh spoke a second time to residents paying \$1.99 and not available to all residents. He further stated the charge of \$.50 per gallon to golf courses was inequitable.

Discussion ensued regarding rates for residents in surrounding areas, Mr. Castle answered that the discount of \$.50 per 1,000 gallons was a higher discount than other counties/municipalities, Mr. Castle further stated that the \$.50 per 1,000 gallons was at a 75% discount and other entities give an average of a 60% discount, and the average bulk rates were \$.25 per 1,000 gallons to \$.50 per 1,000 gallons for individual rates.

Ms. Zimomra stated that this item could be table for two weeks to answer Council questions.

Council agreed

Vice Mayor Johnston made a motion, seconded by Councilman Pappas, to table discussion for two weeks for staff to determine analysis of rates.

The motion carried

**PUBLIC COMMENT**

Karen Storijschmann asked if the Finance Director would be doing a report on the impact of the January 29, 2008 referendum.

Ms. Zimomra stated that the Finance Director would be reviewing options and the impact on Sanibel in the future.

 Ms. Zimomra stated that the Periwinkle Way West Plan consultants would be making their presentation on Tuesday, December 18, therefore the proposed meeting with Fort Myers Beach Town Council needed another date.

After discussion Council decided on Monday, December 17, 2007 at 0900.

There being no further business the meeting was adjourned at 1:50 p. m.

Respectfully submitted by,

Pamela Smith, CMC  
City Clerk

~~Council Comments~~

~~Councilman Jennings spoke to Dr. Lamato coming back to the island. He also spoke to~~

~~Vice Mayor Johnston spoke to attending the Florida League of Cities Fiscal Council meeting November 08, and attending the National League of Cities Conference November 12 to November 15, 2007. She also spoke to her update of water initiatives in the agenda packet. She also spoke to Council having two employees the City Manager and City Attorney and asked that Council have the City Attorney's evaluation on a future agenda and specific direction the Periwinkle Way West District Plan consultants.~~

~~Mayor Denham spoke to attending the dedication of Bowman's Beach and the groundbreaking of C. R. O. W.~~

~~Planning Commission Report:~~

~~Mr. Robert Duffy, Planning Director gave the following report:~~

- ~~• Adopted 2 resolution 1) shoreline erosion control structure to proceed with addition use and development permit; 2) amended a site plan for a medical center~~
- ~~• Hearing for an elevated swimming pool and continued until December 11, 2007~~
- ~~• Report from Mayor Denham~~
- ~~• Considered 3 items from the Sanibel Code subcommittee 1) outdoor dining; 2) telecommunications devices; and 3) Periwinkle Way West District Plan~~

First Reading of an ordinance and scheduling of public hearing.

**ORDINANCE 07- 015 PERTAINING TO CHAPTER 90 OF THE SANIBEL CODE ENTITLED "FEES", ARTICLES I, II, III AND IV, AMENDING THE PERMIT, DEVELOPMENT REVIEW AND ADMINISTRATIVE FEES SET FORTH THEREIN; AMENDING THE SCHEDULE OF FEES FOR APPLICATIONS FOR PERMITS OR APPROVALS REQUIRED BY THE LAND DEVELOPMENT CODE; ESTABLISHING THE CURRENT SCHEDULE OF FEES AND SUPERSEDING AND REPEALING ALL PRIOR ORDINANCES AND RESOLUTIONS INCONSISTENT HEREWITH; AND PROVIDING EFFECTIVE DATE**

Ms. Zimomra read the title of Ordinance 07-015.

Council set the second reading and public hearing for Tuesday, December 04, 2007 at 9:45 a. m.

**ORDINANCE 07-016 AMENDING CHAPTER 110 –SPECIAL EVENTS, OF THE SANIBEL CODE TO ESTABLISH CRITERIA AND AN APPLICATION PROCESS FOR STUDENT OR YOUTH GROUP EVENTS; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT AND SEVERANCE; AND PROVIDING AN EFFECTIVE DATE**

Ms. Zimomra read the title of Ordinance 07-015.

Herb Ruben spoke to an article in San Francisco paper where an entire fleet was environmental converted. He further spoke to large levels of water used by a resident in Georgia in which the City published amount and name of resident in the paper, and suggested the same be done in Sanibel. He also spoke to an ordinance on clothesline and suggested amending the ordinance to allow clotheslines to save energy and the City should be the leader in solar energy by giving incentives to residents.

Rae Ann Wessell spoke to that the 23<sup>rd</sup> Annual Everglades Conference scheduled for January 10 through 13<sup>th</sup> at South Seas Plantation. [www.evergladescolition.com](http://www.evergladescolition.com) She also spoke to SCCF water initiatives.

Tom Sarbal, Sanibel Bike Club thanked Council and spoke to the completion of the Periwinkle Way Shared Use Path.

Louise Johnson spoke to Sanibel looking good upon her return. She also spoke positive regarding the Recreation Center.

Claudia Burns spoke to participating at the Recreation Center dedication ceremony December 01, 2007 by playing in the band. She also spoke to the plan for the Periwinkle Way West District Plan by including the Knave property and transferring residential density from other properties.

Jack Kohn spoke to the Recreation Center and the flaw in the fitness room (weight room) was that it does not have treadmills and understood the previous decision. He also stated that the wish of the residents have been made secondary to one business owner. He requested Council reconsider their previous decision.

Judy Minchie thanked Council for their endeavors in the past year.

### **Council Comments**

Mayor Denham thanked the City Manager and staff for the Recreation Center dedication.

Councilman Jennings wished everyone Happy Holidays. He also spoke to the Recreation Center dedication and thanked the Sanibel Bike Club for their participation in the Periwinkle Way Shared Use Path. He suggested having a ribbon cutting for the Periwinkle Way Shared Use Path.

Vice Mayor Johnston spoke to the work done by the City Manager, Harold Law, Building Official and Helene Phillips, Recreation Director during the construction of the Recreation Center. She also spoke to the importance of maintaining Colonel Grosskruger in the Jacksonville office, and the letter staff received was from a human resource personnel.

Councilman Pappas spoke to the response regarding Colonel Grosskruger was that rotation was important for service careers and as a general would be more useful. He also spoke to eradication program for Brazilian Pepper. He further spoke to the possibility of treadmills for the Recreation Center. He also spoke to the continued growth in Florida would mitigate against solving water quality problems and efforts should not be relaxed.

### **Second Reading and Public Hearing**

**ORDINANCE 07-015 PERTAINING TO CHAPTER 90 OF THE SANIBEL CODE ENTITLED "FEES", ARTICLES I, II, III AND IV, AMENDING THE PERMIT, DEVELOPMENT REVIEW AND ADMINISTRATIVE FEES SET FORTH THEREIN; AMENDING THE SCHEDULE OF FEES FOR APPLICATIONS FOR PERMITS OR APPROVALS REQUIRED BY THE LAND DEVELOPMENT CODE; ESTABLISHING THE CURRENT SCHEDULE OF FEES AND SUPERSEDING AND REPEALING ALL PRIOR ORDINANCES AND RESOLUTIONS INCONSISTENT HERewith; AND PROVIDING AN EFFECTIVE DATE**

**JOINT SANIBEL CITY COUNCIL/PLANNING COMMISSION WORKSHOP  
DECEMBER 18, 2007**

Mayor Denham called the meeting to order at 2:00 p. m.

Councilman Jennings gave the Invocation.

Commissioner Marks led the Pledge of Allegiance.

Members present: Mayor Denham, Vice Mayor Johnston, Councilman Jennings, Councilman Pappas, Councilman Ruane, Commissioner Valiquette, Commissioner, Marks, Commissioner, Billheimer, Commissioner Sprankle, Commissioner Lapi, and Commissioner Forney.

Commissioner Berger was absent.

**Toward a Vision for the Periwinkle Way West District:  
Project Introduction, Background and Overview of Report and Presentation  
Presentation of Alternative Vision Plans and Strategies  
Summary of Commercial District Market Analysis**

Mr. Robert Duffy, Planning Director spoke to the following:

- Process begin July, 2007
- Open houses, independent research
- Meetings and interviews with residents
- Community vision workshops
- Part 4 presents a series 10 specific elements
- Alternative plans for implementation

Allen Pruitt gave the following PowerPoint presentation as follows:

- 5 focal areas: 1) Nave property; 2) part of Bailey PUD; 3) Vacant properties Palm Ridge and Tarpon; 4) Cultural properties north of Dunlop Road
- Phase 1 – Existing conditions, opportunities and constraints
- Phase 2 – Preliminary District Vision
- Phase 3 – Vision refinement; Define Guidelines, Land Use and Land Development Code recommendations
- Phase 4 – District Plan Documentation
- Phase 3 and 4 not authorized by City Council to date
- Participation – 1) Open houses; 2) Questionnaire on website; 3) emails; and 4) public comment period at meetings
- Conducted a series of interviews with property owners and businesses
- Open tours of Periwinkle Way
- 2 vision workshops held

A summary of the district economic and market analysis as it relates to the town center district was given as follows:

- Reviewed all inventory
- 600,000 square feet of commercial space - 70% retail and 30% different services
- 80% of businesses within the general commercial district
- 145,000 square feet of restaurants
- 70,000 square feet of bank and real estate offices
- Local resident population various from full-time 6,000 to 20,000 season

## **City Council and Planning Commission Questions**

### **Discussion by City Council and Planning Commission**

Discussion ensued regarding population fluctuations, did the figures include day trippers, Mr. Owen stated that a 20,000 population was based on the City's housing inventory, refuge numbers currently off 20% to 25%, concern of elimination of schoolhouse parking, concern that a developer would not open the Nave property for green space and give a full range of possibility, Nave property could be used as a university campus, review 4 options, focus areas were to provide an illustration to the district plan for the next phase, resort properties non-conforming and/or finding a way to make them conforming and the impact, island does not sustain any additional commercial, could not take away property owner rights, limited voids in market that offer potential, page 23 blanket statement, spent any time working with the Chamber of Commerce, and notice of changes to move the Historical Village, and would the expectation be to have a developer make the major changes, and the City would not be making any major capital investments by the City.

#### **Public Comment**

Jim Lavelle spoke to the number of restaurants, additional food store to serve the peak population.

Bobby Pattawere spoke to understanding the economics. He further spoke to housing cost, return investment, commercial investment, store rental fees and the need to an idea of feasibility.

Tom Krekel spoke to the 8,000 households by bodies and peak population.

Hazel Schuller spoke to her vision of the Knave property and the Bailey medical property would be a medical assisted facility.

Michael Hannan spoke to the old transportation study.

Discussion ensued regarding mixed use, 1,000-foot penalty currently in the code and fairly uniform agreement that mixed use was a good idea with the elimination of the penalty, and mixed use popular in many newly developed areas or redeveloped areas.

Larry Schopp spoke to his agreement of the concept of mixed use and the need to wavier the 1,000-foot penalty if residential would be above the commercial. He further spoke to the Knave property having 28/29 dwelling units and not waiving the 1,000-foot penalty.

Wayne Snyder spoke to mixed use and no agreement at his focus group table for mixed use.

Bernie Lubetkin asked if the discussion was to make a change for the 1,000-foot penalty to only the Knave property? He further spoke that the Land Development Code would need to be amended

Mayor Denham stated this was just a discussion without any decision.

Karen Storjohann spoke to not having tourist rental. She further stated keeping the residential without being rentals. She also stated that new buildings should be green buildings.

Jane Picker spoke to page 21 and the possibility of the Southside portion of Knave property having residential use and that the LDC did not apply.

Mr. Duffy stated the Planning Department did a break out of the current conditions and ecological zones and the different development requirements. He also stated that Ms. Picker was alluding to the 1<sup>st</sup> report. He further stated that in terms of build-out the 3 residential density yield could be 29 dwelling units and the proposal blended in residential and below market rate units with a higher density.

Vice Mayor Johnston made a proposal that the Planning Department working with the Planning Commission consult to look at a draft ordinance eliminating the 1,000-foot penalty and then the mixed use would fit in to that discussion.

- o Come back with a range of variations of Shared Parking
- o Leave BMRH bonus space
- o Cluster units if dealing with the Town Center
- o Remove relocating the Historical Village

Council agreed to remove the formal garden, Council directed staff to find a date for an additional meeting as long as there was a quorum from both groups, the need to address redevelopment, agreement to remove the garden, combine PUD possibility with shared-use parking and pedestrian overlay, and Planning Department working on the 1,000-foot question.

Mr. Duffy stated he could put together a brief report of action given to the consultants and Planning Department and prepare for another meeting.

Ms. Zimomra asked if Council agreed for another joint meeting in January, on a Council meeting or a different day, or January 22 after the Planning Commission.

She stated that the next joint meeting would be 2:00 p.m. January 15<sup>th</sup> after the regular City Council meeting. Council agreed by consensus.

There being no further business the meeting was adjourned at 5:11 p. m.

Respectfully submitted by,

Pamela Smith, CMC  
City Clerk



# City of Sanibel

Planning Department

*Preliminary – For Discussion Only*

## Periwinkle Way West District Plan Focus Area A (Nave Property) 2240 Periwinkle Way (Tax Parcel No. 26-46-22-T2-00009.0000)

Source: Planning Department  
October 2007

### A. EXISTING CONDITIONS:

- |  |   |
|--|---|
| <b>1. Parcel Size</b>  | 9.6 Acres   |
| <b>2. Ecological Zones</b>   | Lowland Wetlands<br>Upland Wetlands<br>Mid Island Ridge   |
| <b>3. Development Intensity</b><br><i>(See LDC Section 126-976 Applicability of regulations to parcels ... with varying residential densities)</i> | 4.0 DUs/Ac or 1 DUs/.25 Acres<br>2.2 Dus/Ac or 1 DUs/.45 Acres<br>0.3 Dus/Ac or 1 DUs/3.34 Acres  |
| <b>4. Existing Land Uses</b><br>Residential<br>Commercial  | 3 Single Family Residential Units<br>17,100 Square Feet Commercial Floor Area<br>Sanibel Square Center  |
| <b>5. Commercial Zones</b>   | Town Center General (TCG)<br>- 5.4 Acres<br>- 12% Floor Area Ratio  |
| <b>6. Permitted Land Uses</b><br>Residential<br><br>Commercial   | Single Family and Two Family<br>Multi-Family (within 400' of Periwinkle Way and not in Lowland Wetlands Zone)<br>Cluster Housing (See LDC Section 86; Art III; Div 3)<br>Below Market Rate Housing<br>All Permitted Commercial Uses (See LDC Ch 126; Art VIII Permitted & Conditional Uses) |

### B. PERMITTED DEVELOPMENT

- |   |  |
|---|--|
| <b>1. Residential</b><br>5.4 Acres @ 4.0 Dus/Acre<br><br>4.2 Acres @ 0.3 DUs/Ac & 2.2 DUs/Ac<br>Total (See LDC Section 126-976) | 20 - 21 DUs<br><br>7- 8 Dus<br>27 - 29 Dwelling Units                                |
| <b>2. Commercial</b>  | 28,000 Sq. Ft.<br><i>(See LDC Ch 126; Art VIII Permitted &amp; Conditional Uses)</i> |
| <b>3. Combined Residential &amp; Commercial (Conditional Use)</b>   | <i>(See LDC Section 126.87)</i>  |



# City of Sanibel



**Draft**

## **Periwinkle Way West Commercial District Plan**

*Phase I: Existing Conditions and  
Opportunities and Constraints*



October 2007





**Draft**  
**Periwinkle Way West  
Commercial District Plan**

*Phase I: Existing Conditions and  
Opportunities and Constraints*

*prepared for the*  
**City of Sanibel**  
*by:*



**WALLACE ROBERTS & TODD, LLC**

October 2007



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The City of Sanibel will resist pressures to accommodate increased development and redevelopment that is inconsistent with the Sanibel Plan, including this Vision Statement.

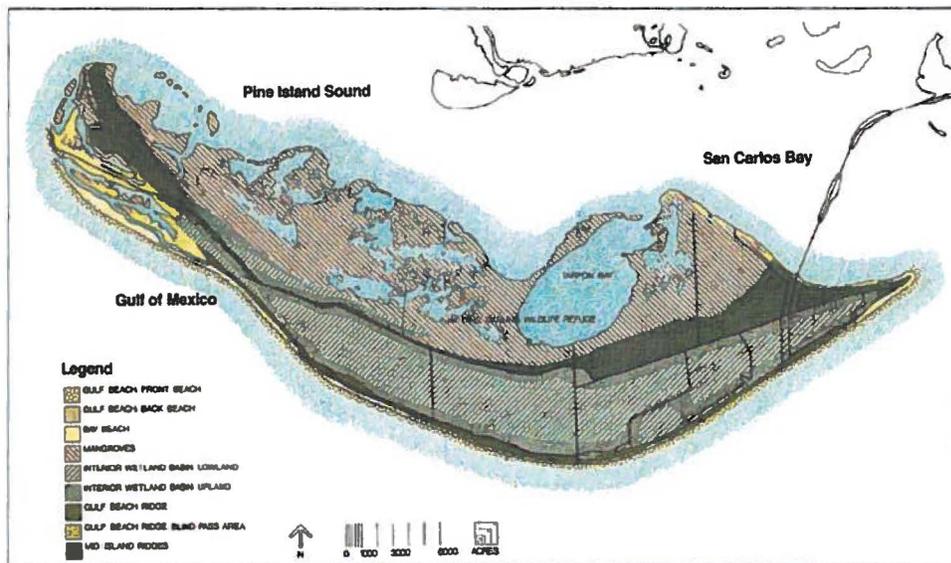
## PURPOSE

The primary purpose of the Periwinkle Way West District Plan (PWWDP) is to:

**Implement the Sanibel Plan, and the City Council's Fiscal Year 2007-2008 Goal for Redevelopment.**

This Working Paper I report provides a summary of existing land use and environmental conditions within the Periwinkle Way West District planning area and includes a preliminary review of discussions with City Council, Planning Commission, City Manager, and the Sanibel Community.

This report provides a basic foundation and framework to support subsequent phases of this planning process. The next phase will include a series of community-engaged "visioning" workshops.



1976 Sanibel Plan  
Graphic

DRAFT

Limited new development and redevelopment will occur over the next twenty years. However, growth limits and locations are well established, as are regulations to minimize harm to the natural environment and to the community's character.

## BACKGROUND

The City Council, and Planning Commission, recognized the importance of this unique area to the Island's future through their identification of the PWWDP as a project priority for fiscal year 2007 - 2008. Understanding the complexity of issues that will need to be address in this planning effort, the project was designed to included both, a district-wide plan and a detailed examination of five District Focus Areas for change. The Focus Areas are:



Aerial of Sanibel with PWWDP identified

- A: Nave Property
- B: Baileys Center, LLP Property (western parcel)
- C: Cross Property (Palm Ridge Road)
- D: Jean Paul French Corner Property
- E: Civic and Institutional Properties (City Hall, Big Arts, Theater, etc.)

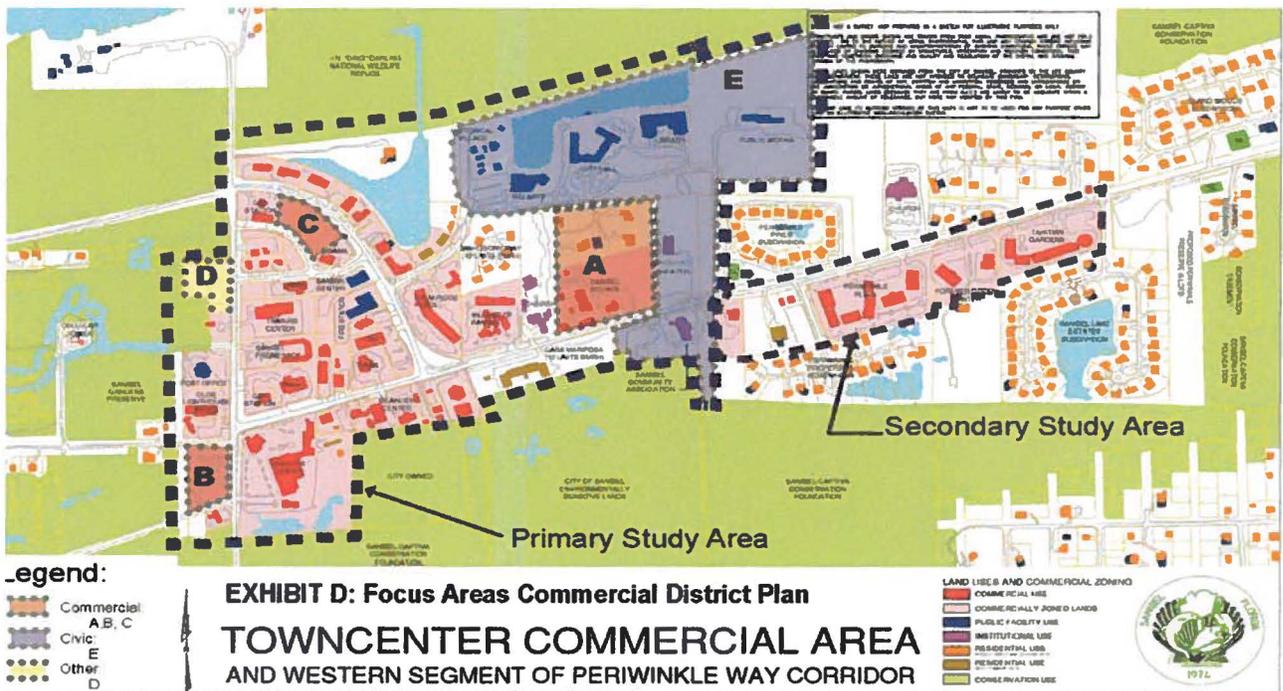


Figure 1: PWWDP map and Focus Areas

In the spring of 2007, the City of Sanibel engaged the planning and design firm of WRT, LLC to assist the City's Planning Department with the PWWDP. WRT, LLC also worked with the City in the development of its 1976 and 1997 planning efforts. The City has also retained Real Estate Research Consultants, Inc. to collaborate with WRT, LLC and provide economic and market research necessary to evaluate and support PWWDP recommendations.

The 2007 Sanibel Plan identified the approximately 200-acre area that makes up the Periwinkle Way West District as the City's "Town Center" that would function as a community gathering place and public focal point primarily serving Island needs. The district is formed by the convergence of three major roadways—Periwinkle Way, Tarpon Bay and Palm Ridge / Captiva Sanibel Road, and it is defined by civic, cultural and institutional activities,

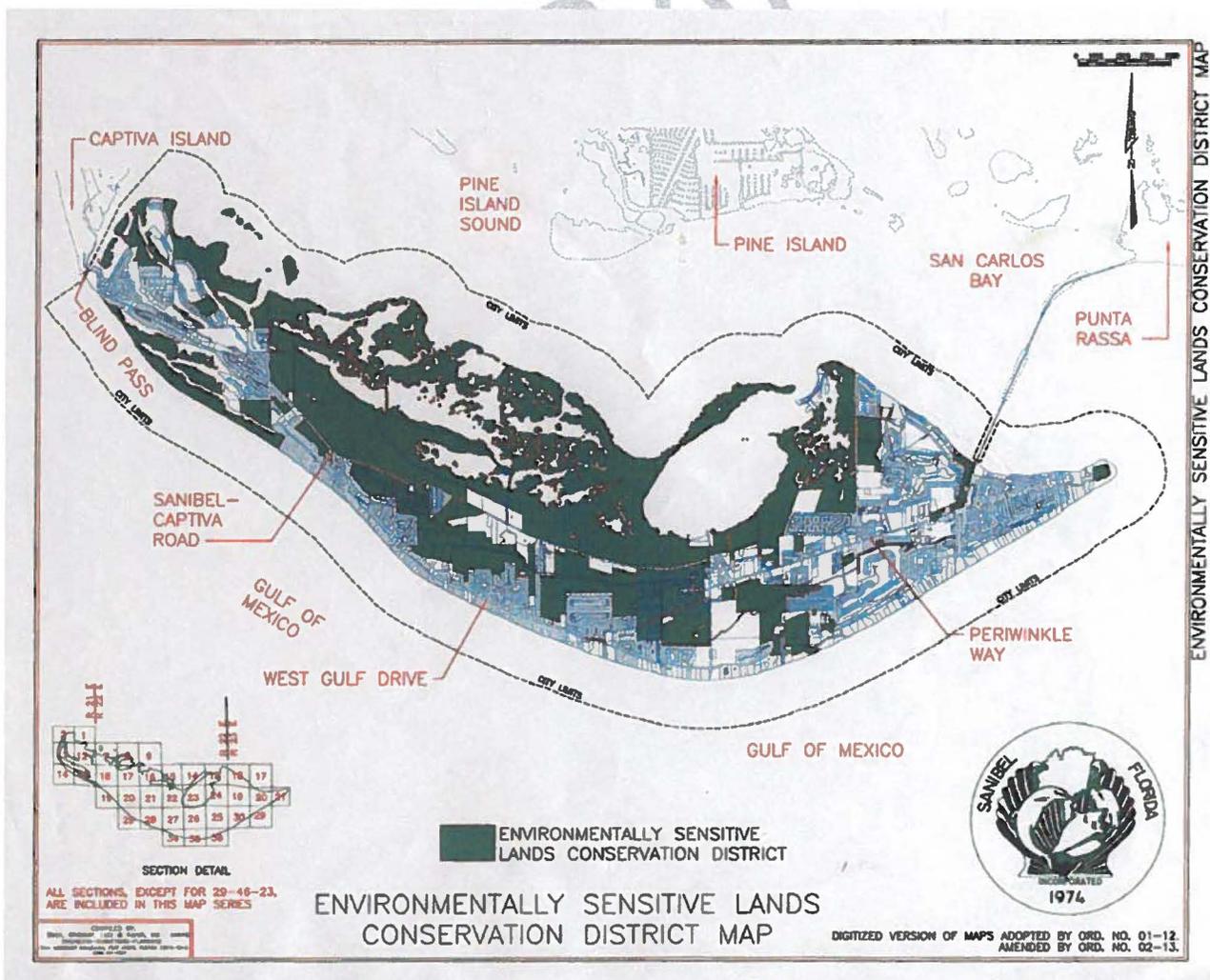


Figure 2: Sanibel Plan Map of Environmentally Sensitive Lands

residential, open space, and a predominance of community-focused commercial, retail and service businesses.

The Sanibel Plan's Ecological Zones map identified four major land types within the district, with the largest area made up of altered land, followed in descending size by upland wetlands, mid-island ridge, and lowland wetlands. All four categories permit development of some level, from the highest intensity on altered lands to the least intensity on lowland wetlands. However, the district is bounded on three sides by environmentally sensitive areas, which require minimum-to-no development impacts from adjacent properties. As a result, a major goal of the PWWDP is to establish clear recommendations for sustainable and compatible change that will not alter or disturb the delicate balance of the natural system carrying capacity, as well as to reinforce the distinctly Sanibel Island sense of place where built and natural environments are integrated.

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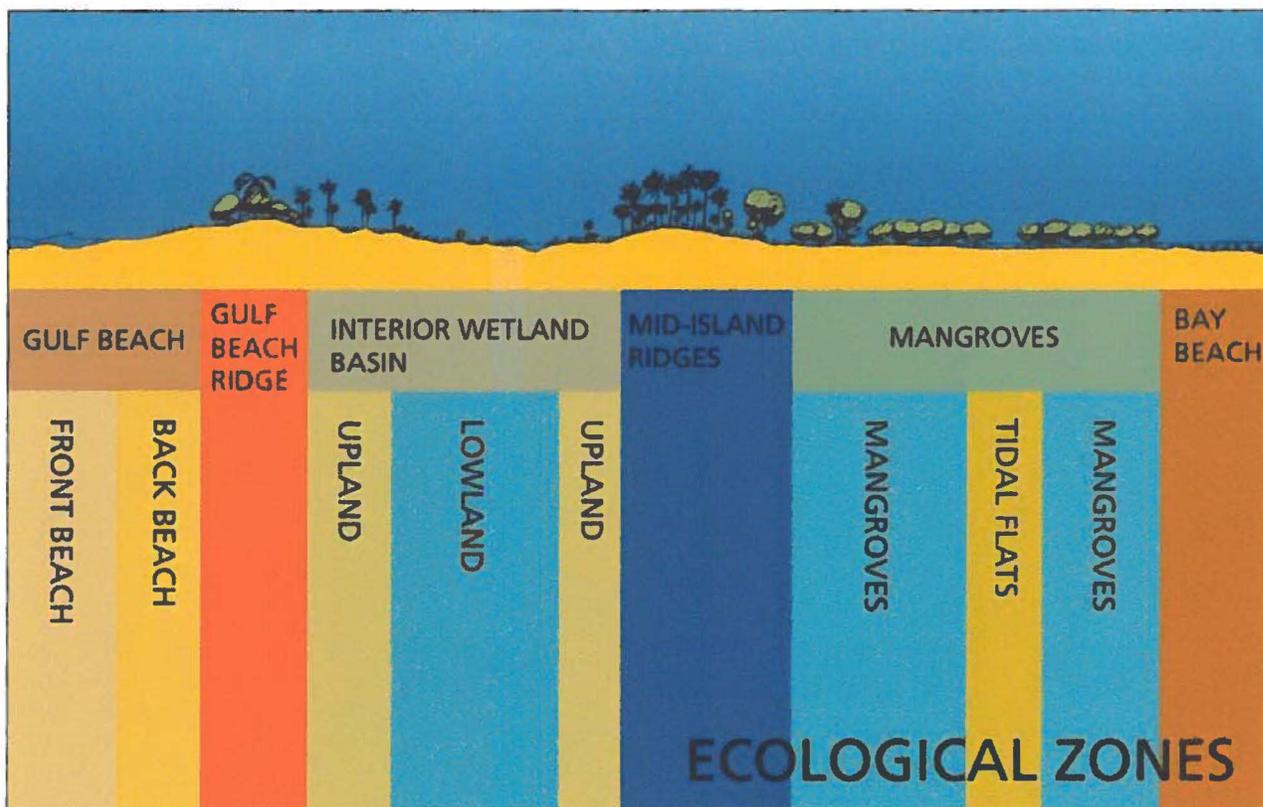


Figure 3: Sanibel Plan Ecological Zones Diagram

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The vision statement that follows reflects both the implicit values of the Sanibel Plan, and the contributions of hundreds of citizens who took part in a series of public workshops and responded to detailed questionnaires that helped identify shared concerns, values and goals.

1997 Sanibel Vision

## PROCESS

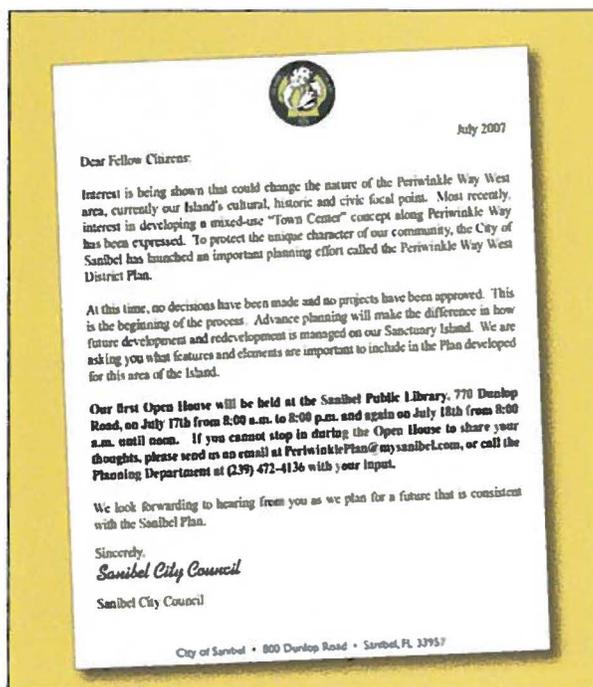
The PWWDP Phase I is comprised of four tasks:

**Task One: Project Initiation.** This task included a fine-tuning of the project scope and schedule, and the collection of relevant data, documents, and previous planning studies provided by the City of Sanibel.

**Task Two: Public Engagement.** This task engaged the Sanibel Island community in a variety of initial forums to begin documentation of the full breath of public issues and common concerns.

**Task Three: Existing Conditions Analysis and Opportunities and Constraints.** This task included an examination of current District physical and regulatory conditions, a summary of district opportunities and constraints, and the analysis of opportunities for select focus areas.

**Task Four: Presentation of Findings to Community.** This task will provide an opportunity for the community to review and comment on the summary findings.



Open House Mailing to  
the Community

DRAFT

*Sanibel is and shall remain a small town community whose members choose to live in harmony with one another and with nature; creating a human settlement distinguished by its diversity, beauty, uniqueness, character and stewardship.*

*Sanibel Vision*

## **PARTICIPANTS**

Continuous and substantial community participation is crucial to a successful outcome of this planning effort. In recognition of this, the City's Planning Department and the consultant team strove to provide many different opportunities for community input in the Phase I, which included the following participants and forums:

*City of Sanibel residents, cultural and institutional organizations, and business owners* participated through the following opportunities:

- Dialogue with the planning team during two full-day open house forums held on July 17-18, 2007;
- Responding to a questionnaire available at City Hall, the City's website, and in the local newspapers;
- Email of comments, suggestions and concerns; and
- In City Council and Planning Commission meeting 'public comment' periods.

A complete compilation of all submitted community comments will be provided as an addendum to the PWWDP final report.

*City of Sanibel City Council:* The consultant team made a project kick-off presentation to the City Council on July 17, 2007.

*City Planning Commission:* The consultant team presentation of project progress report to the City's Planning Commission on August 28, 2007.

*Stakeholder Interviews:* Over the three day period of July 17, 18, and 19, 2007, the consultant team interviewed a wide range of community stakeholders, from City elected and appointed officials, to District property owners, to cultural and institutional directors. A complete list of stakeholders interviewed will be provided as an addendum to the PWWDP final report.



*District tour with the City Council, Planning Commission and community residents*



Resident responses to the Sanibel Periwinkle Way District Plan Stakeholders Questionnaire have represented a broad range of comments and recommendations. Many respondents envision residential development in the district, where housing for elderly, multi-family housing, and below market-rate housing being the most popular ones. A number of respondents think that providing additional housing opportunities for the island’s workforce is very important. Relatively the residents agree on commercial use being inappropriate for the island’s character. However, they support mixed-use developments that provide both commercial and residential occupancy in buildings.

The respondents were very positive about the need for public outdoor public spaces with added improvements such as playgrounds, gathering places with shades and trees and mini parks. While parking was not specifically identified as a problem, respondents did state that there is too much of paved surface for the island. The respondents support the Island’s shared use path master plan and also encourage more shared use paths.

The respondents seem to identify the island’s character as an “Island” style, old Florida vernacular architecture and native barrier island vegetation. City Hall, Old Library and village shops –old Sanibel shops-were often mentioned as the examples of best architecture and desired character of Sanibel. Numerous respondents were concerned that increases in density would change the Island’s character. Sanibel’s unique sense-of-place is what is described as the vision for the future of the district. A pedestrian friendly town center, improving the benefits of existing businesses and smart re-development with limited commercial use list amongst the major things suggested for changing and improving the district.

*Sanibel sense-of-place images; historic an new architecture, shared-use paths and native vegetation*

The barrier island of Sanibel comprises a wide variety of natural and altered environments. The community of Sanibel strives to sustain ecological balance and preserve and restore natural settings for residents, visitors, and wildlife.

Sanibel Vision

## SUMMARY FINDINGS

### **Natural Resources**

#### *Hydrology*

As with most of Florida, water is a key natural resource on Sanibel Island. While water is one of the primary determinants in ecological zone differentiation, it is also one of the main connective elements linking zones into an integrated natural system. Due to this important role, the effects of habitat modification and/or development on hydrology patterns have remained an important component of planning on Sanibel Island, and serves as a critical determinant in establishing carrying capacity.

Although wetland habitats occur within the District the area does not contain any officially delineated wetlands, except open lakes or ponds. However, this does not mean that wetlands do not exist in the area.

#### *Ecological Zones*

As discussed earlier, the District is comprised of four ecological zones (see Figure 4) that are *altered lands*, *mid-island ridge*, and *upland-* and *lowland-* wetlands. The following is a brief summary of the different zones as described in the Sanibel Plan:

*Altered lands* are areas that have been highly disturbed and/or developed.

*Mid-island ridge zone* comprises the major ridges along the central axis of the island, and has the highest elevations.

*Upland and Lowland wetlands* are sub-categories of *Interior Wetlands*, and they serve as the island's freshwater reservoir.

The four ecological zones occur within the District in irregular patterns that are a direct result of past and current development. Altered lands that have been largely modified by development represent the highest percentage of land in the District. The upland wetlands and mid-island ridge zones occur as discontinuous



Example of Altered Lands



Example of Mid-Island Ridge

bands along an east-west axis that are interrupted by large areas of altered lands. Lowland wetlands make up a small percentage of the District and occur in isolated fragments, with the largest areas found in the northern portion of the District.

*Environmentally Sensitive and Conservation Areas*

As one of the most developed regions of the Island, the District does not contain significant areas of environmentally sensitive and protected habitats within its boundary, but is bordered by major conservation, preserve or refuge environments. The largest, the J.R. Ding Darling National Refuge, is immediately north of the District. Other significant habitats are Sanibel-Captiva Conservation Foundation Lands and the Sanibel Gardens Preserve.

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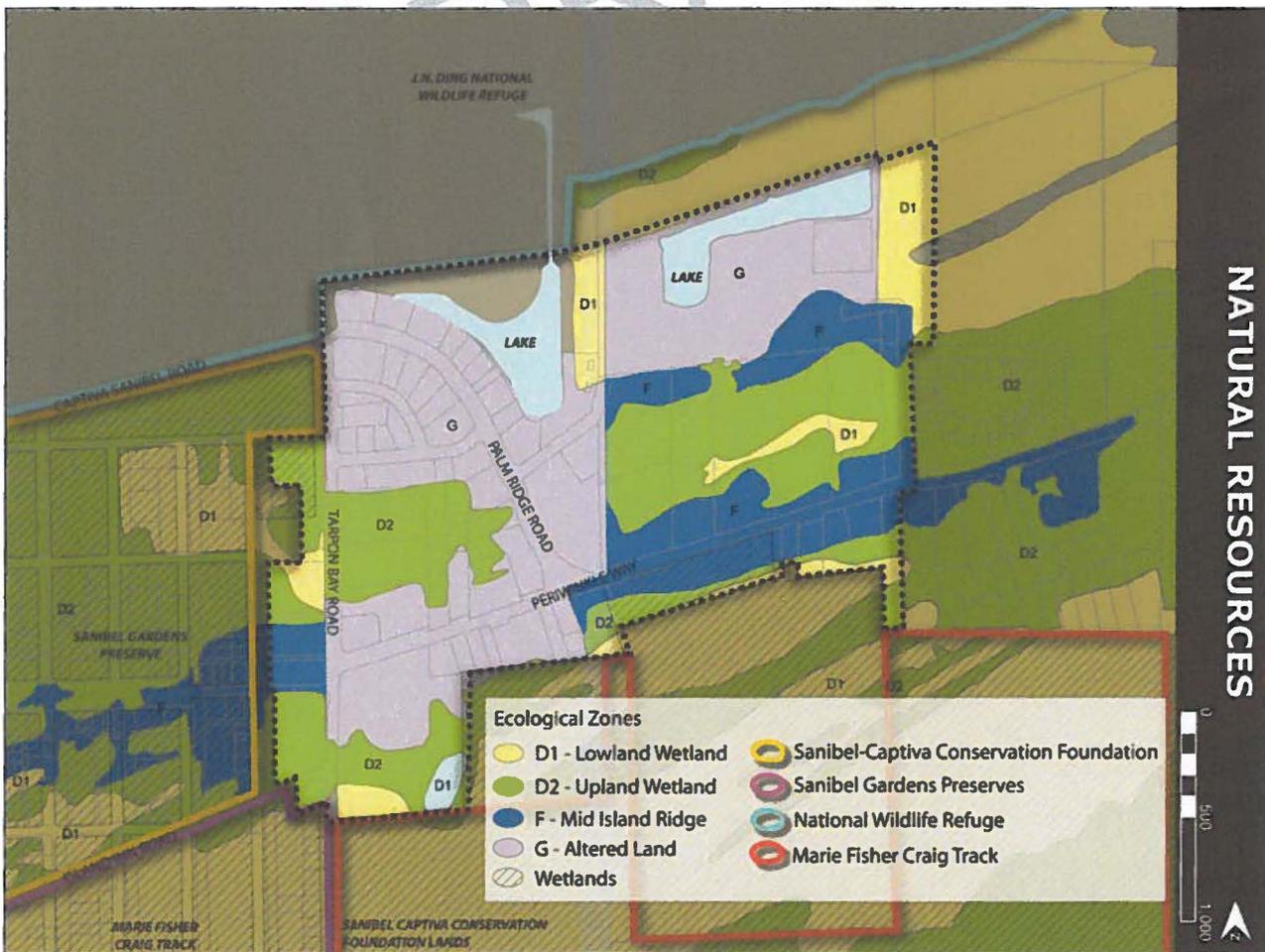


Figure 4: Natural Resources

**Community Framework**

The Periwinkle Way West District is characterized by several features that make it a unique Island area. It is defined by major roadway corridors that are lined with commercial businesses, and a concentration of the City’s civic and cultural institutions (see Figure 5).

Consistent with any core community area, the District is home to many island-focused destinations that function as community anchors. North of Periwinkle Way and along Dunlop Road is located the concentration of civic and cultural institutions, which includes the City Hall, Big Arts, Historic Village, Library, and Schoolhouse Theater. Immediately south of the Theater and across Periwinkle Way is the Sanibel Community Center, which is flanked to the west by the City’s Community Park. Both the Park and City Hall areas are home to numerous seasonal events and festivals that contribute to the distinct character of the District.

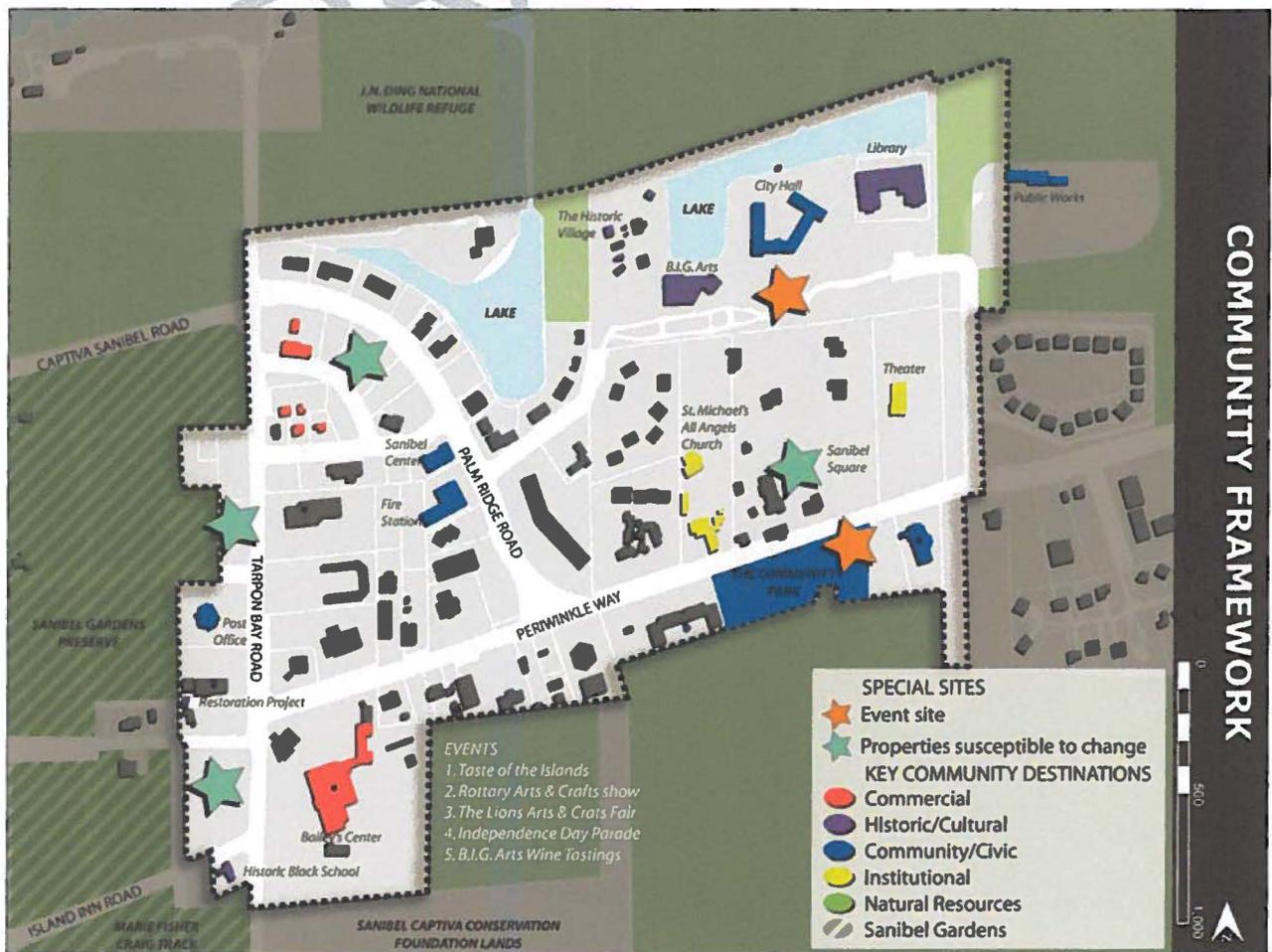


Figure 5: Community Framework

A significant triangular area is formed by the connection of the District's three major roadways—Periwinkle Way, Tarpon Bay Road, and Palm Ridge / Sanibel-Captiva roads—and the area is home to the Sanibel Fire and Rescue District 2 Station and the City's Senior Center, as well as several service businesses.

South of the triangle and Periwinkle Way is one of the Island's most predominant commercial centers, the Baileys Center, which provides the community with a grocery store, a cinema, and numerous other commercial and service businesses.

Lastly, there are several properties that are subject to change in the near future, as they are vacant or underutilized property. The four properties that fit this description are PWWDP Focus Areas A, B, C and D. Any development or redevelopment of these focus areas will have a significant impact on the community's future character, and due to this importance it is critical that any future change to these properties must be consistent with the Sanibel Plan.



Figure 6: Architectural Character & Quality

**Built Environment Character and Quality**

**Architecture**

The District’s architecture represents a variety of styles, scales and massing of buildings that speaks to age of construction, use, and development regulations – rather than a definitive Sanibel architectural style (see Figure 6). However, within that wide variety there are a large number of old, renovated and new buildings with stylistic elements that are derived from vernacular South Florida architecture with deep roof overhangs, steeply pitched metal roofs, porches, and wood exteriors. This style is employed in a wide range of uses, from civic buildings, to the theater, to retail shops and homes, and even a service station. Although vernacular stylistic buildings are predominant, there is not a proscribed consistency that would result in an architectural sameness found in manufactured communities.

Other architectural expressions found in the District range from boxy and flat roofed buildings, to Mediterranean and modernist-derived stone and wood structures.

As discussed earlier, the District’s character can be understood as falling into two main categories; development prior to, and after enactment of the Sanibel Plan’s development codes in 1985 (see Figure 7). Structures built prior to 1985 typically occur closer to roadways, while structures built after 1985 are set back from the roadways edge-of-pavement by an average of 90 feet, in



Examples of different architectural styles

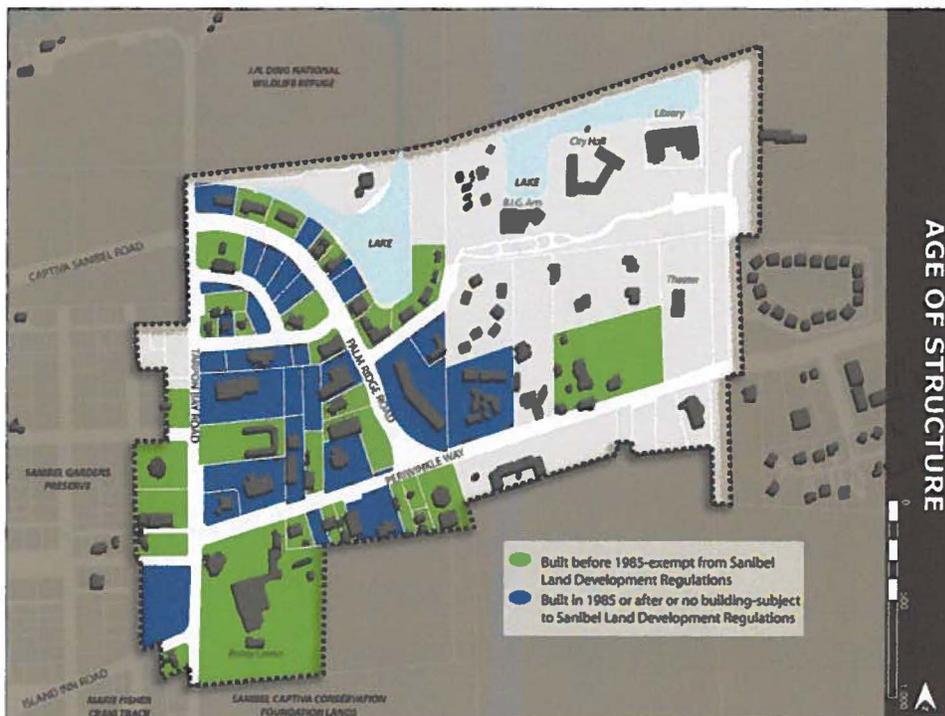


Figure 7: Age of Structure Diagram

conformance with the enacted development regulations. This difference has resulted in an un-even street edge that hinders creation of vegetation buffers with shared-use pathways, as well as prohibiting the creation of consistent scale relationship of street-to-vegetation/building edge that is a hallmark of good community design.

Although parking and access will be discussed later in this draft summary report, the prevalence of surface parking and multiple vehicular access points in front of buildings further limits opportunities for physical connectivity via alternative modes of movement, such as pedestrians and bicyclists.

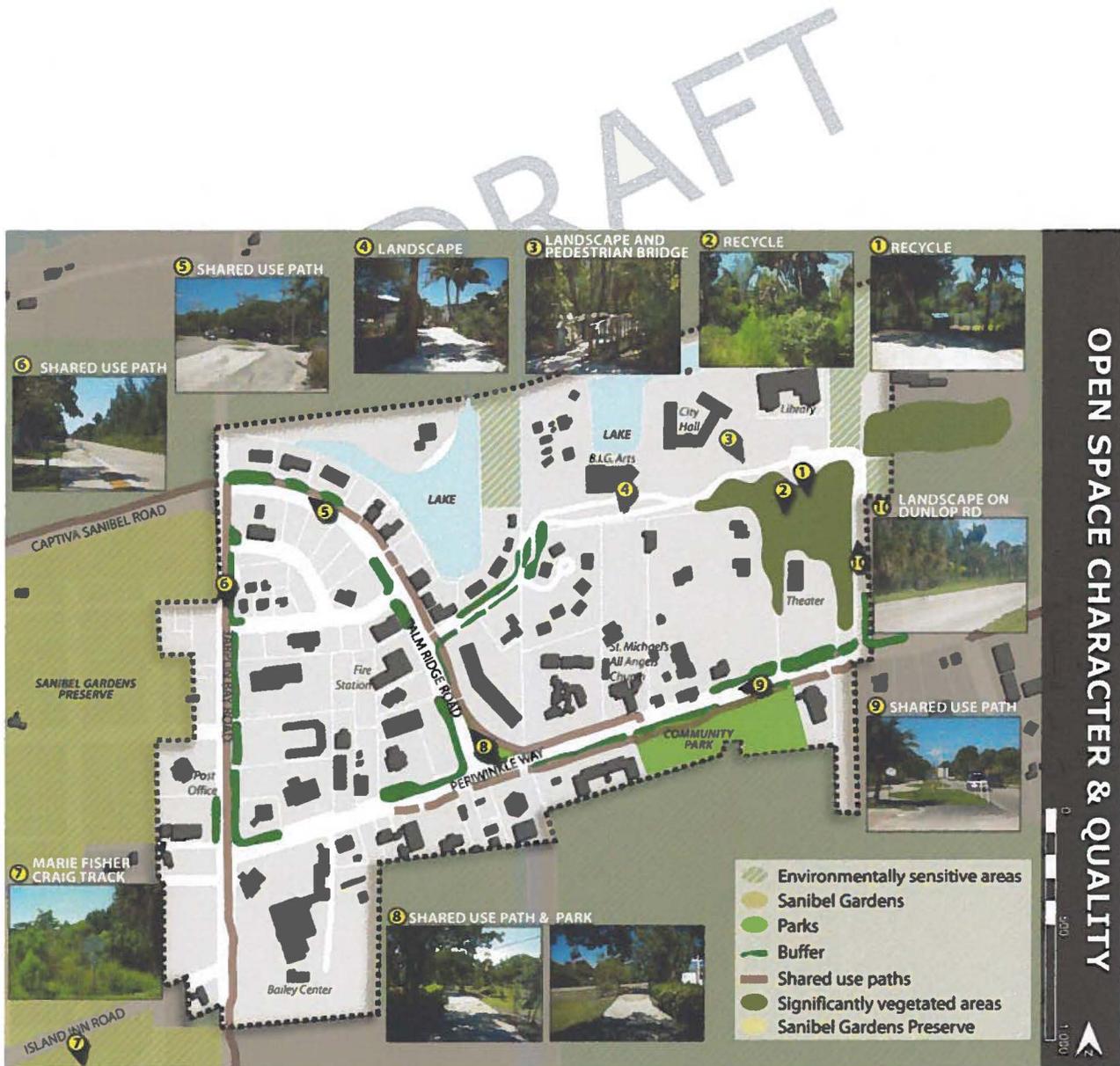


Figure 8: Open Space Character & Quality

### *Landscape Character and Quality*

The Island of Sanibel has one of the highest percentages of 'green space' to built environment of any community in Florida, especially when compared to other barrier island communities. This wealth of important landscape is critical to the Island's sustainable ecological health and sense of place: Both elements deeply inform the community's identity.

In contrast to the Island's abundant green space (see Figure 8), the District exists largely as a built environment with very limited and disconnected patterns of landscape that typically result from development code requirements for setbacks, buffers, and vegetation. Although not a substantial presence in the area, another form of District landscape is the delineated wetland that cannot be developed.

As a result of this dramatic contrast, the District feels more developed than other parts of the Island and the loss of the Australian Pines canopy along Periwinkle Way has accentuated this urban character. However, the ongoing Periwinkle Way Restoration Project and street tree planting will, over time, replace the lost canopy with an indigenous and visually diverse tree canopy that better reflect the native plant species found on the island.

In addition, the required site buffers and vegetation do provide property owners an opportunity to introduce native plantings that mimic natural habitats, which will better integrate the District into the larger Sanibel ecological system.



*Examples of Open Space types*

### *Shared-Use Pathway*

The District has an extensive network of shared-use paths (see Figure 5) that occur in a number of different configurations, from Periwinkle Way's curvilinear paths bounded by landscape, to Tarpon Bay Road's path that exists as part of the roadway separated by only a thin row of flexible plastic bollards, to Palm Ridge Road's path that exists as an extension of adjacent property parking areas. In each configuration, path user and vehicle conflicts that result from the seemingly unlimited car access points that cross the paths throughout the area must be addressed.

Despite these differences, any sunny day will find numerous bicyclists using the shared-use pathway network. The benefits of this are threefold; use helps reduce vehicular traffic congestion; use improves the personal health of residents; and pedestrian and bicycle activity contributes to the unique sense of place that is Sanibel.



*Examples of Shared-Use Paths*

The City has undertaken a comprehensive update of its Shared-Use Path network and a plan for path improvement and expansion will result from this on-going study.

**Roadways and Parking**

The roadway network within the District consists of six roads (see Figure 5), which are:

- Periwinkle Way
- Palm Ridge/ Captiva Sanibel Road
- Tarpon Bay Road
- Dunlop Road
- Library Road
- Wax Myrtle Way

Periwinkle Way, Palm Ridge Sanibel Captiva and Trapon Bay are all classified as Two Lane Arterial Roads in the Existing (2006) and Future (2026) Traffic Circulation Map (Sanibel Plan). The Sanobel Plan does not identify a classification for the other district roadways.

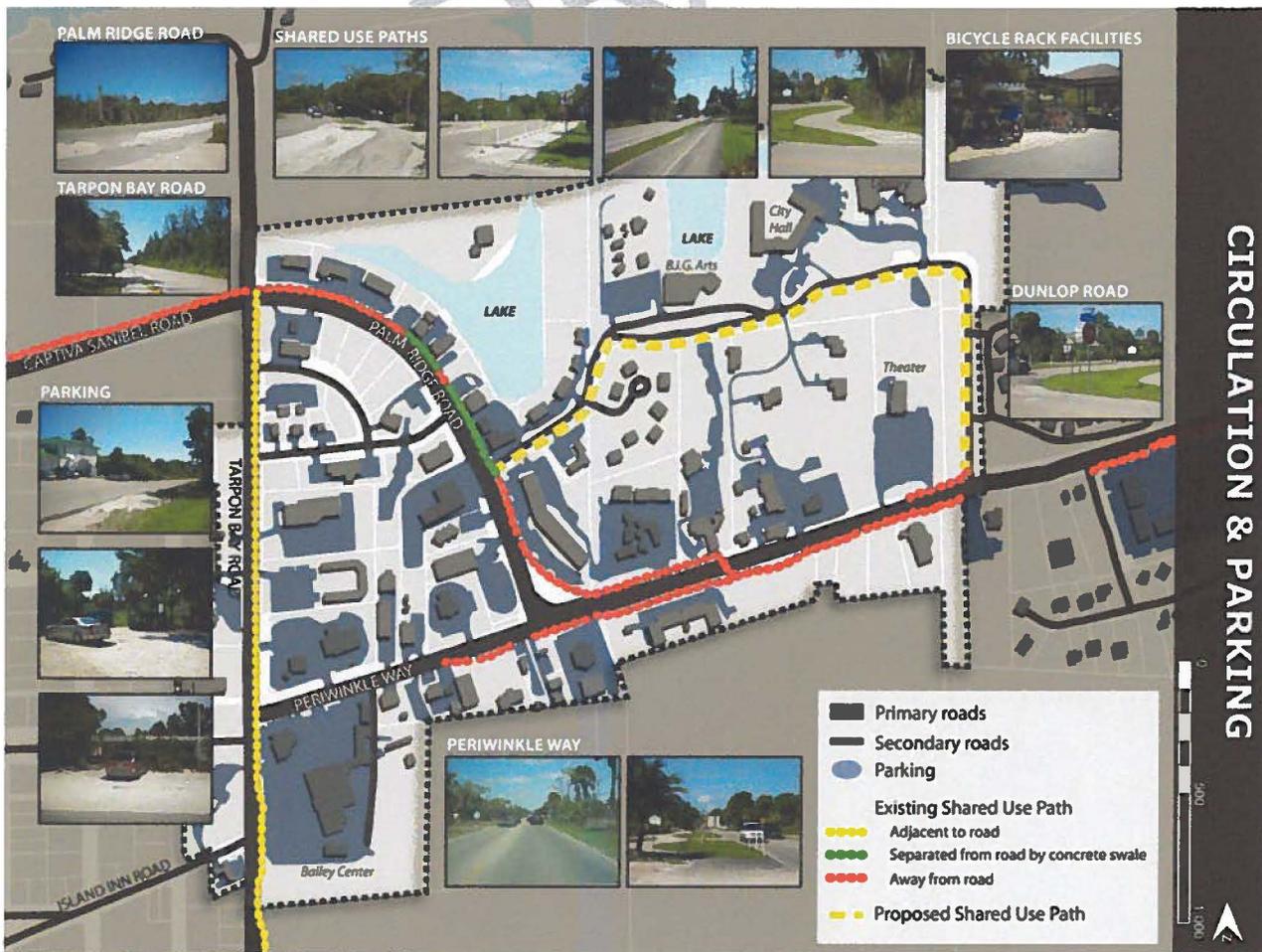


Figure 8: Circulation and Parking Diagram

As the title of this study suggests, Periwinkle Way is the primary roadway within the District. All roadways are configured as two lanes with two-directional traffic, and medians, or divided roadways, are limited to portions of Dunlop Road. Consistent with the Sanibel Plan, the City continues to encourage alternative modes of movement, strives to reduce auto ridership, and improve vehicular circulation through congestion and access best management practices.

On-street parking is prohibited throughout the Island, with all required parking provided within the boundary and setbacks of each property. One result of this is the occurrence of multiple vehicular access points along one property, and along some roadway segments the edge is one continuous point of access. This is especially evident along the northeastern edge of Palm Ridge Road, where head-in parking occurs along the full length of some properties.



Examples of district roadways and large access zones

### Regulatory Framework

The study area is one of Sanibel's primary commercial nodes, but it differs from the other Island nodes along Periwinkle way in its mix of public / institutional, civic and cultural uses with Commercial uses in close proximity (see Figure 9). Two commercial districts, Town Center General (TCG) and Town Center Limited (TCL), regulate commercial use in the study area (see Figure 10). While the permitted Floor Area Ratio (FAR) in these districts is slightly higher (0.12) than in other commercial zones (General Commercial) on the island, a significant number of existing buildings exceed current allowable zoning FAR requirements (see Figure 11). As a result, any redevelopment effort on these parcels would mean a decrease in the commercial FAR of the non-conforming properties. Therefore whatever



Figure 9: Existing Land Use

building activity in TCG / TCL districts has been primarily focused on renovations. However, under the City's recently adopted "build back" regulation these properties can be redeveloped to their current pre-existing non-conforming use and FAR following destruction or damage due to natural disaster that results in a loss of 50 percent of the value of the structure.

While a mix of residential and commercial uses is allowed in parcels in TCL and TCG districts, the commercial floor areas are penalized by a 1000 SF deduction of commercial GSF for every market rate dwelling unit proposed. Residential development in the non-commercial districts are regulated by the parcels' Development Intensity map. The residential capacity of the district and the island in general is regulated by the number of dwelling units each parcel can develop, which is stipulated on the City's Development Intensity map. With these different layers of regulations development scenarios may be analyzed only at a parcel level basis.

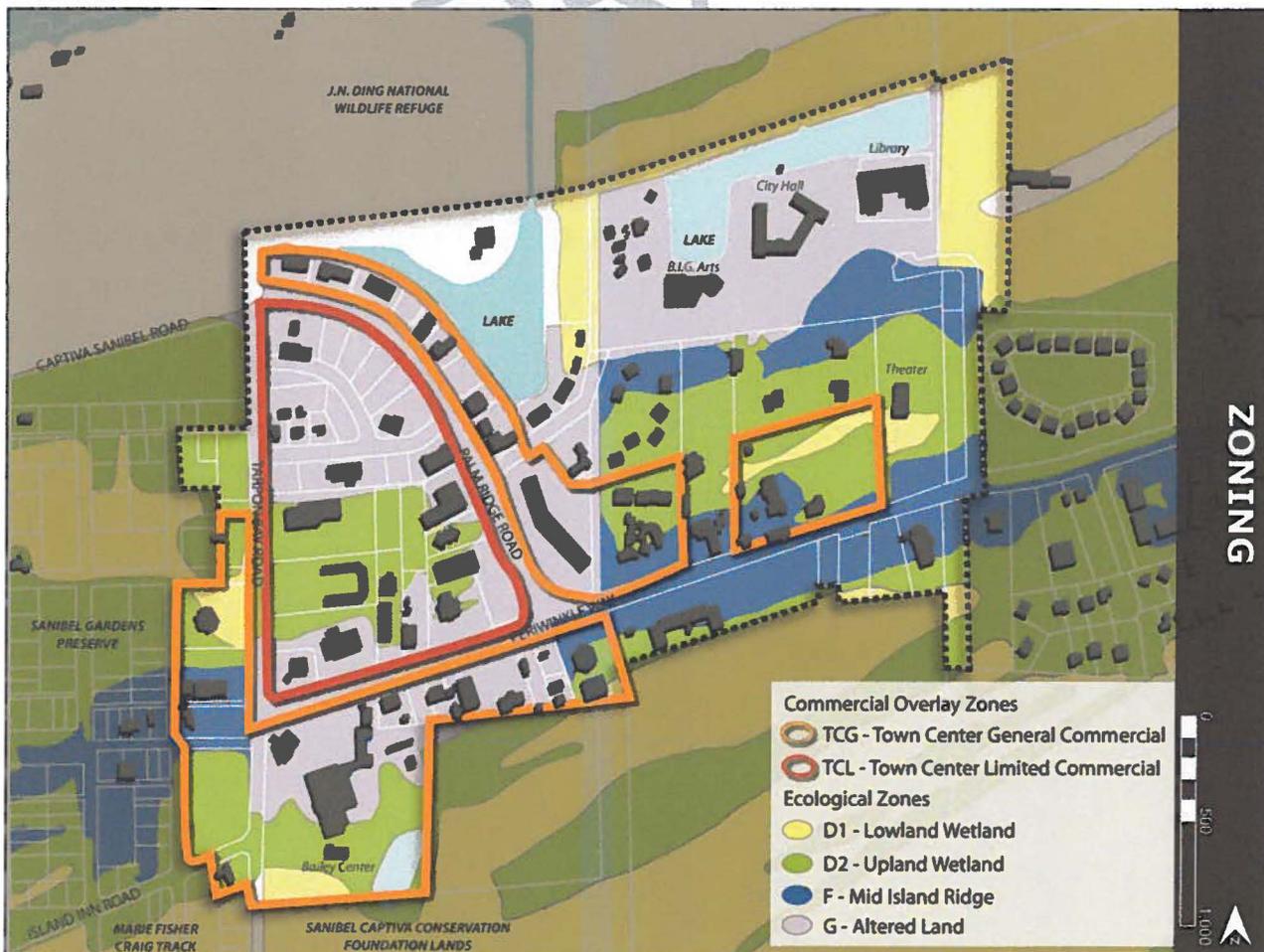


Figure 10: Town Center General & Town Center Limited Zoning Areas

In addition, maximum building heights stipulated at 45 feet above Mean Sea Level and 35 feet from the pre-developed grade, which results in a building height/scale consistent with current Island character. Lastly, parking beneath the structures is possible while meeting both flood level and building height regulations.

Sketch of building height limitations

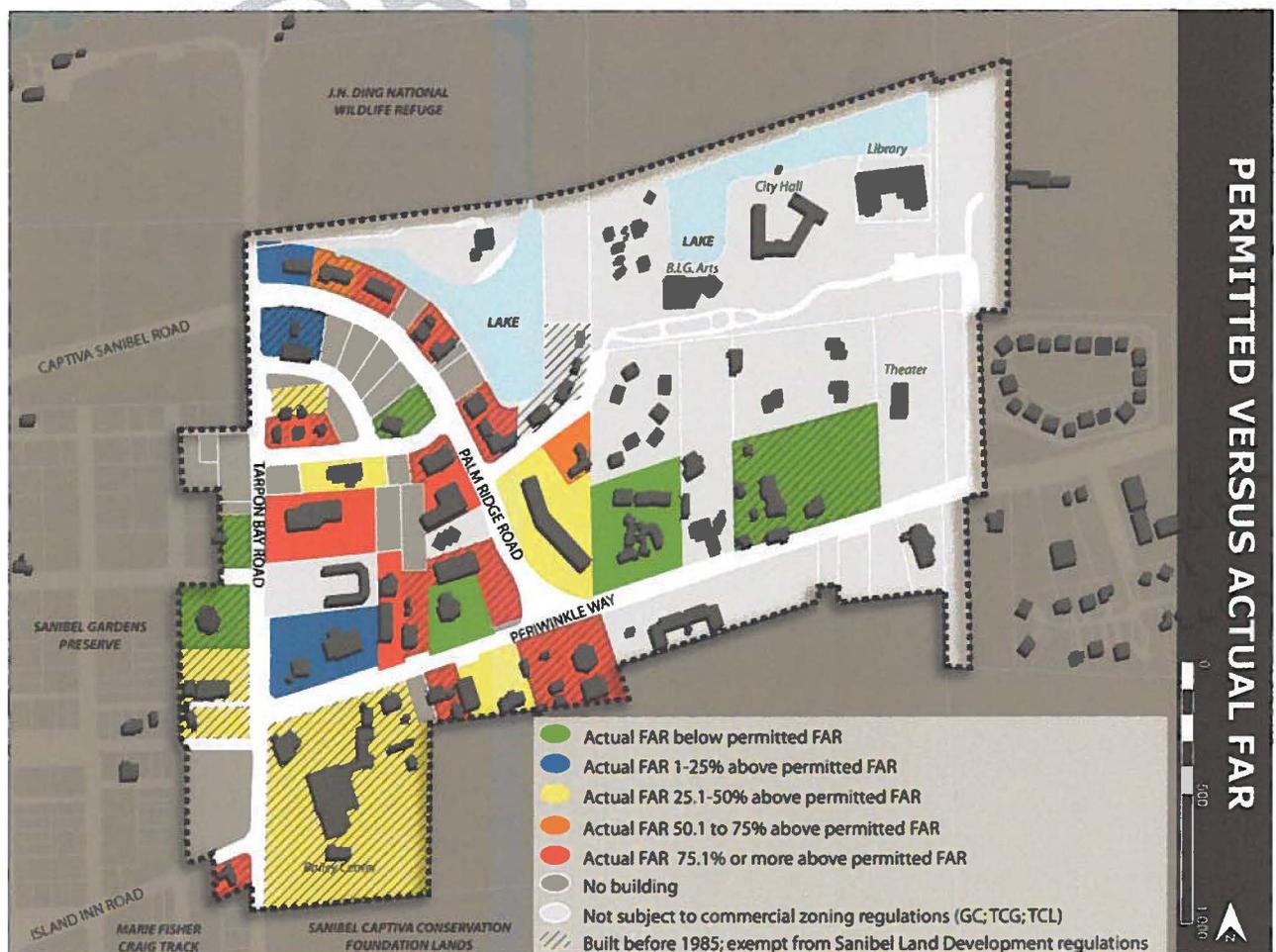
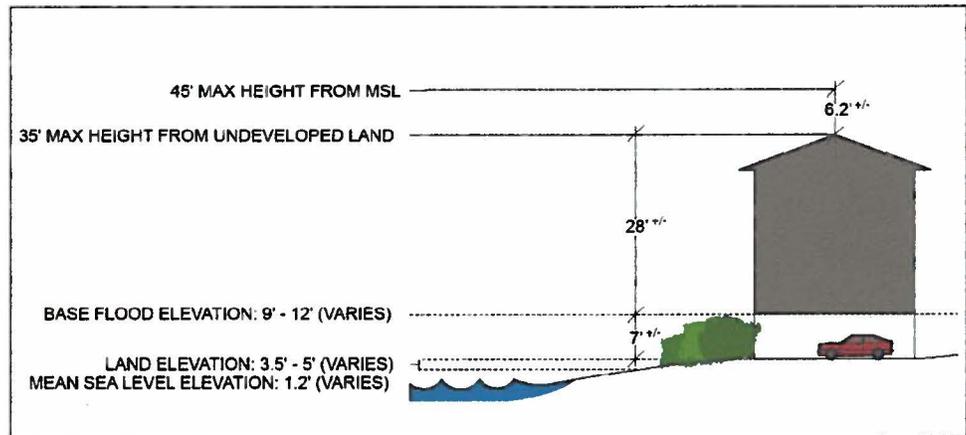


Figure 11: Permitted Vs. Actual Development Intensity

### ***Commercial Land Use Inventory***

The following data is derived from the City of Sanibel's adopted Commercial Land Use Inventory and a Resident Survey.

- The entire retail and commercial services inventory existing on Sanibel Island totals approximately 600,000 square feet.
- Seventy percent (70%) of commercial space is comprised of retail, with the other thirty percent (30%) intended for uses that are better characterized as services.
- Surveys completed in March 2006 and updated March 2007 indicate that the amount of commercial space that is normally vacant ranges from five percent (5%) to seven percent (7%).
- Approximately 82% of the Island's commercial inventory is located within the "General Commercial (GC)," "Town Center General (TCG)," and "Town Center Limited (TCL)" districts. These three districts contain 85% of retail space, 95% of services, and 28% of miscellaneous commercial not classified as retail or services.

*The City of Sanibel will resist pressures to accommodate increased development and redevelopment that is inconsistent with the Sanibel Plan, including this Vision Statement.*

*Sanibel Vision*

---

## **OPPORTUNITIES and CONSTRAINTS**

Based on preliminary findings and input from the community and research, a summary of preliminary district opportunities / constraints have been identified (see Figure 7) for further discussion. The summary represent a broad range of issues and recommendations; from site specific, to development codes, to land use and zoning.

### ***District Wide***

The following is a brief description of the identified District-wide opportunities and constraints:

#### ***Constraints:***

##### **FAR:**

The majority of retail and commercial properties within the District exceed the Floor Area Ratio (FAR) designated for that parcel. This has resulted in a disincentive to new development.

##### **Mixed-Use:**

The current Land Development Code requires the reduction of allowable retail/commercial FAR by one thousand feet (1,000 feet) for every market rate residential unit included in a mix-use development. This requirement discourages the concentration of residential development within the Island's core area of primarily altered land that is consistent with the density intensity map. Concentrating residential development within the core would encourage bicycle and pedestrian circulation and reduce the amount of building, infrastructure and roadway development in greenfields.

##### **Shared Parking Prohibitions:**

The current development code prohibits shared parking between zoning and land use classification, which limits opportunities for mixed-use development, and the creation of shared parking pools that could simultaneously serve civic, residential and parking needs.

**Wayfinding and Signage:**

The City does not have clear and consistent wayfinding and signage that would help circulation of residents and visitors through the District.

**Building Setbacks on Arterial Roads:**

Properties abutting an two-lane arterial roadway are required to be set back 100-feet from the centerline of the roadway. This results in large areas of surface parking fronting buildings.

**Lack of Comprehensive Design Guidelines:**

Inconsistent development, redevelopment and renovation of district properties: Architecture, open space, landscape, sustainable building, green infrastructure, stormwater, etc.

**Poor connectivity between different district areas:**

Linkage to civic and cultural uses  
Linkage between district and surrounding conservation areas  
Fragmented shared-use pathway system

**Transfer Development Rights (TDR):**

Internal district  
External district

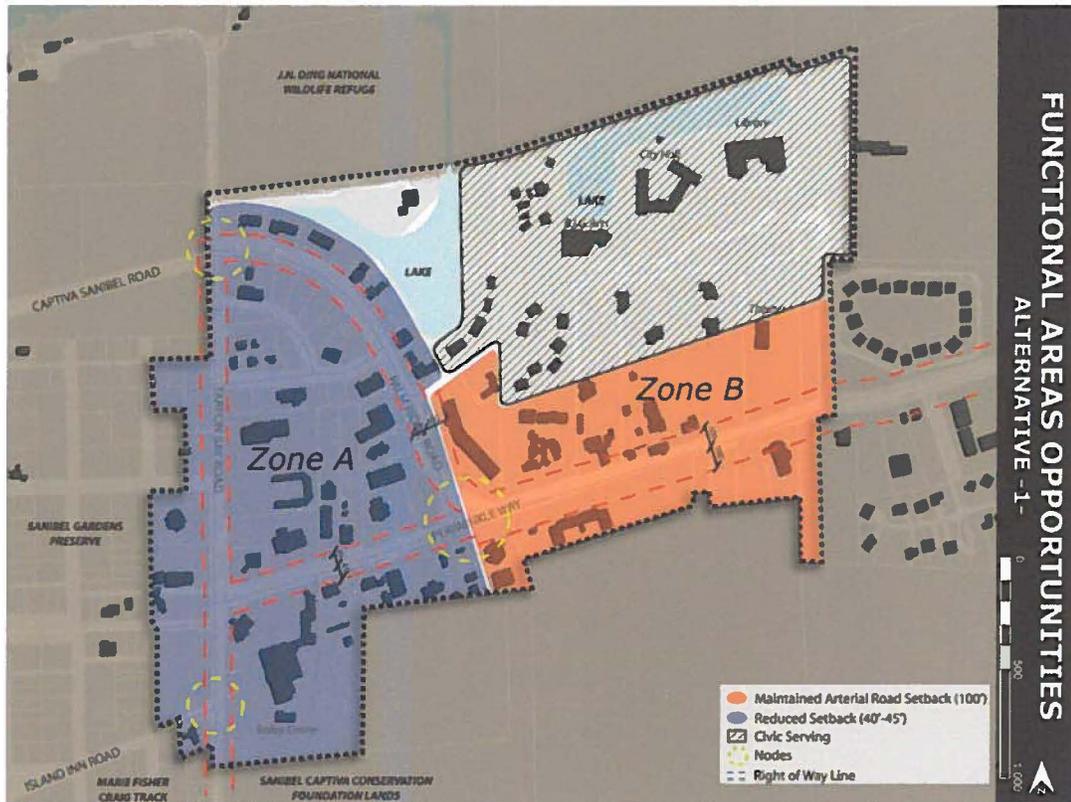


Figure 12: Functional Areas Option 1

**Opportunities:**

**Functional Use Options:**

Two different scenarios that re-define the District into two broad development categories defined by new building setbacks (see Figures 12 & 13):

**Zone A:**

Modified development regulations would focus development closer to streets, creating a pedestrian oriented and more human scale environment.

**Zone B:**

This area would retain the deep 100' setbacks required along minor arterial roads and include significant native vegetation buffers with integrated shared-use pathways. These zones are signature gateways.

**Dunlop Road Improvements:**

Reconfigure Dunlop Road into a continuous bifurcated roadway from Periwinkle Way to Palm Ridge Road, with significant center median bio-swales with wetland native plants. The newly configured roadway would ease movement through the civic area and provide a clear wayfinding and directional hierarchy that is currently missing.

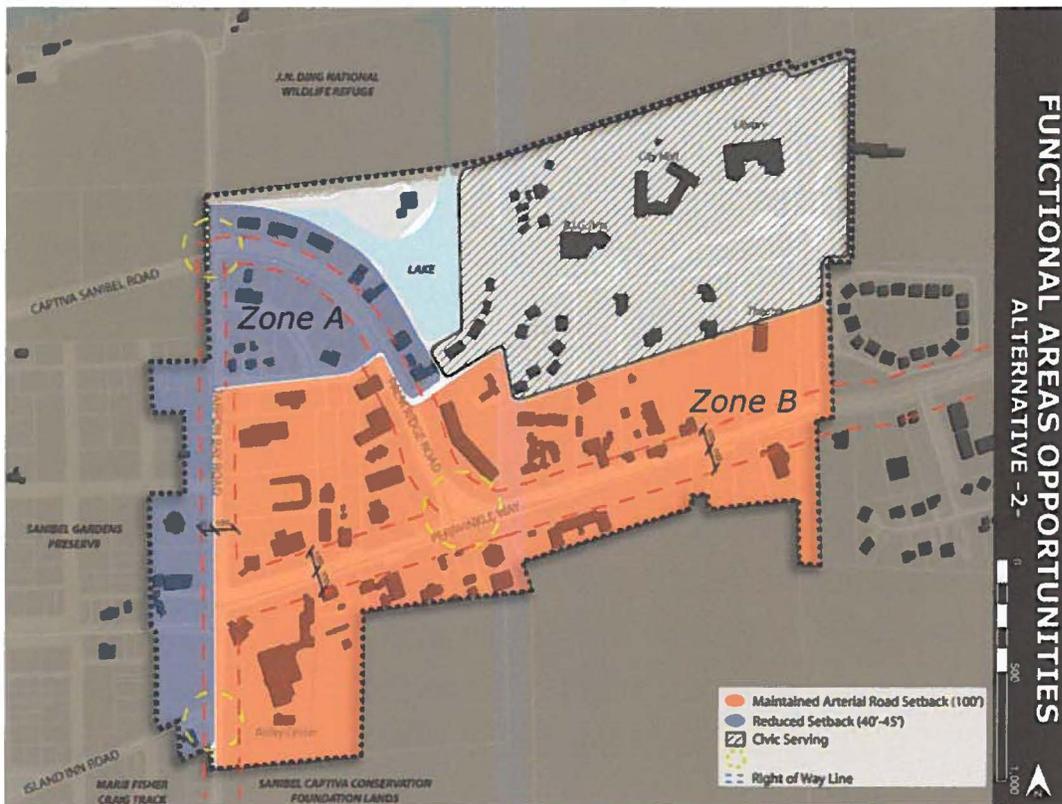


Figure 13: Functional Areas Option 2

**Palm Ridge Road Improvements:**

Reconfigure the public realm rights-of-way (+-80 feet) into a more human-scaled corridor that provides street vegetation and safe shared-pathways. The new cross-section would retain current vehicular traffic lanes, but transform the remaining rights-of-way of approximately 29 feet into a vegetated shared-use pathway, that would consist of:

*A 9.5-foot native vegetation buffer strip along the roadway edge, with an adjacent 10-foot wide porous pavement shared-use pathway, and then another 9.5-foot native vegetation strip to buffer users from private property parking, etc.*

Palm Ridge Road Improvements



Before



After



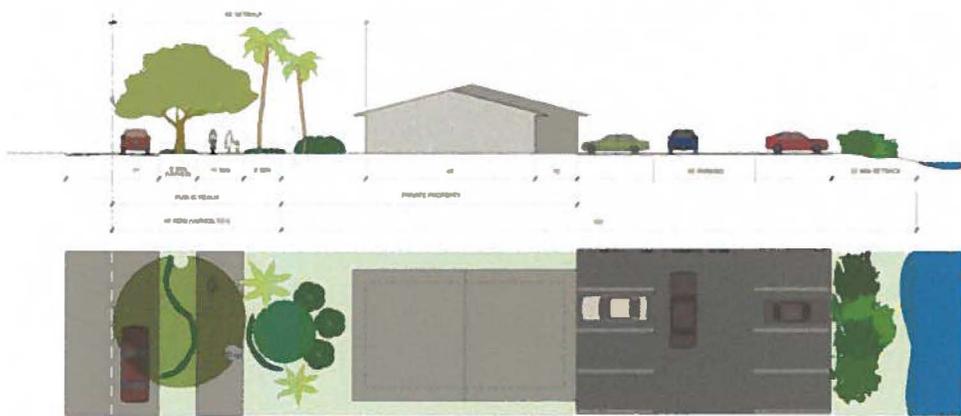
Cross Section & Plan View of Improvements within Existing Rights-of-Way



Before



After



Cross Section & Plan View of Improvements with New Rights-of-Way

**Recycling Center:**

Relocate and expand the Recycling Center to land adjacent to existing Public Works Department facility. This will allow access and use of this centrally located open space that links the civic complex with the theater and other areas to the south.

**Vehicular ingress/egress limits to properties:**

Restrict the number and size of vehicular access points into individual properties, which would provide larger areas for vegetation and reduce shared-use path/vehicular conflicts. The number and size of access points would be based on the linear length of property along a minor arterial roadway.

**Green Building Incentives:**

The City and Chamber of Commerce should investigate the development of Green Building incentive programs and policies that would encourage sustainable renovations, additions and new construction. This would help reduce ecological impacts to the island and be consistent in spirit with the original and amended versions of the Sanibel Plan.

### ***Focus Area***

A diagram of each Focus Area and the impacts of the current development code were created to demonstrate property development to allowable standards, without a complete Build-Back due to natural disaster. The diagrams show maximum allowable commercial at one story, and where appropriate, an option that includes workforce housing, and/or market-rate housing. Each of the diagrams demonstrates the design consequences resulting from current code, which suggest a re-examination of the development code's setback and other site requirements, especially as they affect the character and quality PWD environment.

In addition, three very preliminary organization option for Focus Area A were created that expand upon current code limitations and explore very different possible site redevelopment possibilities, including the incorporation of adjacent lands.

### ***Potential Concept 1: Community Street***

Retail and commercial services are arrayed along a narrow "village street" that meanders northward into the site from Periwinkle Way. The single story Florida vernacular style architecture is massed to create a sequence small human scaled spaces that link the different buildings, and can serve as a necklace of 'event spaces' for festivals and seasonal events (see Figure 14).



*Sketch of aerial view along the "Community" street.*

Parking for the village is located behind, and occurs in small pods that will allow for significant canopy trees to reduce 'heat island' effect, and pedestrian access to the parking pods would be by covered pass-through.

North of the commercial area and set within native vegetation habitats would be a residential mews consisting of small groupings of multi-family attached homes with parking provided at grade level. Residences that front the Village Street would engage the street and sidewalk to create neighborhood character.

The Village Street concept would establish a community promenade where residents can shop, get coffee or ice cream, and meet neighbors in a relaxed atmosphere. It also provides a vehicular and pedestrian connection between Periwinkle Way and the Historic Village and Big Arts. The "village street" may also be closed to autos to provide another venue for events. Lastly, this option would not require zoning changes or an increase in allowable development intensity limits.

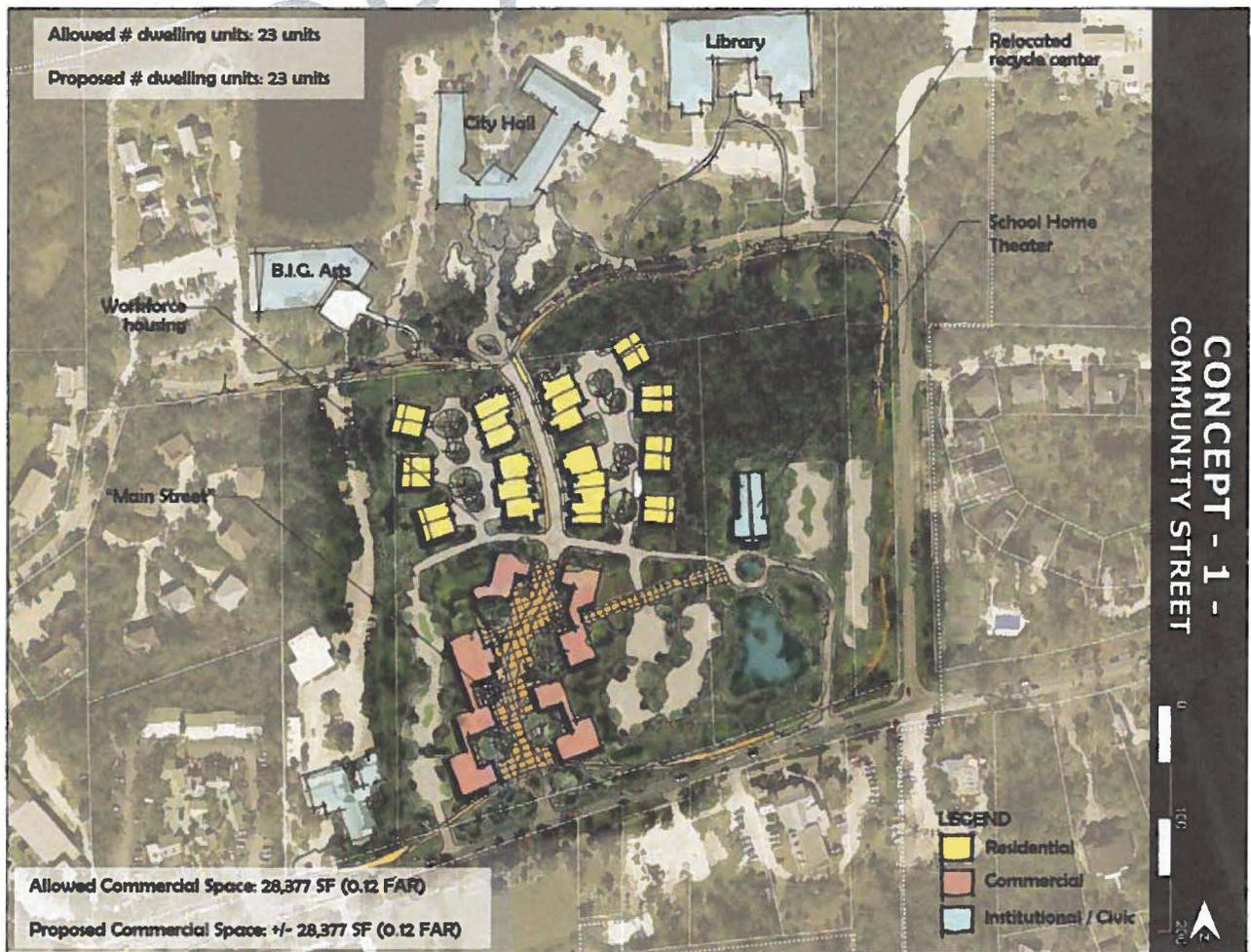


Figure 14: Concept 1 - Community Street

*Potential Concept 2: Green Commons*

Retail and commercial services are nestled within restored native mid-island ridge and upland-wetland habitats, through which pedestrians move between the various vernacular style buildings via a combination of at grade and elevated boardwalks and decks that are designed to minimize habitat impacts (see Figure 15).

Parking for the Green Commons is located behind the commercial structures, and occurs in small pods that will allow for significant canopy trees to reduce 'heat island' effect, and pedestrian access to the parking pods would be by boardwalk.

North of the area is a new civic and cultural center that would include a new Community Building that would be flexible in design to accommodate small and large events, lectures, and other civic functions. This new configuration helps integrate the existing civic and cultural facilities into the heart of the community.

Linking both the commercial and civic areas would be a large central commons that creates a community core. The design of this core would be a re-examination of what sustainable civic space can be, and as such, it would result in a uniquely Sanibel version of a commons. Rather than the traditional expanses of lawn, this



*Sketch of aerial view into the Green Commons commercial area.*

commons would be a significant wetland habitat that would attract wildlife, and it would serve a dual function as a community passive park and a storm-water management bio-swale.

The Green Commons re-creates a lush native habitat in which residents can shop and attend civic and cultural events in "green" structures that have minimal environmental impacts: Built and natural environments are seamlessly integrated. Lastly, this option would not require zoning changes or an increase in allowable development intensity limits.



Figure 15: Concept 2 - Green Commons

*Potential Scenario 3: Town Square*

Resident serving retail and commercial services frame a large open space that abuts Periwinkle Way, visually linking the Town Square with the City's new park. The large open space would include a wetland/lake, native canopy tree massings, and large areas of open lawn to accommodate civic and cultural events. In addition, this concept visually links the Theater to the "town square." An internal street surrounds the square and provides access to the commercial areas, as well as the new residential neighborhood to the north (see Figure 16).

Parking for the Town Square is located behind the commercial buildings, and the parking occurs in small pods that will allow for significant canopy trees to reduce 'heat island' effect.

The mixed-income residential neighborhood is configured along internal streets that access the internal road and Dunlop Road. This redundancy is meant to help alleviate congestion and link the neighborhood to both the Town Square and Civic Complex.

The Town Square concept embraces the idea of a "signature" civic space visible to the community. This concept does not require zoning changes or increases to development intensity limits.



*Sketch of aerial view into the Town Square.*

DRAFT

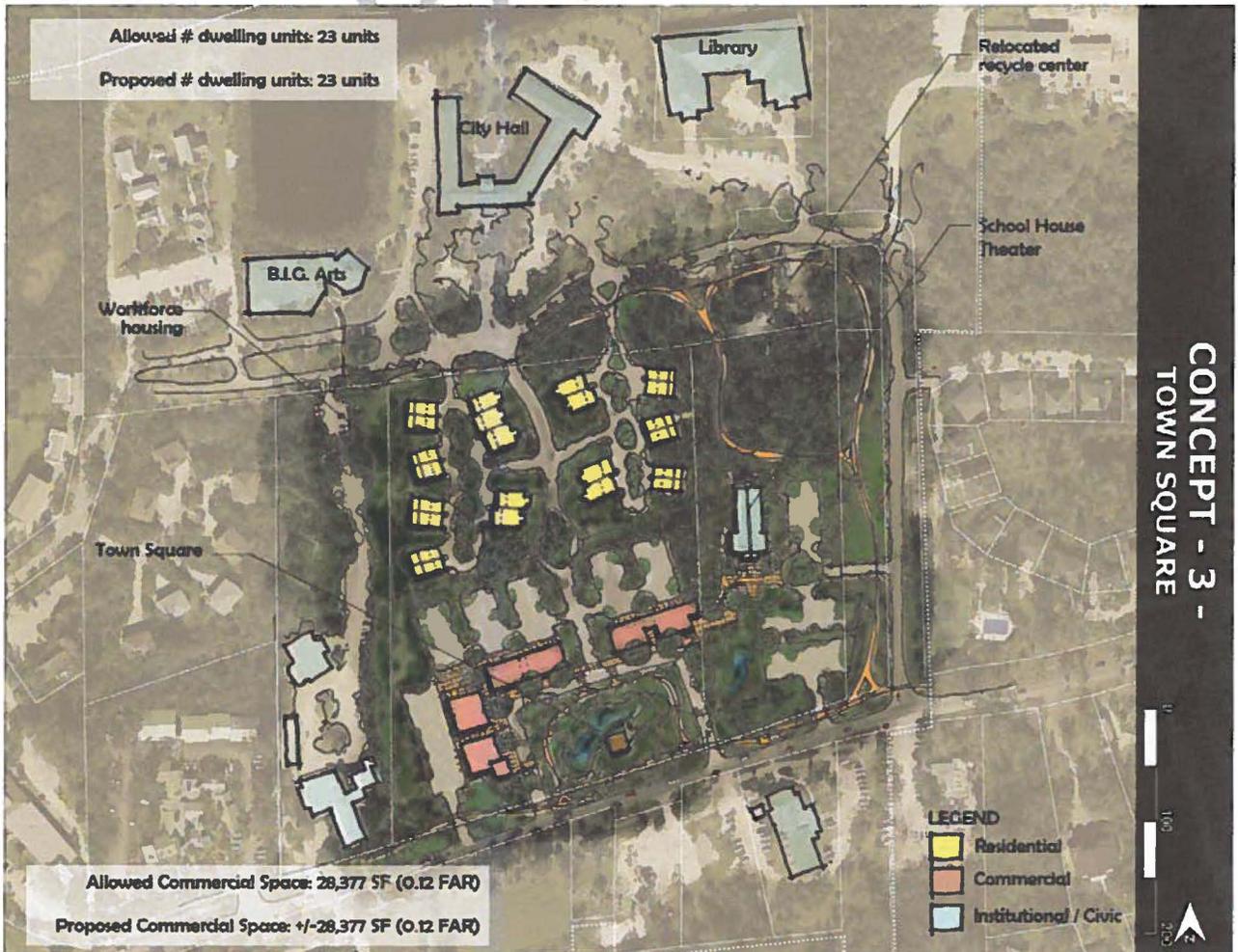


Figure 16: Concept 3 - Town Square

DRAFT

**JOINT SANIBEL CITY COUNCIL/PLANNING COMMISSION WORKSHOP  
JANUARY 15, 2008**

Mayor Denham called the meeting to order at 2:00 p. m.

Vice Mayor Johnston gave the Invocation.

Commissioner Valiquette led the Pledge of Allegiance.

Members present: Mayor Denham, Vice Mayor Johnston, Councilman Jennings, Councilman Pappas, Councilman Ruane, Commissioner Valiquette, Commissioner Marks, Commissioner Berger, Commissioner Sprankle, Commissioner Forney, Commissioner Krekel, and Commissioner Reynolds.

**Continuation of Review of Phase II Report: Toward a Vision for the Periwinkle Way West District (Robert J. Duffy, AICP, Planning Director, Alyn Pruett, AIA, WRT and William H. Owen, CRE, RERC)**

**Discussion by City Council and Planning Commission**

**Next Steps**

Discussion ensued regarding increasing density and using a method of getting around the density rules previously adopted, increasing density for the "Town Center" would set a precedence, undermining the redevelopment process, density rules all fair for all, why is there a need to increase density for a proposed "Town Center" (Knave property), if something can not be developed it is not the City's problem to increase density, less than 10 units allowed for the Knave property, density given today for the Knave property accurate, Mr. Duffy stated the LDC allows multiply of acreage and based on the consultants independent analysis there are 23 units, the planning department had the unit number higher, should a third party review the number of units allowed on the Knave property, number of units allowed if the 1,000 foot penalty were eliminated as part of the development rights, Mr. Duffy stated the residential yield was 23 units, 12% floor area ration, 25,000 sq. ft of commercial zone property and density of 4 units, leaving 19 units on the commercially zoned property, 5 specific standards (pg 15/16) , maximum number of units if the 1,000 sq foot penalty was eliminated, 19 units, number of units if all property rights were transferred from neighboring properties, Mr. Duffy stated there were 3 privately held parcels, Knave, St. Michaels, and SCA, property east and west and the church was not there it would be 6 units, theater property would have 7 units with a total of 13 units, if a parcel is currently not developed and is residential the calculation must be used and deduct the development intensity, and assume a significant amount would be reduced to half, intent of developer was not factored in the consultants report, property owner has the right to proceed with a conditional use, which of the 4 Alternatives would be selected, Mr. Pruett would select #2 or #4 or a combination, Mr. Duffy stated that it was a combination of residential and BMRH, Mr. Pruett stated #2 represented increase density, Sanibel Plan determines density on ecological zones, determination on density on zones, bad precedent to allow increased density for a special district, are BMRH density considered, Mr. Duffy stated the density was BMRH, areas not conforming due to structures having a larger structure that the foot print, separating out transferred rights to a PUD and focusing on transfer of rights and assuming people want to do that would an ordinance need to be adopted and what about a charter changer, Mr. Cuyler stated the Charter amendment deals with "density" and the question is what is the increase in density. He further stated that form a district and the density does not increase in that district, he also stated it was not clear, would need the vote of the electorate as well Council approval, not a great deal of support to increase density, changes to someone's property would have to ask the owner, Mr. Cuyler stated that the property owner would be included in the plan, and any change made with the cooperation of the property owner, ask principles of the Knave property, St. Michaels, and SCA meet for agreement and possibly include B. I. G. Arts, parking changes, changes in Dunlop, support of property owners, Mr. Duffy stated that staff would continue to met with property owners, the City has no redevelopment ordinance, and no planned unit development description in the code.

**Public Comment**

Bruce Rogers asked once an ordinance was completed what does Council want to see in the district that is not there today. He further spoke to within the commercial district the 1,000 square foot deduction be eliminated and develop the full commercial property and add residential as sited on the density map. He also stated that the Sanibel Plan

discussion was wholly on the Knave property and there should have been discussion on the Periwinkle Way District Plan, and WRT should begin working on architectural standards.

Public Comment

Roger Tabor asked for a dwelling unit definition?

Mr. Duffy stated that a dwelling unit could be a single-family home, multi-family or duplex and about 23 units.

Dr. Kaplan spoke to providing for an older population.

Dick Walsh spoke to continuing with current density and maintaining the integrity of the Sanibel Plan.

Karen Stori Johann suggested giving green buildings to a committee. She further spoke to respecting the Sanibel Plan and how to work within its constraints.

There being no further business the meeting was adjourned at 4:29 p. m.

Respectfully submitted,

Pamela Smith, CMC  
City Clerk



# City of Sanibel

Planning Department

## MEMORANDUM

DATE: January 10, 2008

TO: Judie Zimomra, City Manager

FROM: Robert J. Duffy, AICP, Planning Director

RE: **Periwinkle Way West District Plan**  
**Phase II: Toward a Vision for the Periwinkle Way West District**  
**Work Sheets for Preliminary Conclusions and Recommendations**

---

On Tuesday, January 15, 2008, City Council and the Planning Commission will convene a joint meeting at 2:00 PM in Mackenzie Hall to continue the review of the Draft Phase II Periwinkle Way West District Plan report prepared by Wallace Roberts & Todd, LLC (WRT) and Real Estate Research Consultants (RERC).

The subject report, previously provided to City Council and the Planning Commission prior to the December 18, 2007 joint meeting, provides the following:

- Profile of existing conditions, opportunities and constraints previously reported as part of the Draft Phase I report
- Summary of the community visioning workshops
- Preliminary economic and market analysis
- Preliminary district plan vision alternatives and strategies

The vision alternatives address the following key elements of the ultimate Periwinkle Way West District Plan:

1. Definition of a Town Center in the Sanibel context
2. The range of appropriate commercial land uses
3. Plans for civic, cultural and governmental uses
4. The desired architectural character and style of the district
5. The appropriateness, location and arrangement of mixed commercial and residential uses
6. Density and intensity of future development
7. Redevelopment of preexisting nonconforming properties
8. Parking
9. Public realm – open and civic spaces
10. Public realm – streets, shared use paths and pedestrian connections

To assist City Council and the Planning Commission with the important deliberations that will address many of the important planning and policy questions posed by the vision alternatives and elements defined above, the Planning Department in consultation with WRT, has prepared the enclosed report

which consists of a series of worksheets for the key district planning elements. Each worksheet identifies a district planning element and, most importantly, briefly defines preliminary policy and planning conclusions and recommendations that are necessary to guide the formulation of the preliminary district plan and supporting implementation strategies. Alternative planning and policy choices are also provided including the definition of specific sections of the Land Development Code that may require revisions.

The worksheets are designed to enable City Council and the Planning Commission to define preliminary conclusions and recommendations that will guide early implementation actions to be undertaken by the Planning Department and specific next step to be pursued by WRT and RERC as part of Phase 3 of the Periwinkle Way West district planning work program.

In addition, two attachments are provided. Attachment 1 summarizes the Land Development Code's current regulation (Sec. 126-87) associated with combined or mixed commercial and residential use developments and a possible amendment to support mixed use structures within commercial districts. Attachment 2 briefly describes the potential application and revisions to the Land Development Code's Planned Unit Development regulations (Chapter 126, Article XVI) that could serve as a possible District Plan implementation strategy.

Please contact the Planning Department if you have questions regarding the enclosed report.

C:       City Council  
          Planning Commission  
          Planning Department  
          WRT  
          RERC

*Preliminary—For Discussion Only*

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Work Sheets for Preliminary Conclusions and Recommendations**

Joint Meetings of City Council and Planning Commission

December 18, 2007  
January 15, 2008

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*Preliminary—For Discussion Only*

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Work Sheets for Preliminary Conclusions and Recommendations**

Joint Meetings of City Council and Planning Commission

December 18, 2007

January 15, 2008

| Preliminary<br>Vision Elements and Alternatives  | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |  |                |
|--|--|--|----------------|
|  | WRT  | RERC   | PLANNING DEPT. |
| <b>Economic and Market Analysis</b><br><br>Complete a basic economic and market feasibility analysis that will assist WRT during the preparation of alternative conceptual plans for the district. |  | <ul style="list-style-type: none"><li>• Clarify preliminary Sanibel Island population estimates for year round residents, seasonal residents, resort occupancy, daily visitors and employees.</li><li>• Revise preliminary commercial demand estimates to reflect expenditures by year round residents, seasonal residents, resort occupancy, daily visitors and employees.</li><li>• Define economic and commercial demand impacts associated with Sanibel's resort market segment.</li></ul> |                |

Periwinkle Way West District Plan

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Civic, Cultural and Governmental Facilities</b></p> <p>Define short and long term recommendations for maintaining, integrating, improving and expanding, as warranted, BIG ARTS, Library, Schoolhouse Theater, Historic Village, SCA and Senior Center facilities which together form the civic and cultural center of Sanibel.</p> <p>Recommendations for civic, cultural, historic and governmental facilities shall be reinforced by plans for maintaining, managing and improving this District's public spaces, pedestrian connections, shared use paths and parking facilities.<br/>(See Pages 10 – 13)</p> |  |      |                |

**Periwinkle Way West District Plan**

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives  | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|--|--|------|----------------|
|  | WRT  | RERC | PLANNING DEPT. |
| <p><b>Land Uses</b></p> <p><b>Commercial Uses</b></p> <p>Maintain the Existing Town Center General (TCG) and Town Center Limited (TCL) zoning districts as the “preferred location” for commercial and mixed use development in the geographical center of the City.</p> <p>Maintain distinction of the TCL district to support the establishment and retention of island and resident serving commercial and service uses and exclude uses (souvenir, apparel, gift, novelty and sweater shops) that principally cater to day visitors to the City.</p> <p>Establish incentives to retain and support Island serving commercial uses in both the TCG and TCL districts through adoption of new commercial redevelopment standards that enable improvements and reconstruction of pre-existing non-conforming structures at a higher floor area ratio. (See Redevelopment, Page 8)</p> |  |      |                |

**Periwinkle Way West District Plan**

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |  |
|---|--|------|--|
|   | WRT  | RERC | PLANNING DEPT.   |
| <p><b>Land Uses (Cont'd.)</b></p> <p><b>Mixed Uses</b></p> <p>Encourage mixed use structures consisting of commercial space, market rate and/or below market rate housing by eliminating the 1000 sq. ft. reduction in permitted commercial floor area for each market rate dwelling unit as defined by LDC Chapter 126, Conditional Uses, Sec. 126-87 Combined Commercial and Residential Development. (See Attachment 1, Page 14)</p> |  |      | <p>Prepare amendment to the LDC for Public Hearings with the Planning Commission and City Council.</p> |

**Periwinkle Way West District Plan**

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives  | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|--|--|------|----------------|
|  | WRT  | RERC | PLANNING DEPT. |
| <p><b>Residential Density and Commercial Intensity</b></p> <p><b>Residential Density</b></p> <p><b>Alternative 1</b></p> <p>Maintain existing permitted residential density pursuant to the adopted Sanibel Plan (Official Density Intensity Maps) and consistent with LDC Chapter 126, Sec. 126-976 which stipulates that the maximum number of dwelling units permitted on a <u>lot or parcel</u> which consists of areas having different residential densities shall be the total of the dwelling units permitted by those areas.</p> <p><b>Alternative 2</b></p> <p>Maintain existing permitted residential density pursuant to the adopted Sanibel Plan (Official Density Intensity Maps) and adopt a specific "Master Redevelopment Plan" for a defined Planned Redevelopment District to be adopted and incorporated as part of LDC Chapter 126 Zoning, Article XVI Planned Unit Development (PUD). The Planned Redevelopment District would define the specific total residential density permitted for all of the lots or parcels included within the District consistent with the adopted Sanibel Plan. Transfer of residential density between lots within the District would be permitted consistent with the District's adopted Master Redevelopment Plan and defined conditions and standards. (See Attachment 2)</p> |  |      |                |

**Periwinkle Way West District Plan  
Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Residential Density and Commercial Intensity (Cont'd.)</b></p> <p><b>Residential Density (Cont'd.)</b></p> <p><b>Alternative 2 (Cont'd.)</b></p> <p>Specific long form development permit applications would be subject to conditional use approval by both the Planning Commission and the City Council.</p> |  |      |                |

**Periwinkle Way West District Plan  
Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <b>Residential Density and Commercial Intensity (Cont'd.)</b><br><br><b>Commercial Intensity</b><br><br><b>Alternative 1</b><br><br>Maintain the current Town Center General (TCG) and Town Center Limited (TCL) permitted commercial Floor Area Ratios (FAR) of 12% for the commercially designed portion of a lot or parcel.<br><br><b>Alternative 2</b><br><br>See Redevelopment, Page 8 |  |      |                |

**Periwinkle Way West District Plan**

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Redevelopment</b></p> <p><b>Alternative 1</b></p> <p>Redevelopment of pre-existing non-conforming structures within the planning district shall only occur pursuant to the City's adopted "Build-Back" regulations.</p> <p><b>Alternative 2</b></p> <p>Define specific redevelopment site planning and design standards, pursuant to an adopted District Plan and the Sanibel Plan, as part of the Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts. The Planning Commission may consider long form applications for redevelopment of pre-existing non-conforming structures and sites that currently exceed the permitted 12% Floor Area Ratio. The total floor area of the redevelopment application would be limited to the existing non-conforming floor area or a maximum percentage increase in floor area above the current 12% FAR. Also, commercial floor space would be dedicated to Island service commercial uses.</p> |  |      |                |

**Periwinkle Way West District Plan**

Work Sheets for Preliminary Conclusions and Recommendations

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Architectural Character</b></p> <p>Define specific design, architectural, and landscape architectural design and site planning guidelines, in both text and illustrated formats, for the Town Center General (TDG) and Town Center Limited (TCL) districts. The guidelines will address specific sub areas of the district such as Periwinkle Way and Palm Ridge Road to reflect recommended District redevelopment objectives.</p> <p>The guidelines will be established pursuant to LDC Chapter 126 Zoning, Sec. 126-1028 and 1029 which stipulate that “City Council may adopt and, from time-to-time, amend an illustrated guide of architectural standards to aid in the administration and interpretation” of commercial district regulations.</p> <p>Define a specific District design review process and associated procedures and responsibilities necessary to effectively administer and achieve the District Plan’s redevelopment objectives.</p> |  |      |                |

**Periwinkle Way West District Plan  
Work Sheets for Preliminary Conclusions and Recommendations**

| Vision Elements and Alternatives  | Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Public Realm – Open Space</b></p> <p>Goal: The District Plan shall identify strategies to fully integrate the surrounding environmentally sensitive lands and natural area into the City's commercial and civic center.</p> <p><b>Alternative 1</b></p> <p>The District Plan shall also recommend short and long range strategies to maintain and improve the existing civic, park and recreation spaces and facilities that serve Sanibel residents and visitors. Recommendations for improving pedestrian and landscape connections between these important public spaces and existing and future private residential and commercial development.</p> <p><b>Alternative 2</b></p> <p>The District Plan shall also define short and long term strategies for not only maintaining and improving existing civic, park and recreation spaces and facilities. The District Plan will also provide recommendations for the location, size, character and quality of expanded and/or new civic spaces that will complement and reinforce the center of Sanibel and support the range of programs, events and activities that serve Island residents and visitors.</p> |  |      |                |

**Periwinkle Way West District Plan  
Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Public Realm – Streets and Paths</b></p> <p>The District Plan will define a comprehensive set of inter-related recommendations to improve and expand pedestrian and bicycle accessibility and connectivity between civic, cultural, governmental, park, recreation, residential and commercial uses. The Plan will be integrated with recommendations for managing and improving open spaces and the public and private parking locations.</p> <p><b>Specific Recommendations Will Address:</b></p> <ul style="list-style-type: none"> <li>a. Dunlop Road</li> <li>b. Palm Ridge Road</li> <li>c. Shared Use Path improvements along Periwinkle Way and Tarpon Bay Road</li> <li>d. Pedestrian connections between the Historic Village, BIG ARTS, City Hall, Library, SCA, Schoolhouse Theater and commercial and residential properties within the District.</li> </ul> |  |      |                |

**Periwinkle Way West District Plan  
Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Parking</b></p> <p><b>Shared Parking</b></p> <p>Amend LDC Chapter 126 Zoning, Article XVI Off-Street Parking and Loading to enable the Planning Commission to approve shared parking plans that will recognize varying parking demands associated with mixed use development and between adjoining commercial properties to achieve the objective of the District Redevelopment Plan and the Sanibel Plan.</p> <p><b>Civic, Cultural and Government Facility Parking</b></p> <p>Define shared and long range parking management and improved plans to improve access and connectivity between the 460 parking spaces dedicated to the District's Civic, Cultural and Governmental facilities.</p> |  |      |                |

**Periwinkle Way West District Plan  
Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Parking (Cont'd.)</b></p> <p><b>Special Event Parking</b></p> <p>Prepare a special event parking location and management plan to support the Island's major seasonal special events, insure pedestrian safety and accessibility and minimize traffic congestion and circulation.</p> <p><b>On-Site Commercial Parking Locations</b></p> <p>Prepare revisions to LDC Chapter 126, Article VIII Commercial Districts, Sec. 126-494(c), 514(c) and 534(c) to enable modification of the existing 100 ft. setback from the center line of a minor arterial or collector road in order to eliminate the strip commercial appearance of commercial properties and centers and provide revised management, landscaping, site planning and design standards and/or guidelines to enable the Planning Commission to consider long form applications.</p> |  |      |                |

Attachment 1

*Preliminary—For Discussion Only*

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Summary of Existing Regulations and Potential Revisions  
Land Development Code Chapter 126 Zoning,  
Article IV Conditional Uses, Sec. 126-87  
Combined Residential and Commercial Development**

The following is a summary of both the existing and potential regulations of the Land Development Code that pertain to Mixed Residential and Commercial Development.

**1. Existing Mixed Use or Combined Residential and Commercial Development Regulations (LDC Sec. 126-87)**

- Combined (Mixed Use) residential and commercial development may be permitted as a conditional use subject to approval by the Planning Commission and the following conditions:
  - (1) Only one dwelling unit permitted unless the hours of the commercial uses are between 8:00 A.M. and 9:00 P.M., or unless the commercial uses and parking are separated from the residential units by 100 feet or more.
  - (2) Site plan is designed to minimize detrimental impacts of commercial activity on residential uses.
  - (3) Site plan is designed to provide a “pleasant” residential environment.
  - (4) Provide total required parking for both commercial and residential uses.
  - (5) **Dwelling units may be permitted up to a maximum number of dwelling units permitted by the development intensity map, provided the maximum permitted commercial floor area is reduced by 1,000 square feet for each dwelling unit.**

*Example: If a parcel or lot is zoned for 6,000 sq. ft. of commercial development and 2 dwelling units, the resulting conditional use application could enable 4,000 square feet of commercial space and 2 dwelling units.*

**2. Potential Amendment to the Land Development Code, Chapter 126 Zoning, Section 126-87 Combined residential and commercial development.**

A preliminary recommendation from the Draft Periwinkle Way West District Planning effort is as follows:

- (a) Amend Sec. 126-87 to define the conditions by which the Planning Commission could approve future plans for mixed residential and commercial structures without imposing the 1000 sq. ft. reduction of permitted commercial floor area for each dwelling unit provided.

Attachment 1 (Cont'd.)

Preliminary—For Discussion Only

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Summary of Existing Regulations and Potential Revisions  
Land Development Code Chapter 126 Zoning,  
Article IV Conditional Uses, Sec. 126-87  
Combined Residential and Commercial Development**

**Example 1:** If a parcel or lot is zoned for 6,000 sq. ft. of commercial development and 2 dwelling units, the resulting conditional use application could enable 6,000 sq. ft. of commercial space and 2 dwelling units if the commercial floor area would be dedicated to Island serving commercial uses and the development plan would only enable a mixed use structure consistent with specific site planning, architectural, landscape architectural, parking and other standards and conditions.

**Example 2:** Nave Property (See Page 16)

Permitted Commercial Floor Area = 28,000 Sq. Ft.  
Permitted Residential Density = 23 dwelling units

Under current regulations the range of permitted commercial floor area and dwelling units would be as follows:

23 dwelling units and 9,000 sq. ft. of commercial floor area to 5 dwelling units and 27,000 sq. ft. of commercial floor area.

With the potential elimination of the 1,000 sq. ft. commercial floor area penalty for each dwelling unit, the following alternative would be possible.

**Alternative:** On the commercially zoned (Town Center General) portion (5.4 acres at 12% Floor Area Ratio) of the Nave property a total of 28,000 Sq. Ft. of commercial floor area and 19 market rate dwelling units would be permitted as part of mixed use structures under the following conditions:

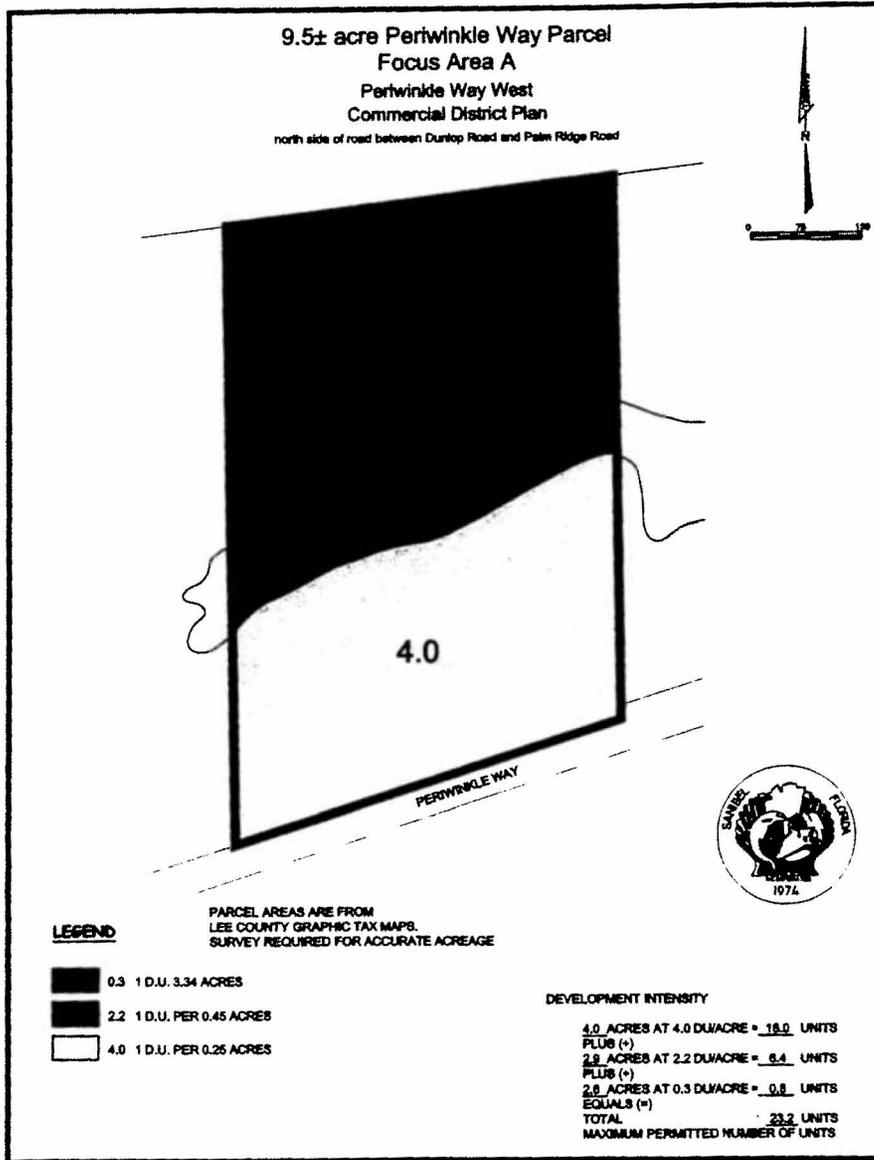
- a. Island serving commercial floor area
- b. Subject to Town Center General commercial district regulations
- c. Shared parking plan
- d. Subject to new mixed use site planning and design standards



*Preliminary - For Discussion Only*

**Periwinkle Way West District Plan  
Update for Focus Area A (Nave Property)  
2240 Periwinkle Way (Tax Parcel No. 26-46-22-T2-00009.0000)**

Source: Planning Department  
January 2008



**A. EXISTING CONDITIONS:**

|   |  |
|---|--|
| 1. Parcel Size  | 9.5 Acres (estimate)   |
| 2. Ecological Zones   | Lowland Wetlands; Upland Wetlands and Mid Island Ridge   |
| 3. Development Intensity<br><i>(See LDC Section 126-678 Applicability of regs. to parcels ... w/ varying residential densities)</i> | 4.0 DUs/Ac or 1 DUs/.25 Acres<br>2.2 Dus/Ac or 1 DUs/.45 Acres<br>0.3 Dus/Ac or 1 DUs/3.34 Acres   |
| 4. Existing Land Uses<br>Residential<br>Commercial (Sanibel Square Center)  | 3 Single Family Residential Units<br>17,100sf Commercial Floor Area  |
| 5. Commercial Zones   | Town Center General (TCG)<br>5.4 Acres @ 12% Floor Area Ratio  |
| 6. Permitted Land Uses<br>Residential   | Single Family and Two Family<br>Multi-Family (w/in 400' of Periwinkle not in Lowlands)<br>Cluster Housing (See LDC Section 66; Art III; Div 3)<br>Below Market Rate Housing<br>All Permitted Commercial Uses |
|   | Commercial (See LDC Ch 126; Art VIII)  |

**B. PERMITTED DEVELOPMENT**

|   |   |
|---|---|
| 1. Residential  | 16 Dwelling Units<br>6.4 Dwelling Units<br>0.8 Dwelling Units<br>23 Dwelling Units  |
| 2. Commercial   | 28,000sf of Commercial Floor Area<br><i>(See LDC Ch 126; Art VIII Permitted &amp; Conditional Uses)</i>   |
| 3. Combined Residential & Commercial<br><i>(Conditional Use - See LDC Section 126.67)</i> | 1 Du, in addition to the 4 Dus permitted outside the TCG District, can be developed for every 1,000sf reduction of permitted com. floor area (not to exceed the total of 23 Dus for the entire 9.5 acre parcel). Ergo:<br>23 Dus & 9,000sf of Com. Floor Area to<br>5 Dus & 27,000sf of Com. Floor Area |

L:\map zoning density nave prop

Attachment 2

*Preliminary—For Discussion Only*

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Summary and Outline of Potential  
Planned Redevelopment District Amendment  
To Land Development Code Chapter 126 Zoning  
Article XVI Planned Unit Development**

The following is a preliminary summary and outline of the potential purpose, objectives, location, master redevelopment plan, land uses and required conditions, standards and guidelines that would be associated with a new Division 4 Planned Redevelopment District that would be an amendment to Article XVI of the Land Development Code.

**A. Potential Amendment 1 – Establish Specific Purpose and Objectives for a Planned Redevelopment District**

Amend Division 1. General, Section 126-1431 to include the following:

1. Statement of specific purpose and objectives for Divisions 2 and 3.
2. Statement of specific purpose and objectives for a new Division 4 Periwinkle Way West Planned Redevelopment District.
  - District defined for redevelopment by the Sanibel Plan (See Page 237)
  - Must implement the Sanibel Plan's, Vision, Goals and Policies
  - Incorporates a specific Master Redevelopment Plan recommended by the Planning Commission and approved by City Council
  - The Master Redevelopment Plan will produce one or more of the following explicit public benefits including: dedication of land for public use; conservation or restoration of environmentally sensitive land; provides for improved pedestrian and bicycle access and safety; reduces vehicular trips and congestion; establish a unified and shared parking plan; provides for Island sensitive and "green" site planning and design; and enables a comprehensive, coordinated and sustainable land use plan.
  - Expressly limited to the Periwinkle Way West District and distinct sub-areas including the Town Center and Palm Ridge Road areas as defined by the Sanibel Plan. (See Pg. 257)

*Preliminary—For Discussion Only*

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Summary and Outline of Potential  
Planned Redevelopment District Amendment  
To Land Development Code Chapter 126 Zoning  
Article XVI Planned Unit Development**

**B. Potential Amendment 2 – Establish a Specific Periwinkle Way West Redevelopment District.**

Adopt a new Division 4. Periwinkle Way West Planned Redevelopment District as part of Article XVI Planned Unit Development with the following Sections:

**Sec. 126-1476 District Purpose and Objective**

- Area defined for redevelopment by the Sanibel Plan
- Implementation of the Sanibel Plan
- Implementation of a specific redevelopment master plan recommended by the Planning Commission and approved by City Council
- Must implement a redevelopment plan that defines one or more of the following explicit public benefits including: dedication of land for public use; conservation and/or of existing environmentally sensitive land; provides for improved pedestrian access and safety; reduces vehicular trips and congestion; unified parking plan; provides for Island sensitive and “green” site planning and design; and enables a comprehensive, coordinated and sustainable land use plan.

**Sec. 126-1477 District Boundary**

See enclosed map. Boundaries must include City properties that will **directly benefit** from the proposed Planned Redevelopment District.

**Sec. 126-1478 Applicability**

All provisions of Land Development Code to apply except as otherwise specified by this Article.

**Sec. 126-1479 Master Development Plan**

To be recommended by Planning Commission and adopted by City Council pursuant to final recommendations of the Periwinkle Way West District Plan.

Attachment 2 (Cont'd.)

*Preliminary—For Discussion Only*

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Summary and Outline of Potential  
Planned Redevelopment District Amendment  
To Land Development Code Chapter 126 Zoning  
Article XVI Planned Unit Development**

**Sec. 126-1480 Density and Intensity**

Permitted overall District residential density shall be based on Sanibel Plan and Development Intensity Maps.

Permitted residential density may be transferred between properties within the district subject to the following:

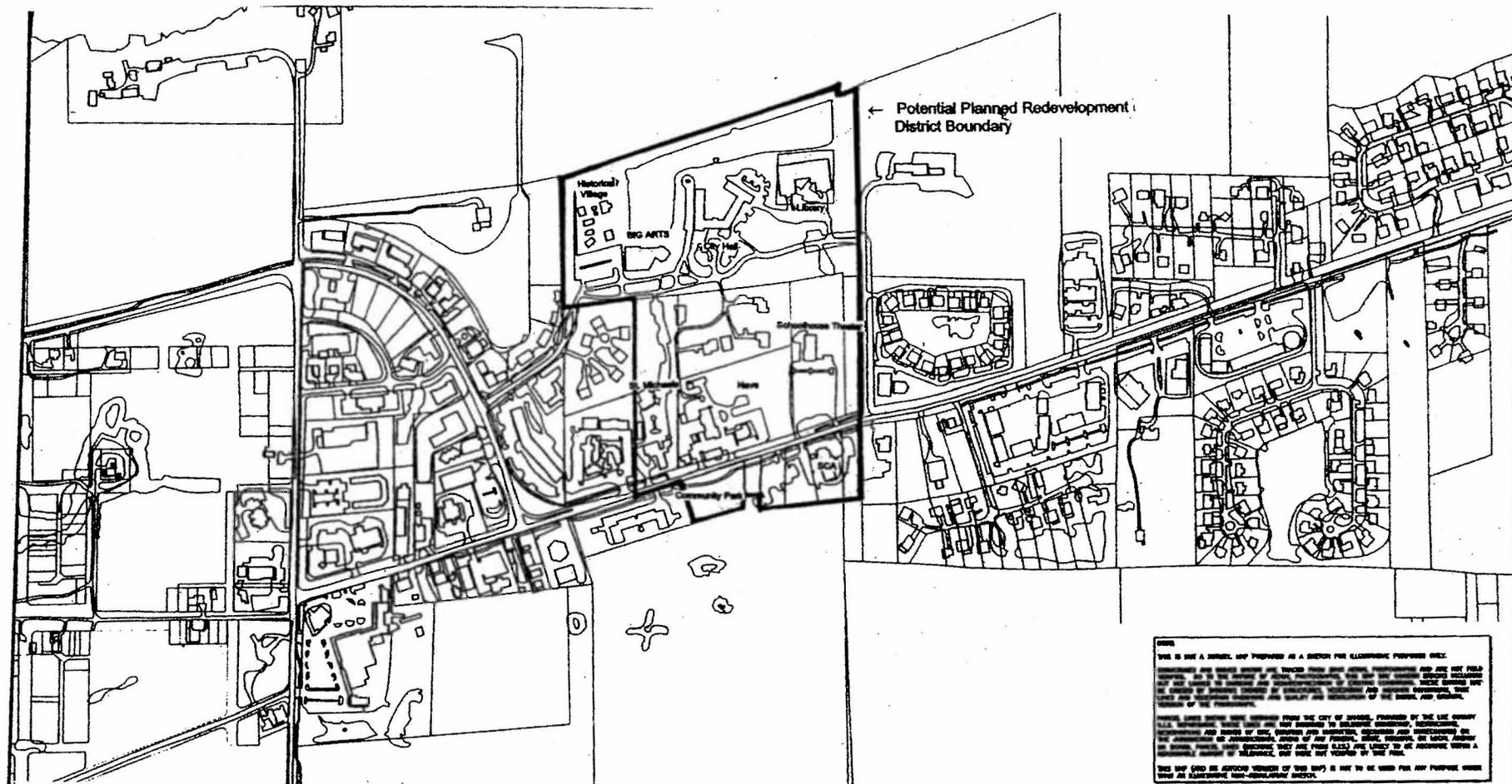
- Overall maximum permitted density shall comply with Development Intensity Maps
- Consistent with approved Periwinkle Way District Plan and Master Redevelopment Plan
- The density transfer to a specific receiving property will be limited to a specific percentage (to be determined) of the overall density yield from a sending property.
- Residential densities permitted on lands currently used for alternative non-residential uses shall be reduced proportionately by the intensity of the existing non-residential use.

**Sec. 126-1481 Permitted Conditional and Accessory Uses**

Permit uses enabled by the Town Center General (TCG) commercial district and the residential districts (Ecological Zones) within the boundary of the Planned Redevelopment District.

**Sec. 1482 Required Conditions**

Define conditions pertaining to specific floor area (FAR – 12%), height, set back, coverage, vegetation, environmental performance, parking, design and other appropriate standards based on the following: approved Master Development Plan; Town Center General commercial district regulations; and residential zoning regulations.



← Potential Planned Redevelopment District Boundary

Historical Village  
BIG ARTS

**NOTE:**  
THIS IS NOT A SURVEY, NOR PREPARED AS A BASIS FOR ENGINEERING PURPOSES ONLY.  
IT IS THE PROPERTY OF THE ENGINEER AND HIS FIRM AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND HIS FIRM.  
THESE PLANS, SPECIFICATIONS AND CONTRACTS FROM THE CITY OF TAMPA, PROVIDED BY THE CITY ENGINEER AND HIS FIRM, ARE THE PROPERTY OF THE CITY ENGINEER AND HIS FIRM. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THESE PLANS, SPECIFICATIONS OR CONTRACTS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER AND HIS FIRM IS PROHIBITED.  
THIS MAP (AND ALL OTHER VERSIONS OF THIS MAP) IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN AN ALTERNATIVE TRANSPORTATION DESIGN.

**PERIWINKLE WAY WEST DISTRICT PLAN  
POTENTIAL PLANNED REDEVELOPMENT DISTRICT  
PERIWINKLE WAY, PALM RIDGE ROAD, TARPON BAY ROAD  
AND DUNLOP ROAD**

**NOT TO SCALE**  
COMPILED BY:  
Benn, Whitaker, Lutz & Kersch, Inc. 3000  
ENGINEERS-SURVEYORS-PLANNERS  
1000 UNIVERSITY AVENUE, SUITE 1000, TAMPA, FLORIDA 33606-0000  
2014-00-000



Vice Mayor Johnston spoke to Zonta having the annual "Peek at the Unique." (a tour of Sanibel homes)

Councilman Pappas spoke to receiving the recent COTI newsletter.

Mayor Denham spoke to the new fertilizer display in the back of MacKenzie Hall. He further spoke to the completion of the state-wide fertilizer task force and their recommendations. He also spoke to the pre-emption issue that insists the State a fertilizer use regulation.

Discussion ensued regarding water quality issues, negative beach comments, working with legislative delegation, more Osprey nesting this year, and 1 year since large amounts of red drift algae were seen on Sanibel beaches.

### **Planning Commission Report**

Chairman Mike Valiquette gave the following report:

- Application for variance of a boat dock for 541 Osprey Court (extension of a non-conforming dock) was denied
- Discussion of Periwinkle Way West Plan

Discussion ensued regarding the City Council/Planning Commission joint meeting, Planning Commission changing the re-development agenda, Council decided on a redevelopment agenda (work program): 1) buildback; 2) commercial rezoning; (concluded first step) 3) approved outside dining; 4) focus on balance of commercial concerns; 5) focus on hospitality zone; and 6) large residences, Council would consider recommendations from the Planning Commission, Planning Commission members need to discuss and briefed by the Planning Director with all information, Council sets the overall policy and the Planning Commission moves forward with that direction, and Councilman Pappas attended the last Planning Commission and that the Commission wants to handle re-development first.

First Reading of an ordinance and scheduling of public hearing.

**ORDINANCE 08-002 AMENDING SECTION 10-8 OF THE CODE OF ORDINANCES OF THE CITY OF SANIBEL RELATING TO THE INTENTIONAL FEEDING OF WILD RACCOONS; REQUIRING THAT ALL COMMERCIAL CUSTOMERS (WHICH INCLUDES RESIDENTIAL CONDOMINIUMS AND SIMILAR MULTI-UNIT BUILDING CUSTOMERS) HAVE AND MAINTAIN LOCK BARS TO BE INSTALLED BY THE CITY'S SOLID WASTE FRANCHISE HAULER; SPECIFYING ENFORCEMENT THROUGH THE CITY CODE ENFORCEMENT HEARING PROCEDURES WHICH PROVIDE A PENALTY OF UP TO \$250/DAY UPON A FINDING OF VIOLATION AND UP TO \$500/DAY UPON A FINDING OF A REPEAT VIOLATION, AND MAY INCLUDE COSTS OF CITY ENFORCEMENT; PROVIDING FOR CODIFICATION; PROVIDING FOR CONFLICT AND SEVERANCE; AND PROVIDING AN EFFECTIVE DATE**

Mayor Denham requested that this discussion be delayed for 6 weeks and asked that the ordinance be sent to the Wildlife Committee and CASI for discussion.

Mr. Cuyler stated that any item could be continued.

Discussion ensued regarding having the first reading and sending Ordinance 08-002 to the Wildlife Committee, request that CASI work with the Wildlife Committee, and Mr. Cuyler stated if the ordinance were read for first reading now and there were material changes there would be another first reading.

Mayor Denham made a motion, seconded by Councilman Ruane, to request that CASI meet with the Wildlife Committee and send any alternative language to the City Attorney.

## **Northern Everglades Estuary Protection Plan Caloosahatchee Research and Water Quality Monitoring Plan Meeting, January 23<sup>rd</sup>**

James Evans, Biologist gave the following report:

- Reviewing the research and monitoring of the Caloosahatchee River monitoring and protection plan
- SFWMD gave a report of research updates
- SFWMD gave a report of salinity projects
- Next meeting February 21, 2008

## **Northern Everglades Interagency meeting January 29<sup>th</sup>**

James Evans, Biologist gave the following report:

- Oversees the Northern Everglades Restoration Project
- District staff gave research and monitoring initiatives of the St. Lucie River and the Caloosahatchee
- Building STA's and reducing nutrients in water bodies
- 37 management measures documented for the St. Lucie
- 100 management measures documented for the Caloosahatchee River
- Timeline for completion of estuary project September, 2008
- Public review
- Presentation of low lake Okeechobee level projects
- Fertilizer Task Force update
- Next meeting February 22, 2008

Mayor Denham stated that there was unanimous support of the Fertilizer Task Force for no pre-emption and Senator Nelson stated he would still bring the pre-emption to the legislators.

Discussion ensued regarding priorities for the Northern Everglades Restoration Project, Mr. Evans stated project were being reviewed currently, Sanibel and Lee County agree with rankings thus far, improving Healthy Beach Program to the local delegation, the bill had been written with support, and send language of the Healthy Beach Program bill to Council.

## **Status of permit to test equipment to remove Red Drift Algae from the beach**

Ms. Zimomra spoke to the following:

- December 30<sup>th</sup> minor accumulation of red drift algae
- Contact contractors for mobilization if necessary
- After contractor contact red drift algae disappeared
- Permit expires February 15, 2008
- Submitted to DEP for a subsequent permit after nesting season for red drift algae clean-up

Council recessed at 11:02 a. m.

Council reconvened at 11:08 a. m.

## **Re-development Planning Work Program and Priorities – Progress Report and Next Phases**

### **Build-back**

### **Commercial Redevelopment**

### **Resort Redevelopment**

### **Residential Redevelopment**

Bob Duffy, Planning Director spoke to the following:

costs invested for consultants, concern that consultants did not complete tasks, and not in favor of additional joint meetings, recognize the plan put in place previously.

Vice Mayor Johnston made a motion, seconded by Mayor Denham, that the Sanibel Plan commits to a Town Center and the hierarchy of needs is to preserve natural systems and spaces in commercial areas are scarce and Council expresses in principle the willingness to work with the seller and buyers of the Knave property to look at the possibility of paths, pocket parks, and conservation areas that would connect with cultural institutions and businesses within existing density.

Discussion ensued regarding the motion being Council's intent, would allow a private buyer to come back with specifics, cost invested in the consultants, funds allocated in the budget, need to add content and guidelines to the intent, debate should wait until after the Planning Commission recommendations, set a certain block of time for the commercial piece of the project, time table of commercial project and what objectives would be accomplished, Director Duffy stated he understood what Council's direction.

#### Public Comment

Larry Schopp asked for the exact motion. He suggested requesting the sellers of the Knave property to take the motion in to account rather than look at the specifics.

Vice Mayor Johnston reiterated the motion.

Mike Valiquette spoke to Council mandating the purchasing of the Knave property must come to Council.

Council answered no.

Herb Rubin spoke to the need for stronger language.

Discussion ensued regarding not understanding the motion, not certain of consequences of the motion, and Mr. Cuyler stated that the motion recognized that the City would address a Town Center in the Comprehensive Plan to the extent that current or future owners of the Knave property find appropriate or in their best interest to coordinate with the City and accomplish specifics as noted in the motion, the City would be open to such discussion.

The City Clerk read the motion for clarity.

The motion carried 4 to 1 with Councilman Pappas voting in opposition.

Discussion ensued regarding alternatives as noted above, ask Wallace, Todd and Roberts work on and completing the research, Mr. Duffy stated that alternative 2 incorporates alternative 1 and the additional element to finish the research, and a contract amendment would be brought to Council and was under \$50,000.

Mayor Denham made a motion, seconded by Vice Mayor Johnston, to accept Alternative 2 as follows:

#### **Alternative 2**

Finalize Phase 1 & 2 reports prepared by Wallace, Roberts & Todd, LLC (WRT) and Real Estate Research Consultants

Revise scope of work to enable WRT to assist the Planning Department and Planning Commission with preparation of design guideline amendments to the LDC

Planning Commission to conduct public meetings and hearings on proposed amendments to LDC and submit recommendations to City Council

Discussion ensued regarding alternative 3 adding services, Mr. Duffy answered alternative 3 would add significant services, and unencumbered funds in the amount of \$150,000 would entail most of those funds, alternative 2 deals with basic form, not developing a specific plan, alternative 3 would include significant



# City of Sanibel

Planning Department

## MEMORANDUM

DATE: January 30, 2008

TO: Judie Zimomra, City Manager

FROM: Robert J. Duffy, AICP, Planning Director

**SUBJECT: Redevelopment Planning Work Program and Priorities  
- Progress Report and Next Phases**

**Periwinkle Way West District Plan  
- Alternative Planning and Implementation Work Programs**

---

Enclosed for review and consideration by City Council at the February 5, 2008 meeting are the following reports.

**Attachment 1: Redevelopment Planning Work Program and Priorities  
- Progress Report and Next Phases**

This brief report summarizes the progress that has been achieved over the past two years to implement the City of Sanibel's four part redevelopment planning work program. The report outlines the priority order for build-back, commercial, resort and residential redevelopment planning efforts resulting from the joint meetings of City Council and the Planning Commission in late 2005 and early 2006. The report notes both progress to date and next phases of work now underway or to be initiated during Fiscal Year 2007-2008.

**Attachment 2: Periwinkle Way West District Plan  
- Alternative Planning and Implementation Work Programs**

As a result of the completion of Phases One and Two of the Periwinkle Way West District Planning effort and the joint meetings of City Council and the Planning Commission, the Planning Department has prepared the enclosed brief report which summarizes three alternative courses of action designed to address three key issues or opportunities defined by the planning efforts completed by Wallace Roberts & Todd, LLC. The alternatives focus on the following: design guidelines for the Town Center commercial zoning districts; revised front yard set back regulations; and the preparation of a plan for maintaining, connecting and improving the public facilities, civic spaces, streets, shared use paths and parking areas that serve Sanibel residents.

Please contact me if you would like to review the enclosed reports prior to City Council's meeting.

Atch (2)

C: Planning Department



# City of Sanibel

Planning Department

## **REDEVELOPMENT PLANNING WORK PROGRAM AND PRIORITIES PROGRESS REPORT AND NEXT PHASES**

February 5, 2008

### **1. Build Back**

#### Progress Report

- City Council adopted (Ord. No. 05-017) Build Back amendments to the Land Development Code on January 4, 2006.
- Home Owners and Property Owners Guide to Build Back regulations completed and distributed in May 2006.

### **2. Commercial Redevelopment**

#### Progress Report

- City Council adopted (Ord. No. 06-022) amendments to the Land Development Code's Commercial District regulations on February 20, 2007.
- Inventory of Commercial Land Uses approved by City Council on January 4, 2006 and March 20, 2007 (Res. No. 07-040).
- Business Round Tables Conducted on June 23, 24 and 26, 2006.
- City Council adopted (Ord. No. 06 - 009) amendments to Land Development Code on August 15, 2006 to enable General Restaurants to provide bonus seating for outdoor dining.
- Report on Alternative Zoning Approaches for Mixed Commercial and Residential Uses completed and presented to Planning Commission and City Council in May 2007.
- Periwinkle Way West District planning project initiated in July 2007. Phase 1: Existing Conditions, Opportunities and Constraints report completed and presented to joint meeting of City Council and Planning Commission in October 2007. Phase 2: Toward a Vision for the Periwinkle Way West District report completed and presented to City Council and Planning Commission in December 2007.
- Planning Commission approved Resolution No. 08 -01 recommending revisions to the Land Development Code to enable outdoor seating for Carry Out Restaurants. City Council to consider adoption of recommended revisions on February 19, 2008.

# **REDEVELOPMENT PLANNING WORK PROGRAM AND PRIORITIES PROGRESS REPORT AND NEXT PHASES**

## **2. Commercial Redevelopment (Cont.)**

### Next Phases

- City Council to consider alternative planning and implementation work programs (See Attachment 2) on February 5, 2008 for next planning and implementation phases of the Periwinkle Way West District Plan.
- Planning Commission's Land Development Code Review Subcommittee to meet on February 12, 2008 to initiate review and revisions to the Land Development Code's commercial site planning and architectural design review standards and procedures.

## **3. Resort Redevelopment**

### Progress Report

- Updated inventory of Resort Housing completed and submitted to Planning Commission and City Council in September 2007.
- Updated survey of pre-existing non-conforming uses and structures within Resort Housing District to be completed by September 2008.

## **4. Residential Redevelopment**

### Progress Report

- Updated Inventory of Housing Stock in the City of Sanibel completed and submitted to the Planning Commission and City Council in September 2007.
- Revisions and consolidation of cost estimate forms and review procedures completed by Planning and Building Departments in July 2007 to improve permitting process associated with short form applications for the redevelopment, including additions and alterations, of pre-FIRM single family residential dwelling units.

### Next Phases

- On February 26, 2008 the Planning Commission will conduct a public hearing on a proposed amendment to the Land Development Code to enable unified Long Form review by the Planning Commission of applications for the single family residential construction involving both principle and accessory structures.
- On February 12, 2007, the Planning Commission's Land Development Code Review Subcommittee to meet to initiate the review of current Land Development Code regulations associated with the size, scale, massing and design of single family residential construction and potential alternative amendments to address neighborhood compatibility and conservation.



# City of Sanibel

Planning Department

Attachment 2

*Preliminary – For Discussion Only*

## **Periwinkle Way West District Plan Alternative Planning and Implementation Work Programs**

February 5, 2008

**Alternative 1: Finalize Phase 1 and 2 Reports prepared by Wallace Roberts & Todd, LLC and Real Estate Research Consultants**

**Planning Department and Planning Commission to Prepare Front Yard Setback and Design Guideline Amendments to the Land Development Code**

**Planning Commission to Conduct Public Meetings and Hearings on proposed Amendments to Land Development Code and Submit Recommendations to City Council**

This alternative would conclude the contract and scope of work between the City of Sanibel and Wallace Roberts & Todd LLC and Real Estate Research Consultants. The consultants will complete final report editorial and content revisions. The final Phase 1: Existing Conditions, Opportunities and Constraints and Phase 2: Visioning reports will be compiled as resources to assist with preparation of Land Development Code amendments.

The Planning Department will proceed with preparation of revisions to the following section of the Land Development Code (LDC).

LDC Chapter 126, Article VIII Commercial Districts, Sec. 126-494(c), 514(c) and 534(c) to enable applicants to seek a reduction of the existing 100 ft. setback from the center line of a minor arterial or collector road. Long Form applications will be considered by the Planning Commission and subject to specific site, landscape and design standards.

The Planning Department will also prepare site, landscape and design guidelines in text format for the Town Center Limited and Town Center General commercial zoning districts. The guidelines will be prepared pursuant to LDC Chapter 126 Zoning, Sec. 126-1028 and 1029 which stipulate that "City Council may adopt and, from time to time, amend an illustrated guide of architectural standards to aid in the administration and interpretation of commercial district regulations."

The range of potential guidelines will address the following site, building and landscape characteristics.

- Site Planning (Front, Side and Rear Yard Setbacks)
- Driveway Location and Orientation
- Exterior Architectural Detailing and Building Materials Used
- Roof Characteristics
- Appearance of Side Walls
- Building Scale, Massing and Form
- Building Height and Angle of Light
- Building Location and Orientation
- Parking Design Location and Width
- Building Fenestration (Arrangement, Proportioning and Design of Window and Doors)
- Landscaping and Vegetation

The Planning Commission's Land Development Code Review Subcommittee will be convened to develop, review and recommend the general site, landscape and design guidelines for consideration and public hearing by the Planning Commission.

The Land Development Code Review Subcommittee will submit preliminary recommendations regarding both the 100 setback regulations and Town Center commercial design guidelines for consideration by the Planning Commission in April 2008.

**Alternative 2: Finalize Phase 1 and 2 Reports prepared by Wallace Roberts & Todd, LLC (WRT) and Real Estate Research Consultants**

**Revise Scope of Work to enable WRT to assist the Planning Department and Planning Commission with Preparation of Design Guideline Amendments to the Land Development Code**

**Planning Commission to Conduct Public Meetings and Hearings on proposed Amendments to Land Development Code and Submit Recommendations to City Council**

This alternative is similar to Alternative 1 except that a contract amendment with WRT would be approved by City Council enabling the firm to provide professional architecture, landscape architecture and design services to assist the Planning Department and Planning Commission with the preparation of a more comprehensive and illustrated set of design standards for the Town Center commercial districts, including sub-districts such as Palm Ridge Road. The set of design guidelines would also be expanded to

address best “green” building and infrastructure practices consistent with the Sanibel Plan.

**Alternative 3: Finalize Phase 1 and 2 Reports prepared by Wallace Roberts & Todd, LLC (WRT) and Real Estate Research Consultants**

**Revise Scope of Work to enable WRT to assist the Planning Department and Planning Commission with the Following Tasks:**

- 1. Preparation of Commercial District Design Guideline Amendments to the Land Development Code.**
- 2. Prepare Both Preliminary and Final District Plans and Recommendations that will Focus on Civic and Cultural Facilities, Public Spaces, Public Right of Ways, Shared Use Paths, Pedestrian Accessibility and Parking.**

**Planning Commission to Conduct Public Meetings and Hearings on Proposed Plans and Amendments to Land Development Code and Submit Recommendations to City Council.**

This alternative will expand Alternative 2 and will require a contract amendment with WRT to enable the firm to assist the City of Sanibel with the preparation of both preliminary and final district plans that will address the following.

**Public Realm - Civic and Cultural Facilities**

Define short and long term recommendations for maintaining, integrating, improving and expanding, as warranted, BIG ARTS, Library, Schoolhouse Theater, Historic Village, SCA and Senior Center facilities which together form the civic and cultural center of Sanibel.

Recommendations for civic, cultural and historic facilities shall be reinforced by plans for maintaining, managing and improving this District’s public spaces, pedestrian connections, shared use paths and parking facilities.

**Public Realm – Open Space**

Identify strategies to fully integrate the surrounding environmentally sensitive lands and natural areas into the City’s commercial and civic center.

Define short and long term strategies for maintaining and improving existing civic, park, recreation and open spaces. Provide recommendations for the location, size, character

and quality of expanded and/or new civic and open spaces that will complement and reinforce the center of Sanibel and support the range of programs, events and activities that serve Island residents and visitors.

### **Public Realm – Streets and Paths**

Define a comprehensive set of inter-related recommendations to improve and expand pedestrian and bicycle accessibility and connectivity between civic, cultural, park, recreation, residential and commercial uses within the district. The Plan will be integrated with recommendations for managing and improving open spaces and the public and private parking locations.

Specific Recommendations Will Address:

- a. Dunlop Road
- b. Palm Ridge Road
- c. Shared Use Path improvements along Periwinkle Way and Tarpon Bay Road
- d. Pedestrian connections between the Historic Village, BIG ARTS, City Hall, Library, SCA, Schoolhouse Theater and commercial and residential properties within the District

### **Parking**

#### **Shared Parking**

Define potential amendments to LDC Chapter 126 Zoning, Article XVI Off-Street Parking and Loading to enable the Planning Commission to consider shared parking plans that will recognize varying parking demands associated with permitted uses and between adjoining properties in order to reduce vehicular trips, minimize impervious surface coverage and support pedestrian accessibility.

#### **Civic and Cultural Facility Parking**

Define short and long range plans to improve access and connectivity between the 460 parking spaces dedicated to the District's civic and cultural facilities.

#### **Special Event Parking**

Prepare a special event parking location and management plan to support the Island's major seasonal special events, insure pedestrian safety and accessibility and minimize traffic congestion and circulation.

WRT and the Planning Department will meet with the Planning Commission to prepare preliminary alternatives, plans, and recommendations for presentation and review with City Council.

**SANIBEL CITY COUNCIL REGULAR MEETING  
FEBRUARY 19, 2008**

Mayor Denham called the meeting to order at 9:00 a. m.

Members present: Mayor Denham, Vice Mayor Johnston, Councilman Jennings, Councilman Pappas and Councilman Ruane.

Councilman Pappas gave the Invocation and led in the Pledge of Allegiance.

**PRESENTATION(S)**

**Employee of the Quarter, 1<sup>st</sup> Quarter, FY 2007-2008**

Mayor Denham presenter Ron Orr, Recreation Superintendent Employee of the 1<sup>st</sup> Quarter.

**Public Comments**

Herb Rubin spoke to a vote of the Planning Commission allowing a proposed structure, and setback. He asked for a moratorium on residential building permits.

Karen Storijohann spoke to reviewing one-story homes in that above-mentioned situation as they were all 2-stories. She suggested reviewing each neighborhood.

Mayor Denham spoke to an agenda item to discuss changing the Planning Commission priorities.

Ann Yarnel spoke to a poll being taken in the Island Reporter regarding a town center.

Dr. David Berger spoke to 2 newspapers report proceedings of the Planning Commission and City Council. He further stated that there needed to be a clear concise report of meetings in the newspapers.

**Council Comments**

Vice Mayor Johnston spoke to the need of a dialogue regarding issues facing the island. She further spoke to residents receiving partial information and a suggested a workshop between City Council and the Planning Commission. She mentioned the Clarion report may need to be reviewed by the Planning Commission

Discussion ensued regarding a Council discussion on the Town Center at a future meeting, confusion among residents, needed topics for a discussion, Council discussion focus at the whole Periwinkle Way West Town Center and invite Planning Commission to attend, Planning Commission hold a similar workshop on big houses, and Council needs to attend a Planning Commission meeting for big house discussion.

~~Councilman Jennings spoke to being involved in the Edison Parades.~~

Councilman Ruane spoke to Periwinkle Way West past discussions, not enough input from consultant for \$150,000, and important to get information to public.

Councilman Pappas stated that Director Duffy has been given direction from Council regarding Periwinkle Way West.

Discussion ensued regarding the direction to Director, holding another meeting would clarify communication and ensure the public understands.

Council asked the City Manager for a staff report on energy efficient vehicles for the City.

Ms. Zimomra stated that staff had reviewed alternative technology for ¾ ton trucks.

Mr. Gates Castle spoke to the following:

- Since 2000 a Public Works goal was to look at alternative bio-fuel
- Heavy pick-up trucks not available with alternative technology
- Problem having bio-diesel delivered on island

- g. **RESOLUTION 08-037 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2008-040 AND PROVIDING AN EFFECTIVE DATE** (to transfer \$53,850 from the General Fund Reserve for Contingencies to the Capital Acquisition Fund to update the City's website. There are no new funds appropriated by this amendment. The balance in the General Fund Reserve for contingencies line will be \$87,632 after this amendment)

Ms. Zimomra read the title of Resolution 08-037.

Discussion ensued regarding the website being oriented toward the City information; i.e. committee members, Planning Commission members and City Council, Ms. Zimomra spoke to website content, Council government involvement, ability to do a word search, does not include individual bios for Planning Commission, and governmental websites directed to Council, website good the way it is and how much staff effort would it save, website adequate, need to invest in infrastructure, Ms. Zimomra spoke to saving time under departments with frequently asked questions and answers for each department, which would alleviate questions and calls.

Vice Mayor Johnston made a motion, seconded by Councilman Ruane, to adopt Resolution 08-037.

Motion carried with Councilman Pappas voting in opposition.

- q. **Approval of Phase 3 of the Agreement for Professional Services between the City of Sanibel and Wallace Roberts & Todd, LLC (WRT) not to exceed \$60,000 and to authorize the City Manager to execute the amended Agreement. WRT will provide architectural, landscape architectural and associated design services necessary to assist the Planning Commission and Planning Department with the preparation of a preliminary and final Guide of architectural and site planning standards for the Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts consistent with Land Development Code Sections 126-1028 (g) and 126-1029 (f)**

Discussion ensued regarding this agreement was an outgrowth of the commercial development planning, this agreement not the end of the Periwinkle Way West District Plan, and concern regarding the amount of money.

Vice Mayor Johnston made a motion, seconded by Councilman Jennings, to approve the above-mentioned.

The motion carried.

~~Mr. Cuyler stated that item (i) was to except the utility facilities and deviating from to normal proceed of not accepting utilities with a lien, but the and attorney had been working with the SBA to obtain a releases for months and has been unable to achieve the release. He further stated that in discussions with Gates Castle, Public Works Director that even though there was no release the City would take care of the facility. He also stated that staff recommendation was to purchase the facility.~~

Discussion ensued regarding a possible meeting with Lee County, Regional Planning Council and staff regarding the Everglades projects priority ranking, and a letter for funding of the Everglades Restoration Projects.

**RESOLUTION 08-041 APPROVING AN AGREEMENT FOR FUNDING BETWEEN THE CITY OF SANIBEL AND LEE COUNTY; PROVIDING FOR THE COUNTY'S FUNDING FROM THE TOURIST DEVELOPMENT TAX FOR COMPLETION OF THE NUISANCE RED DRIFT ALGAE STUDY; AND PROVIDING AN EFFECTIVE DATE**

Ms. Zimomra read the title of Resolution 08-041. Ms. Zimomra stated that staff was successful in obtaining grants along with Lee County funds. She also stated that FGCU was the selected vendor and SCCF a sub-contractor of FGCU. She explained that the project was approximately a \$700,000 study with a City contribution of \$200,000.

Vice Mayor Johnston made a motion, seconded by Councilman Jennings, to adopt Resolution 08-041.

Public Comment

None

The motion carried.

**Staff presentation on City of Sanibel coordinated efforts for the comprehensive water quality testing and monitoring program**

Ms. Zimomra stated that this was a 2-part presentation with a summary of various water quality monitoring on a regional basis and in the near future there will be a presentation on the status of the water testing of the impaired Sanibel River.

Dr. Loflin stated the graph includes the various water sampling programs, which includes the healthy beaches program, and all data was around the island. He further spoke to:

- Information would be placed on the City's website with links to other agencies
- Including real-time water data of the recon stations
- Sampling of Bowditch Beach and Bowmans' Beach spike of enterococci

**Preliminary Redevelopment Planning Work Program, Schedule and Reports for FY 2007-2008 and FY 2008-2009**

Mr. Robert Duffy, Planning Director spoke to the following:

- Report includes a schedule for the balance of 2008 and 2009
- 1<sup>st</sup> and 2<sup>nd</sup> quarter completed phase I of Periwinkle Way West District Plan
- Submitting a report of Council position and profile of Town Center District
- April – draft guidelines submitted to Council
- Report at the end of 3<sup>rd</sup> quarter on Palm Ridge Road
- Report at the end of 4<sup>th</sup> quarter on Tarpon Bay Road
- Completed family housing stock for baseline information
- Amendment to LDC
- Proceed with amendments to Section 86-43
- Alternatives for residential flora and consider a standard

Discussion ensued regarding of work, Mr. Duffy stated work was being done as a series of subcommittee meetings, concern of the Bert Harris Act, Mr. Cuyler stated that staff was aware of the Bert Harris Act and would be mindful when amending the code, all meeting would be managed by staff through the Planning Commission, when would there be a economic analysis to be used , Mr. Duffy stated the consultants would



*Preliminary – For Discussion Only*

**Redevelopment Planning Work Program, Schedule and Reports**  
 FY 2007/2008 through FY 2008/2009  
 March 18, 2008

| Schedule                       | Work Program and Reports   |  |   |
|--------------------------------|--|--|---|
|                                | Commercial Redevelopment   | Resort Redevelopment   | Residential Redevelopment   |
| 1 <sup>st</sup> Qtr. FY '07/08 | <p>Periwinkle Way West District Plan<br/>           Phase I: Existing conditions, opportunities and constraints report (<b>Completed</b>)</p>  | <p>Updated Inventory of Resort Housing <b>completed</b> and submitted to Planning Commission and City Council.</p> | <p>Updated Inventory of Housing Stock <b>completed</b> and submitted to Planning Commission and City Council.</p>   |
| 2nd Qtr. FY '07/08             | <p>Periwinkle Way West District Plan<br/>           Phase II: District Vision Report (<b>Completed</b>)</p> <p>City Council approves (3/5/08) motion defining, in principal, the City of Sanibel's position on future redevelopment within the Town Center focus area.</p> <p>LDC Section 126-1302 Outdoor Seating for Carryout Restaurants (<b>Adopted, City Ord. 08-003</b>)</p> |  | <p>Amendment to LDC Sec. 82-421 Application requiring unified Planning Commission review of principal and accessory structure development permit applications approved by PC Res. No. 08-07. City Council conducts 1<sup>st</sup> and 2<sup>nd</sup> readings of recommended Amendment to LDC Sec. 82-421.</p> <p>Planning Commission's Land Development Code Review Committee (LDCRC) conducts work sessions on LDC (Sec. 86-43) regulations associated with the size, scale, massing and design of single family homes.</p> <p>Planning Commission's LDCRC conducts work sessions on Town Center General (TCG) and Town Center Limited (TCL) Architectural and Site Planning Design Guidelines.</p> |



Preliminary – For Discussion Only

**Redevelopment Planning Work Program, Schedule and Reports**

FY 2007/2008 through FY 2008/2009

March 18, 2008

|                     | <b>Work Program and Reports</b>   |   |  |
|---------------------|---|---|--|
| <b>Schedule</b>     | <b>Commercial Redevelopment</b>   | <b>Resort Redevelopment</b>   | <b>Residential Redevelopment</b>   |
| 3rd Qtr. FY '07/'08 | <p>Draft and Final Town Center General (TCG) and Town Center Limited (TCL) Architectural and Site Planning Guidelines report (Guide) and recommendations submitted by Planning Commission to City Council for review and adoption.</p> <p>Draft final report on Palm Ridge Road redevelopment focus area conditions, issues, strategies and potential Land Development Code amendments submitted to Planning Commission and City Council.</p> |   | <p>Planning Commission submits to City Council Issues and Options Report with preliminary recommendations regarding potential LDC amendments that pertain to size, scale, massing and design of single family homes.</p>                               |
| 4th Qtr. FY '07/'08 | <p>Draft final report on Tarpon Bay Road redevelopment focus area conditions, issues, strategies and potential Land Development Code amendments submitted to Planning Commission and City Council.</p>  | <p>Updated survey and report of pre-existing non-conforming resort uses and structures completed and submitted to Planning Commission and City Council.</p> | <p><i>Future Residential Redevelopment Work Program pertaining to potential DLC amendments to address size, scale, massing and design of single family homes subject to City Council review of Planning Commission report and recommendations.</i></p> |

Steve Maxwell spoke to issues of taxes and fee increases the first reading policy be re-examined. He stated that in other jurisdictions discussion was held at the first reading. He also stated that hearings should be scheduled at a time when residents could attend.

Mr. Cuyler stated that every second reading of an ordinance does have a time certain.

### **Council Comments**

Councilmember Johnston thanked Councilman Jennings for his work in Tallahassee follow through with legislators. She also spoke to Council deciding what projects would be done in the upcoming budget process. She thanked the Nave family for providing stewardship of the large piece of property normally referred to as the "Town Center" property.

Mayor Denham commented how good the island and beaches look.

### **Planning Commission Report**

Commissioner Dr. David Berger gave the following report of the April 08, 2008 Planning Commission meeting:

- Consider an application for a conditional permit for new vinyl seawall and cap along a manmade canal at 1515 San Carlos Bay Drive constructed with asbestos and the hearing was continued so the applicant could present an engineering report

Discussion ensued regarding a dangerous situation with asbestos in seawalls and Councilman Jennings commended the Planning Commission recognizing the problem.

### **First Reading of an ordinance and scheduling of public hearing**

**ORDINANCE 08-009 AN ORDINANCE LEVYING A PUBLIC SERVICE TAX ON THE PURCHASE IN THE CITY OF ELECTRICITY AND WATER SERVICE, EQUAL TO TEN PERCENT (10%) OF THE PAYMENTS RECEIVED BY THE SELLER OF SUCH TAXABLE ITEMS; PROVIDING THAT SUCH PUBLIC SERVICE TAX IS LEVIED PURSUANT TO THE AUTHORITY OF SECTION 166.231, FLORIDA STATUTES; PROVIDING FOR EXEMPTIONS; PROVIDING FOR COLLECTION BY SELLER FROM PURCHASER AND TAX TO BE REMITTED BY SELLER TO CITY; PROVIDING FOR RIGHT OF SELLER TO DISCONTINUE SERVICE FOR FAILURE TO PAY TAX; PROVIDING FOR CONFLICT AND SEVERABILITY; PROVIDING FOR CODIFICATION; PROVIDING AN EFFECTIVE DATE FOR THE ORDINANCE, AND AN EFFECTIVE DATE FOR THE LEVY OF THE TAX OF OCTOBER 1, 2008**

Ms. Zimomra read the title of Ordinance 08-009. She stated that Council direction was to have first reading now and schedule the second reading and public hearing for the first meeting in June. She further stated that direction was to have legislation come before City Council due to discussions in Tallahassee.

Mr. Cuyler stated that there had been discussions of new fees moratorium by the legislatures.

Discussion ensued regarding the need to have the public hearing earlier, Council decided to have the public hearing May 06, 2008 at 9:30 a. m.

### **Public Comment**

Dr. David Berger spoke to wording in the title.

Mr. Cuyler stated the maximum percentage would be up to 10% and Council could reduce the percentage.

**CITY COUNCIL WORKSHOP**  
**May 06, 2008**

Mayor Denham called the meeting to order at 2:05 p.m.

Councilman Jennings gave the Invocation and led the Pledge of Allegiance.

Members present: Mayor Denham, Vice Mayor Ruane, Councilman Jennings, Councilmember Johnston and Councilman Pappas.

**Goal Setting**

**Report on status of City Council's 2007-2008 Goals**

**Review Previous Years' Goals**

Ms. Zimomra reviewed the previous year's goals as follows:

- Water Quality Issues (Aggressively continue efforts through education, political & legal methods to improve waster quality-federal/state/regional/local
  - Stay intimately involved with all organizations and political forces to minimize Lake Okeechobee releases including (release schedule; water quality C-43; CERP projects; Additional storage; and restore water flow south to Everglades)
  - Reduce urban development nutrient releases into Caloosahatchee River by: (Accelerate establishment TMDL's for Lake Okeechobee, the rivers and estuary; Implement programs to reduce urban nutrient pollution to our waterways including releases on-island such as removing package plants; Investigate strategies to remove excess nutrient releases from golf courses; Fertilizer, wastewater, septic systems, and stormwater runoff in collaboration with the six counties of SW Florida)
  - Develop an Algae Management Plan by October 1, 2007; (The plan will begin to remove red drift algae from our waters and beaches, preventing regeneration of red drift algae that leaves deposits on beaches prior to such deposits occurring. The plan will utilize environmentally safe techniques including evaluation of water harvesting to remove accumulation at edge of water and beach
  - Explore methods to secure the necessary funding that will fund the plan to eliminate red drift algae from our waters and beaches
- Continuing Re-development Efforts
  - Plan for commercial district of Dunlop Road to Palm Ridge Road and Tarpon Bay area by: (Developing a vision for the central Commercial District of the Island. The vision will include concepts and philosophies compatible with Sanibel's unique character of the island and include mixed-use, island-compatible architecture, bicycle and pedestrian friendly area, restaurants with outside dining, local serving commercial and retail use enterprises and provision of lower cost workforce housing and serve as the framework for future development proposals)
  - Develop a redevelopment policy for all non-conforming properties by: (Establishing a redevelopment policy for non-conforming properties, both residential and commercial, that will allow the owners to develop and/or become a conforming property)
- Protecting the Environment By Identifying Carry Capacity
  - Determining methods to identify island (beach, road, shared-use path, natural preserve) carrying capacity in order to develop viable methods to enable visitor and residents to enjoy the island while protecting the environment that is the base of our economy
  - Completing research cataloging the best practice strategies being implements globally to protect carrying capacity of facilities and mitigate congestion
  - Evaluate the options for enforcement of strategies to mitigate congestion and prepare a strategy of legal options to pursue

## **Staff Reports**

Dr. Loflin spoke to the following:

- Get major agencies in the watershed to agree on priorities
- Identifying top priorities

He further spoke to the following:

- New Lake Okeechobee regulatory schedule approved
- Issues with getting the SFWMD to recognize the approved schedule
- SFWMD had not adopted the schedule for implementation
- Lake Okeechobee Water Resources Committee does not intend to use the new schedule in modeling

Discussion ensued regarding SFWMD policy board and governor to make clear the schedule was in effect, sending a letter to Charles Duaray, SFWMD Board member, Councilmember Johnston to work with staff to prepare a letter to Mr. Duaray, letter should go to all SFWMD board members and Lt. Governor Kottkamp, Dr. Loflin stated that the inclusion of making lands available for water retention, and Lake Okeechobee held at a lower level.

Dr. Loflin spoke to an ongoing blue green algae bloom on the south part of Lake Okeechobee and needs to be identified, any sense when water would be released, not a good idea to release water, water being held for irrigation, concern was if water was released the blue green algae would enter the Caloosahatchee River, and could anyone at FGCU help.

Mayor Denham spoke to the following:

- Fertilizer bill defeated
- Thank you letter sent on behalf of Council
- Lobbyist, League of Cities, Senator Webster
- Healthy Beach passed in the house and stalled in the senate
- Bring back the Healthy Beach bill next session

## **Report regarding Council's position on Town Center District Re-development Principle and Policy Report**

Discussion ensued regarding Council understands and agrees with the report, Councilman Pappas no clear understanding of what the community wants for re-development and commercial district owners want more, and property can not be re-developed as is, only mandated by the current code.

## **Revised FY2007-2008 Redevelopment Planning Work Program, Schedule and Reports**

For informational purposes.

## **COMMITTEES BOARDS COMMISSION**

### **Appointment of Barry Alan Roth to the Parks and Recreation Advisory Committee**

Councilman Pappas made a motion, seconded by Councilmember Johnston, to appoint Mr. Roth to the Parks and Recreation Committee.

The motion carried



**City of Sanibel**  
**Planning Department**

**Periwinkle Way West  
Commercial District Plan**

**Part 1: Town Center Focus Area  
Redevelopment Principle  
and Policies**

May 6, 2008

# **Periwinkle Way West Commercial District Plan**

## **Part I: Town Center Focus Area Redevelopment Principle and Policies**

### **Introduction**

The City of Sanibel has been proactively implementing a three part redevelopment planning program that is focused on the island's commercial, resort and residential land uses. Following the adoption of the landmark Build Back regulations that revised and clarified when and how nonconforming structures and uses can be redeveloped when substantially damaged as a result of a natural disaster, the City proceeded with commercial redevelopment planning and supporting Land Development Code amendments.

Commercial redevelopment planning efforts to date have included the following: surveys of businesses and residents regarding Sanibel's economic and market conditions, issues and opportunities; local business roundtables to define initiatives to retain and support island serving businesses; adoption of revisions to the Land Development Code's commercial district regulations, including new regulations addressing formula retail uses, maximum commercial building size and outdoor dining; adoption of architectural and site planning design standards; preparation of a supporting set of illustrated architectural and site planning guidelines; and, consistent with the Sanibel Plan, the completion of a specific plan for the Periwinkle Way West Commercial District.

The following report is the first in a series of four reports that together define specific principles, policies and concepts that will guide future private commercial and related redevelopment efforts within the Periwinkle Way West Commercial District.

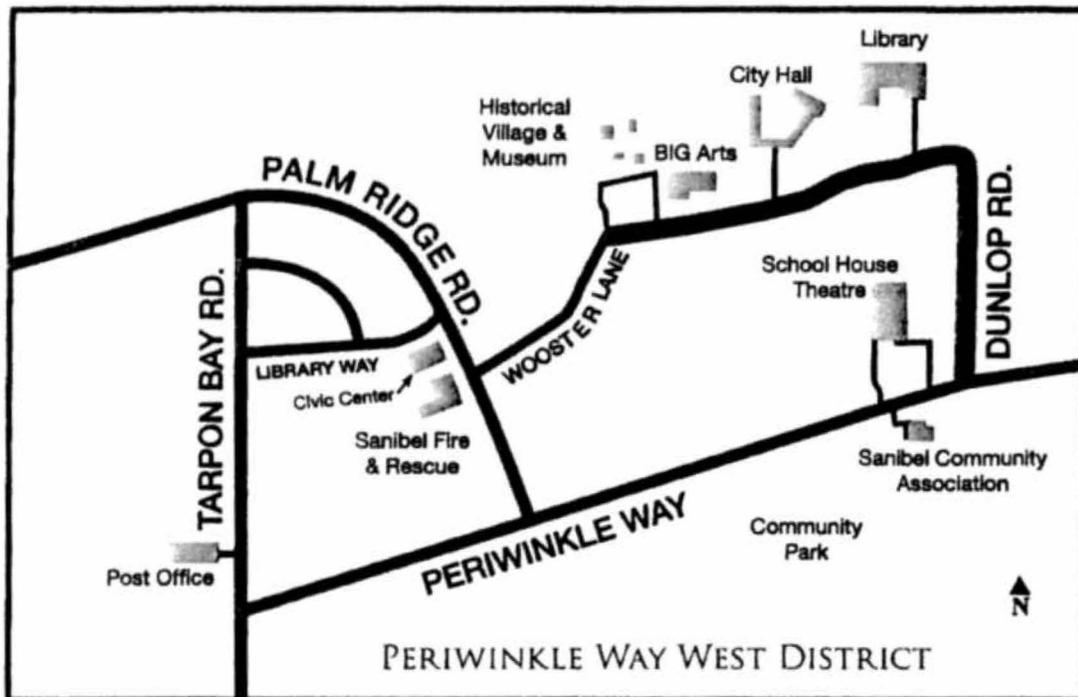
### **Periwinkle Way West Commercial District Planning Area and Process**

On September 18, 2007 City Council adopted Evaluation and Appraisal Report (EAR) based amendments to the Sanibel Plan (See Attachment 1) which include the following recommendation as part of Section 3.6.2. Future Land Use Element for Commercial Development (Page 193).

*“the City's Redevelopment Planning Work Program will include the preparation of specific district plans for Periwinkle Way, including the Town Center and Palm Ridge Road area.”*

Consistent with the adopted Sanibel Plan, the Periwinkle Way West Commercial District planning effort was initiated in July 2007 to define existing conditions, issues, opportunities and preliminary redevelopment planning visions, principles, policies and concepts. Figure 1 defines the Periwinkle Way West Commercial District Planning Area which focuses on the western portion of Periwinkle Way, Palm Ridge Road, Tarpon Bay Road and Dunlop Road.

**Figure 1**  
**Periwinkle Way West Commercial District Planning Area**



The first two phases of the planning process were facilitated by the firm of Wallace Roberts & Todd, LLC. The initial reports completed as part of these supporting redevelopment planning phases are as follows.

Phase I: Existing Conditions, Opportunities and Constraints

Phase II: Toward a Vision for the Periwinkle Way West Commercial District

During the above phases of work, a series of public open houses, workshops, meetings and surveys were conducted to gather information and ideas from the community. Several visioning workshops were also held to define an initial range of redevelopment planning concepts. Work sessions with the Planning Commission and joint meetings with City Council and the Planning Commission were also conducted.

The final Phase III of the Periwinkle Way West Commercial District planning process consists of the following three parts that define the redevelopment planning principles, policies and concepts for the priority focus areas defined by both the Sanibel Plan and the previously completed supporting redevelopment planning phases.

Part One: Town Center

Part Two: Palm Ridge Road

Part Three: Tarpon Bay Road

In addition to the above reports, a Part Four report also defines planning principles, policies and concepts for the all important and interrelated open spaces, pedestrian and shared use paths, parking facilities and vehicular circulation system that together form the “public realm” that visually and physically defines and connects the three planning focus areas situated within the Periwinkle Way West Commercial District. The maintenance, design, improvement and management of these integrated public and private systems, spaces and facilities will be a high priority for the redevelopment principles, policies and concepts defined for the Periwinkle Way West Commercial District.

The following Part One: Town Center focus area report includes the following three sections.

1. Definition of the Town Center focus area.
2. Brief profile of the Town Center focus area.
3. Town Center redevelopment planning principle (Approved by City Council on February 15, 2008) and supporting policies based on the Sanibel Plan, Land Development Code and the Periwinkle Way West District planning work program.

### **Town Center Defined**

To date, the term Town Center has been utilized for different purposes and applications by the Sanibel Plan, Park and Recreation System Master Plan, Land Development Code and recent private marketing and redevelopment concepts for the Nave property.

The Sanibel Plan’s (See Attachment 1) Recreation and Open Space element previously referred to a “Town Center/Town Square” and, pursuant to the adopted EAR based amendments, recommends that the City “Consider development of an area to serve as a focal point for community activity, special events and informal assembly.” As noted above, the Sanibel Plan’s Commercial Development element also refers to the preparation of plans for “commercially zoned areas along Periwinkle Way” including the “Town Center” which refers, in part, to the commercially zoned portion of the Nave property.

The adopted City of Sanibel Parks and Recreation System Master Plan includes recommendations for a "Town Green Special Events Area" that would "dedicate open space between/in front of City Hall and Library as the Sanibel Town Green" (See Attachment 2).

The City of Sanibel's Land Development Code (LDC) also utilizes the term Town Center to define the Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts (See Figure 6 included as part of Attachment 4) which include properties along Periwinkle Way, west of Dunlop Road, and Palm Ridge and Tarpon Bay Roads.

Finally, the term Town Center has also been applied to the Nave property by a recent real estate marketing campaign and a preliminary mixed residential, commercial and retail redevelopment concept plan prepared by Town Center of Tomorrow, Inc.

For the purposes of this report, the term Town Center is utilized to describe the redevelopment planning focus area which includes the following properties and land uses: Historical Museum and Village; Big Arts; City Hall; Sanibel Library; Schoolhouse Theater; Sanibel Community Association (SCA); recently completed Community Park; St. Michael's Church; and the Nave property. The enclosed Figure 2 defines the location of the Town Center redevelopment planning focus area.

#### **Profile of the Town Center Focus Area**

The Town Center redevelopment planning focus area is centered around the approximate 9.7<sup>1</sup> acre Nave property which is currently developed with approximately 16,891sq. ft.<sup>1</sup> of commercial (retail, restaurant, office and service uses) floor area and three single family residential units. Only 5.4<sup>1</sup> acres of the Nave property fronting on Periwinkle Way are zoned for Town Center General (TCG) commercial development.

The Nave property is surrounded by Sanibel's centrally located civic, cultural, historic, recreational and governmental facilities which together comprise approximately 45 acres. The proximity and concentration of these existing uses and facilities, as defined by the accompanying aerial photograph (See Figure 3), is unique to Sanibel and, together with the Nave property, present a unique opportunity for coordinated short and long term redevelopment planning.

Please consult the Phase I: Existing Conditions, Opportunities and Constraints report prepared by Wallace Roberts & Todd, LLC for additional information regarding the Town Center focus area.

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<sup>1</sup>Total acreage and leasable square feet defined by Appraisal Report prepared by Carlson Norris and Associates, Inc., April 14, 2006.



**Figure 3**

**Aerial Photograph of Town Center Focus Area  
Existing Conditions, Uses and Facilities**



A more detailed profile and a summary analysis of the current conditions and relevant provisions of the Land Development Code that pertain to future private redevelopment of the Nave property located at 2240 Periwinkle Way (Tax Parcel No. 26-46-22-T2-00009.0000) is provided by Attachment 3 (See Table 1 and Figures 4 and 5) of this report.

**Redevelopment Planning Principle and Policies**

On February 5, 2008, City Council approved the following statement of principle related to future private redevelopment of the Nave property which is centrally located within the Town Center focus area:

*“The Sanibel Plan commits to a Town Center and a hierarchy of needs to preserve the scarce natural systems and spaces in commercial areas and Council expresses in principle the willingness to work with the seller and buyers of the Nave property to look at the possibility of paths, pocket parks and conservation areas that would connect with cultural institutions and businesses within the existing permitted density.”*

The following redevelopment planning policies have been prepared to support the adopted Sanibel Plan and City Council's approved Town Center (See Figure 2) redevelopment planning principle which is intended to guide private redevelopment of the Nave property consistent with the current Land Development Code and in a fully integrated and coordinated manner with the surrounding civic, cultural, recreation and historic uses and facilities.

**1. Preserve, Restore and Connect with Environmentally Sensitive Lands**

- 1.1 Preservation of the unique environmental characteristics associated with each of the properties within the Town Center (See Figure 2) focus area and the incorporation of additional green space, particularly within the commercially zoned area of the Nave property, must be a priority.
- 1.2 Future redevelopment and improvements should employ site planning and design strategies consistent with the Sanibel Plan and Land Development Code that will preserve, restore and connect with surrounding environmentally sensitive lands and wildlife habitat.

**2. Maintain, Integrate and Improve Public Spaces**

- 2.1 The wide range of public spaces within the Town Center focus area (See Figure 2), which consist of roads, shared use paths, sidewalks, walkways and open spaces, should be maintained, integrated and improved to provide a unified network that supports and invites public interaction and pedestrian connections both during the daytime and evening.
- 2.2 Consistent with the adopted Recreation and Open Space element of the Sanibel Plan (See Attachment 1) and the Parks and Recreation System Master Plan (See Attachment 2), the feasibility of creating a centrally located open space or spaces should be considered as a focal point and key organizing design and site planning element as part of the future redevelopment of the Nave property. The open space or spaces will serve a wide range of activities and be integrally connected with the adjoining civic, cultural, recreational, historic, residential and commercial uses and facilities.

**3. Enhance and Expand Pedestrian and Bicycle Accessibility**

- 3.1 Enhance and expand pedestrian and bicycle accessibility and connectivity between existing and future civic, cultural, recreation, governmental, residential and commercial uses through both private and public strategies and partnerships that

focus on: internal connections that link properties, land uses and facilities; and along the Dunlop Road and Periwinkle Way right-of-ways consistent with the updated Shared Use Path Master Plan.

- 3.2 Maintain, improve and expand pedestrian and bicycle connections between the Town Center (See Figure 2), Palm Ridge and Tarpon Bay focus areas as well as with other commercial districts and properties in order to achieve the goals, policies and recommendations of the Sanibel Plan and the Shared Use Path Master Plan to insure Sanibel “will be a walkable and bikeable community.”

#### **4. Provide Opportunities for Shared Parking**

- 4.1 Future redevelopment plans within the Town Center (See Figure 2) focus area should introduce opportunities to: minimize lot area coverage dedicated to off-street parking; provide for reduced impermeable surfaces; eliminate multiple vehicular trips that contribute to congestion; encourage pedestrian and bicycle activity and connectivity; and enable cross access and parking agreements, where appropriate, that will enable the shared use of the 460 existing parking spaces located today within the focus area.
- 4.2 Shared parking plans that recognize varying parking demands associated with existing and future permitted land uses should be developed for consideration by the Planning Commission pursuant to Land Development Code, Chapter 126. Article XVI. Off-Street Parking and Loading.

#### **5. Continue to Introduce Parking Management Strategies**

- 5.1 The City of Sanibel, property owners and facility managers of both existing and future private, public, civic, cultural, recreation and historic properties within the Town Center (See Figure 2) focus area should continue to work in partnership to implement joint parking management strategies that maximize utilization of the daytime, evening, seasonal and off-seasonal parking supply.

#### **6. Support Seasonal Special Events and Provide Safe and Efficient Pedestrian and Vehicular Access and Off-Street Parking**

- 6.1 The Town Center (See Figure 2) focus area will continue to be Sanibel’s primary location for staging special events that are enjoyed by Island residents and visitors. Efforts to develop and manage special event parking will continue to be a high priority to insure pedestrian accessibility and safety and to minimize traffic congestion and unnecessary vehicular circulation.

**7. Retain and Support Island Serving Commercial Uses**

- 7.1 The City is committed to the retention, start-up and successful operation of independent and island serving businesses and entrepreneurs that are essential to the character and quality of life on Sanibel.
- 7.2 The Town Center (See Figure 2) focus area and surrounding Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts (See Attachment 4) will continue to be, as recommended by the Sanibel Plan, the primary location for retaining and supporting Island serving commercial uses.
- 7.3 Future Island serving commercial redevelopment within the Town Center (See Figure 2) focus area shall be consistent with: Section 3.6.2. Future Land Use Element of the Sanibel Plan; Land Development Code Chapter 126, Zoning, Article VIII. Commercial Districts, Division 3. TCG Town Center General Commercial District (See Attachment 4).
- 7.4 In order to maintain Sanibel's environmentally based economy, community character and unique composition of Island serving commercial land uses, the introduction of new formula retail uses shall not be permitted unless conditional use approval is granted by City Council pursuant to Land Development Code, Sec. 126-102. Formula Retail Stores.
- 7.5 As defined by the Sanibel Plan and Land Development Code, Chapter 126. Zoning, Article XIV. Supplementary District Regulations, Division 5. Commercial Uses Generally (See Attachment 4), future commercial redevelopment shall be designed to insure compatibility with standards that address: commercial unit size; maximum building size; economic and traffic impacts; maximum street frontage; architectural character and site planning standards and guidelines; and compatibility with wildlife habitat, conservation areas and residential land uses.
- 7.6 The total permitted commercial floor area (Floor Area Ratio (FAR)) within the Town Center General (TCG) commercially zoned portion of the Nave property shall not exceed 12% as defined by Land Development Code, Chapter 126. Zoning. Article VIII. Commercial Districts, Division. TCG Town Center General Commercial District (See Attachments 3 and 4).

**8. Support Mixed Use Site Plans and Structures Consistent with the Sanibel Plan and Land Development Code**

- 8.1 Mixed use structures consisting of commercial space, market rate and/or below market rate housing shall be consistent with Land Development Code, Chapter 126,

Conditional Uses, Sec. 126-87 Combined Commercial and Residential Development and Chapter 86. Development Standards, Sec. 86-1. Combined residential and commercial development.

**9. Residential Densities within the Town Center Focus Area shall be Consistent with the Sanibel Plan and Land Development Code.**

9.1 Maintain the existing permitted residential density pursuant to the adopted Sanibel Plan and consistent with Land Development Code, Chapter 86. Development Standards, Article III. Residential, Division 2. Density and Chapter 126, Sec. 126-976 which stipulate that the maximum number of dwelling units permitted on a lot or parcel which consists of areas having different residential densities shall be the total of the dwelling units permitted by those areas (See Attachment 5).

**10. Below Market Rate Housing**

10.1 A total of 26 Below Market Rate Housing (BMRH) units have been developed to date within the Periwinkle Way West Commercial District planning area. The Sanibel Plan envisions that, at build out, BMRH housing will be available to 3% (104 Dwelling Units) of the Island's residential households. BMRH opportunities should continue to be distributed Island-wide and not concentrated within any one area of Sanibel, including the Town Center (See Figure 2) focus area.

10.2 Future opportunities for the addition of BMRH within the Periwinkle Way West District will conform to the provisions of the Land Development Code, Chapter 102. Housing, Article II. Below Market Rate Housing.

**11. Improvement and Expansion of the Town Center's Civic and Cultural Facilities.**

11.1 The City will continue to work in partnership to define short and long term strategies and opportunities for maintaining, integrating, improving and expanding, as warranted, BIG ARTS, Sanibel Library, Schoolhouse Theater, Historic Museum and Village, SCA and Senior Center facilities which together form the civic and cultural center of Sanibel.

11.2 The Town Center (See Figure 2) focus area's civic, cultural, historic and recreational facilities shall be reinforced by plans for maintaining, managing and improving public spaces, pedestrian connections, shared use paths and parking facilities.

- 11.3 Opportunities to provide joint programming and utilization of existing civic, cultural and related facilities within the Town Center (See Figure 2) focus area should continue to be a high priority.
- 12. Future Town Center Redevelopment shall be Consistent with the City's adopted Architectural Design and Site Planning Standards and Guidelines.**
- 12.1 Future improvements, construction and site planning within the Town Center (See Figure 2) focus area shall be consistent with the specific design, architectural, and landscape architectural design and site planning standards and guidelines adopted for the Town Center General (TCG) Commercial Zoning District pursuant to Land Development Code, Chapter 126. Zoning. Sec. 126-1028 and 1029.
- 12.2 Architectural standards and guidelines shall encourage future improvements, additions and alterations within the Town Center (See Figure 2) focus area to employ green building design and infrastructure features, energy efficiency, and climate and weather resistant materials and construction techniques.

**ATTACHMENT 1**

**Sanibel Plan**  
**Section 3.3.7. Recreation and Open Space Element**  
**Section 3.6.2. Future Land Use Element**

## **ATTACHMENT 1**

### **Sanibel Plan Section 3.3.7. Recreation and Open Space Element Section 3.6.2. Future Land Use Element**

Supporting City Council's approved Town Center redevelopment planning principal and policies are the following recommendations from the Sanibel Plan's Section 3.3.7 Recreation and Open Space Element and Section 3.6.2 Future Land Use Element.

#### **Section 3.3.7. Recreation and Open Space Element**

##### **Plan for Recreation and Open Space (Page 158)**

The components of the City's Plan for Recreation and Open Space (See Attachment 2) are as follows

15 .Consider development of an area to serve as a focal point for community activity, special events and informal assembly.

#### **Section 3.6.2. Future Land Use Element**

##### **Background Discussion (Page 223)**

The development of the Periwinkle Way West Commercial District Master Plan, including the Palm Ridge Area, called for in the Plan for Commercial Development will be included as part of the City's Redevelopment Planning Work Program.

##### **Background Discussion (Page 224)**

The community's interest in the development of a **Town Center/Town Square**, considered in the Plan for Community Design, has evolved. The *Master Parks and Recreation Plan* recognizes the community benefit in providing a place to serve as a focal point for community activity, special events and informal assembly. Implementation of the *Master Parks and Recreation Plan* is a major issue in the 2004/2005 Evaluation and Appraisal Report of the *Sanibel Plan*.

##### **Commercial Development (Page 232)**

Further retail development should be discouraged on Periwinkle Way and encouraged in the Town Center District (the Palm Ridge area) because of the latter area's relatively good access from Periwinkle Way, Palm Ridge Road and Tarpon Bay Road, and because it is the geographical center of the Island. Development regulations designed for the Town Center and Palm Ridge area should provide incentives to combine substandard (smaller) lots and to promote commercial development that primarily serves the needs of residents. In addition, the City's Redevelopment Planning Work Program will include the preparation of specific district plans for the commercially zoned areas along Periwinkle Way, including a plan for the Town Center and Palm Ridge Road area.

##### **Plan for Preservation and Community Design (Page 239)**

Consider development of a specific district plan for the Periwinkle Way West Commercial District, including the Palm Ridge area, which will include strategies to improve and integrate City Hall and the surrounding civic, cultural and recreational uses to serve as a focal point for community activity, special events and informal assembly.

**ATTACHMENT 2**

**City of Sanibel  
Parks and Recreation System  
Master Plan**



**ATTACHMENT 3**

**Detailed Profile and Summary of  
Land Development Code  
Requirements and Zoning  
Analysis for the Nave Property**

**Table 1**  
**Detailed Profile and Summary of Land Development code**  
**Requirements and Zoning Analysis for the Nave Property**

**A. EXISTING CONDITIONS<sup>1</sup>:**

|   |  |
|---|--|
| <b>1. Parcel Size</b>   | 9.7 Acres  |
| <b>2. Ecological Zones</b>  | Lowland Wetlands; Upland Wetlands and Mid Island Ridge   |
| <b>3. Development Intensity (Figure 4)</b><br><i>(See LDC Section 126-976 Applicability of regs. to parcels ... w/ varying residential densities)</i> | 4.0 DUs/Ac or 1 DUs/.25 Acres<br>2.2 DUs/Ac or 1 DUs/.45 Acres<br>0.3 DUs/Ac or 1 DUs/3.34 Acres   |
| <b>4. Existing Land Uses (Figure 5)</b><br>Residential<br>Commercial (Sanibel Square Center)  | 3 Single Family Residential Units<br>16,891sf Commercial Floor Area  |
| <b>4. Commercial Zones</b><br>(See Attachment 4)  | Town Center General (TCG)<br>5.4 Acres @ 12% Floor Area Ratio  |
| <b>6. Permitted Land Uses</b><br>Residential<br>(See Attachment 5)<br><br>Commercial (See LDC Ch 126; Art VIII)<br>(See Attachment 4)                 | Single Family and Two Family<br>Multi-Family (w/in 400' of Periwinkle not in Lowlands)<br>Cluster Housing (See LDC Section 86; Art III; Div 3)<br>Below Market Rate Housing (See LDC Chapter 102)<br>All Permitted Commercial Uses<br>(LDC Article VIII, division 3) |

**B. PERMITTED DEVELOPMENT**

|  |  |
|--|--|
| <b>1. Residential<sup>2</sup> (See Figure 4)</b><br>4.0 Acres @ 4.0 DUs/Acre<br>2.9 Acres @ 2.2 DUs/Ac<br>2.6 Acres @ 0.3 DUs/Ac<br><b>Total (See LDC Section 126-976)<sup>3</sup></b> | 16 Dwelling Units<br>6.4 Dwelling Units<br>0.8 Dwelling Units<br><b>23 Dwelling Units</b>  |
| <b>2. Commercial</b><br>(See Attachment 4)   | <b>28,000sf of Commercial Floor Area</b><br><i>(See LDC Ch 126; Art VIII Permitted &amp; Conditional Uses)</i>   |
| <b>3. Combined Residential &amp; Commercial<sup>3</sup></b><br>(Conditional Use - See LDC Section 126.87)  | 1 Du, in addition to the 4 DUs permitted outside the TCG District, can be developed for every 1,000sf reduction of permitted com. floor area (not to exceed the total of 23 DUs for the entire 9.5 acre parcel). Ergo:<br><b>23 DUs &amp; 9,000sf of Com. Floor Area</b><br>to<br><b>5 DUs &amp; 27,000sf of Com. Floor Area</b> |

<sup>1</sup> Total acreage and leasable square feet defined by Appraisal Report prepared by Carlson Norris and Associates, Inc., April 14, 2006.

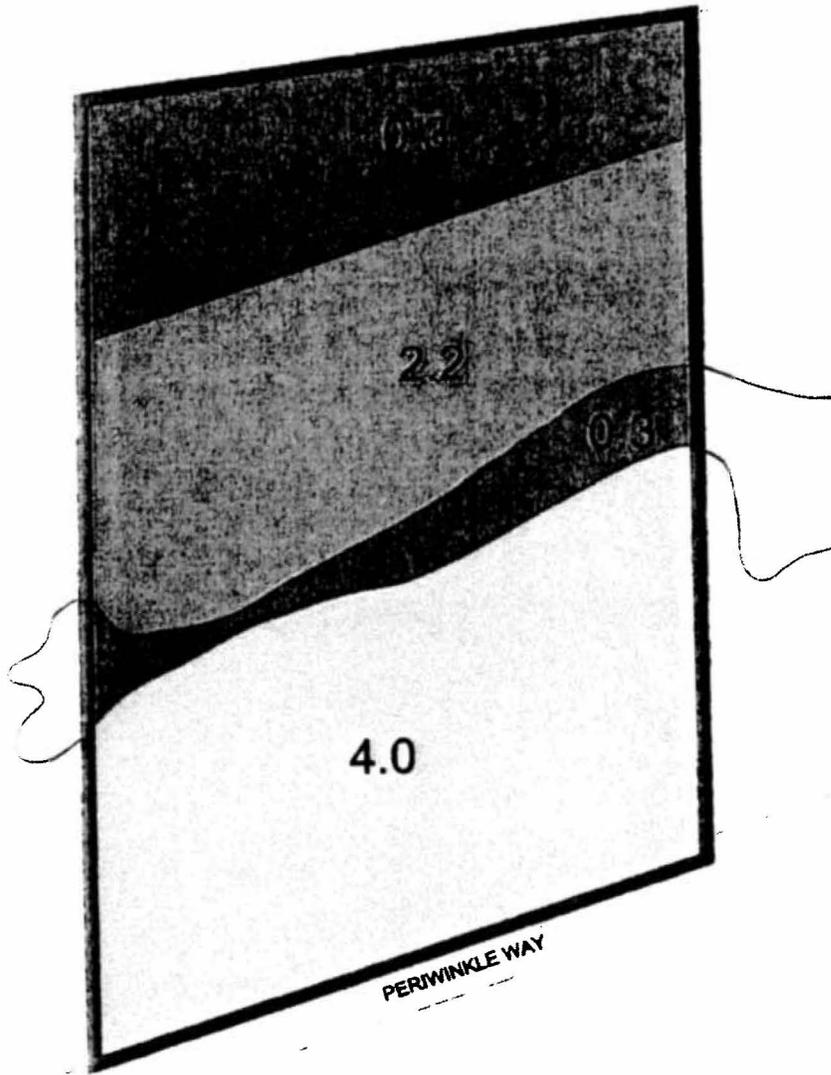
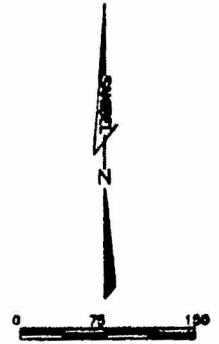
<sup>2</sup> Based on the analysis completed by bean, Whitaker, Lutz & Kareh, Inc. (December 2007)

<sup>3</sup> Survey and site plan required for computation of specific permitted residential density and commercial floor area.

9.5± acre Periwinkle Way Parcel  
Focus Area A

Periwinkle Way West  
Commercial District Plan

north side of road between Dunlop Road and Palm Ridge Road



**LEGEND**

-  0.3 1 D.U. 3.34 ACRES
-  2.2 1 D.U. PER 0.45 ACRES
-  4.0 1 D.U. PER 0.25 ACRES

PARCEL AREAS ARE FROM  
LEE COUNTY GRAPHIC TAX MAPS.  
SURVEY REQUIRED FOR ACCURATE ACREAGE

**DEVELOPMENT INTENSITY**

4.0 ACRES AT 4.0 DU/ACRE = 16.0 UNITS  
PLUS (+)  
2.9 ACRES AT 2.2 DU/ACRE = 6.4 UNITS  
PLUS (+)  
2.6 ACRES AT 0.3 DU/ACRE = 0.8 UNITS  
EQUALS (=)  
TOTAL 23.2 UNITS  
MAXIMUM PERMITTED NUMBER OF UNITS

**FIGURE 4**

**Figure 5**

**Aerial Photograph of Nave Property  
Existing Conditions, Uses and Facilities**



**ATTACHMENT 4**

**Summary of Current Commercial  
Land Use Regulations  
By Commercial District**

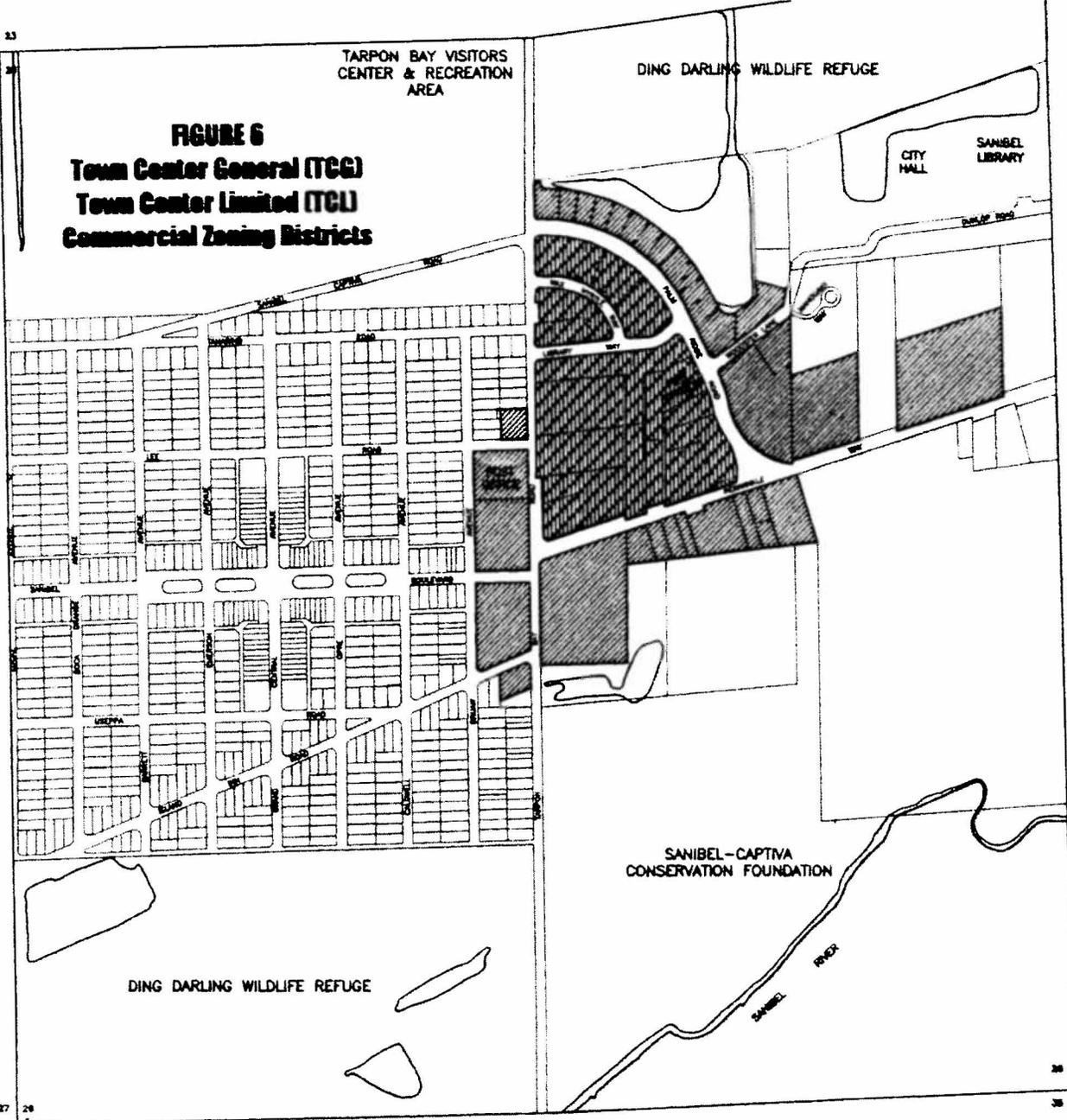
**Summary of Current Commercial Land Use Regulations  
by Commercial District**

| <b>Commercial Land Use Regulations</b>       | <b>General Commercial District</b>  | <b>Town Center General Commercial District</b>                          | <b>Town Center Limited Commercial District</b>  |
|--|---|---|---|
| <b>Permitted Uses</b>                        | All commercial uses, except for conditional uses, that are permitted in the City of Sanibel<br>Sec. 126-491 | Same as General District.<br>Sec. 126-511                               | Same as General District, except that Apparel, Children's Wear, Gift and Jewelry stores are prohibited Sec. 126-531 |
| <b>Conditional Uses</b>                      | All conditional uses that are permitted in the City of Sanibel<br>Sec. 126-492                              | Same as General District<br>Sec. 126-512                                | Same as General District<br>Sec. 126-532  |
| <b>Maximum Floor Area Ratio</b>              | 10% for parcels larger than 20,000sf<br>5% for all other parcels<br>Sec 124-494(a)                          | 12% for parcels >20,000sf<br>5% for all other parcels<br>Sec 126-514(a) | Same as Town Center General District<br>Sec 126-534(a)  |
| <b>Height</b>                                | 45 feet above mean sea level<br>Sec 126-494(b)  | Same as General District<br>Sec. 126-514(b)                             | Same as General District<br>Sec. 126-534(b)   |
| <b>Front Yard Setbacks</b>                   | 100 feet from centerline of major roads<br>50 feet from centerline of local roads<br>Sec. 126-494(c)        | Same as General District<br>Sec. 126-514(c)                             | Same as General District<br>Sec. 126-534(c)   |
| <b>Side Yard Setbacks</b>                    | 25 feet for parcel with >125' of road frontage<br>15 feet all other parcels<br>Sec. 126-494(d)              | Same as General District<br>Sec. 126-514(d)                             | Same as General District<br>Sec. 126-534(d)   |
| <b>Rear Yard Setbacks</b>                    | 20 feet<br>Sec. 126-494(d)  | Same as General District<br>Sec. 126-514(d)                             | Same as General District<br>Sec. 126-534(d)   |
| <b>Coverage with Impermeable Surfaces</b>    | 45% of lot area<br>Sec 126-494(e)   | Same as General District<br>Sec. 126-514(e)                             | Same as General District<br>Sec. 126-534(e)   |
| <b>Developed Area and Vegetation Removal</b> | 50% of lot area<br>Sec 126-494(f)   | Same as General District<br>Sec. 126-514(f)                             | Same as General District<br>Sec. 126-534(f)   |

Notes: Off-street Parking Requirements are not included in this table.  
Sections of the Land Development Code are cited for reference to the full list of permitted and conditional uses and the complete statement of the development regulations.

Consult with Land Development Code, Chapter 126. Zoning, Article XIV. Supplementary District Regulations, Division 5 Commercial Uses Generally regarding the following regulations pertaining to: commercial unit size; economic and traffic impacts; maximum size of commercial buildings; formula retail; architectural standards; site planning standards; and standards for compatibility with wildlife habitat, conservation land and residential areas.

**FIGURE 6**  
**Town Center General (TCG)**  
**Town Center Limited (TCL)**  
**Commercial Zoning Districts**

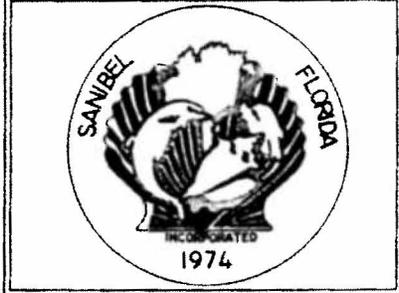


**LEGEND**

- PROPERTY LINES
- EDGE OF WATER
- [White Box] GENERAL COMMERCIAL DISTRICT
- [Diagonal Lines] TOWNCENTER GENERAL COMMERCIAL DISTRICT
- [Cross-hatch] TOWNCENTER LIMITED COMMERCIAL DISTRICT

**KEY MAP**

AREA OF DETAIL



| SECTION | TOWNSHIP | RANGE |
|---------|----------|-------|
| 26      | 46S      | 22E   |

COMPILED BY:  
 Brown, Whelan, Lee & Kavan, Inc. (owner)  
 CHARTERED SURVEYORS-PLANNERS  
 1000 UNIVERSITY AVENUE, SUITE 100, SANibel, FLORIDA 33957  
 813-875-1111

**ATTACHMENT 5**

**Summary of Permitted Residential Uses  
and Required Conditions  
for Residential Districts**



## Summary of Permitted Residential Uses and Required Conditions for Residential Districts

Source: LDC Chapter 126 Zoning, Article VII, Residential Districts

Planning Department  
February 2008

| Residential Districts       | Permitted Residential Uses                                  | Minimum Lot Area                                      | Maximum Height <sup>1</sup> | Front Yard Setback                     | Side Yard Setbacks | Rear Yard Setback | Setback from Open Water Bodies | Coverage (Impermeable Surface)                                 | Vegetation - Removal and Developed Area                        |
|-----------------------------|---|---|-----------------------------|--|--------------------|-------------------|--------------------------------|--|--|
| E-1 Blind Pass Area Zone    | 1 Family DU<br>Duplex DU<br>Cluster Dev.                    | 20,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 25% of Lot Area  | 30% of Lot Area  |
| E-2 Gulf Beach Ridge Zone   | 1 Family DU<br>Duplex DU<br>Cluster Dev.<br>Multi-Family DU | 20,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 25% of Lot Area  | 30% of Lot Area  |
| D-1 Lowlands Wet Lands Zone | 1 Family DU<br>Cluster Dev.                                 | 20,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 15% of Lot Area  | 20% of Lot Area  |
| D-2 Uplands Wetlands Zone   | 1 Family DU<br>Duplex DU<br>Cluster Dev.<br>Multi-Family DU | 15,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 25% of Lot Area  | 30% of Lot Area  |
| F – Mid-Island Ridge Zone   | 1 Family DU<br>Duplex DU<br>Cluster Dev.<br>Multi-Family DU | 10,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 30% of Lot Area  | 35% of Lot Area  |
| C – Mangrove Forest Zone    | 1 Family DU   | 20 acres or<br>20,000 Sq. Ft. for<br>existing parcels | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 1% of Lot Area   | 2% of Lot Area   |
| G – Altered Land Zone       | 1 Family DU<br>Duplex DU<br>Cluster Dev.<br>Multi-Family DU | 10,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 35% (Lot ≤<br>10,000 Sq. Ft.)<br>30% (Lot ><br>10,000 Sq. Ft.) | 40% (Lot ≤<br>10,000 Sq. Ft.)<br>30% (Lot ><br>10,000 Sq. Ft.) |

<sup>1</sup>Maximum Height for Multi-family buildings in the Resort Housing District is 45 ft.  
See Angle of Light, Chimney, Gable Ends, Dormer and Other Architectural Features

### ATTACHMENT 5

**Summary of Permitted Residential Uses  
and Required Conditions for  
Residential Districts**

~~AND SUPERSEDING RESOLUTION 05-085; AND PROVIDING AN EFFECTIVE DATE~~

- p. **RESOLUTION 08-080 OF THE SANIBEL CITY COUNCIL ADOPTING ARCHITECTURAL AND SITE PLANNING DESIGN STANDARDS AND GUIDELINES FOR THE TOWN CENTER GENERAL (TCG) AND THE TOWN CENTER LIMITED (TCL) COMMERCIAL ZONING DISTRICTS; AND PROVIDING AN EFFECTIVE DATE**
- q. **RESOLUTION 08-089 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2008-059 AND PROVIDING AN EFFECTIVE DATE** (To appropriate an \$11,000 grant from the L.A.T. Foundation to the Historical Museum and Village Fund for repairs to the museum's handicapped accessible walkway. This amendment increases FY08 revenue and expense by \$11,000 for this new revenue source.)
- s. **RESOLUTION 08-085 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2008-057 AND PROVIDING AN EFFECTIVE DATE** (To appropriate \$20,000 from the General Fund Reserve for Contingency to the Police Department to continue the lizard/iguana eradication program through FY08. This amendment does not increase the FY08 budget since no new or additional funds are being appropriated by this amendment. The balance in the General Fund Reserve for Contingency will be \$54,742 after this amendment.)
- x. **RESOLUTION 08-086 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2008-058 AND PROVIDING AN EFFECTIVE DATE** (To: 1) roll-forward the FY 2008 actual unappropriated beginning fund balance in the Historic Museum and Village Fund and to align the final amended budget with the actual operating results of the fiscal year through June 30, 2008; 2) to budget a \$2,500 grant to the Sanibel Community Church to assist in the upgrade of electrical service to 400 amps. This grant was awarded by the Historic Preservation Assistance Program on May 3, 2007 to be disbursed in FY08; 3) to reduce the amount of the FY08 transfer from the General Fund to the Historic Museum and Village Fund by \$67,812)
- y. **RESOLUTION 08-087 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2008-055 AND PROVIDING AN EFFECTIVE DATE** (To roll-forward actual FY2007 ending fund balance (pursuant to audited financial statements) to FY08 beginning fund balance for all governmental funds. These amounts, which are more or (less) than the FY08 ending fund balance to provide increases or (decreases) in fund balances available to be carried forward to FY09. This amendment increases the FY08 budget by \$161,160 although no new or additional funds are appropriated by this amendment.)
- z. **RESOLUTION 08-088 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2008-060 AND PROVIDING AN EFFECTIVE DATE** (To reallocate the FY2008 required contribution to the General Employees and Police Officers Pension Plans by modifying the formula used to calculate the distribution of the required retirement contribution from one based on FTE's to one based on wages. The effect of the change is to increase for departments or funds with higher wages and to decrease expense for departments or funds with lower wages. This modification does not change the amount of the required contribution.)
- bb. **RESOLUTION 08-090 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2008-061 AND PROVIDING AN EFFECTIVE DATE** (To modify FY08 interfund transfers as follows: 1) Return \$550,453 transferred from the General Fund to the Periwinkle Road and Bikepath Fund for funds unspent in FY07 for moving Periwinkle Way between Roadside Park and the

**CITY OF SANIBEL**

**RESOLUTION 08-080**

**A RESOLUTION OF THE SANIBEL CITY COUNCIL ADOPTING ARCHITECTURAL AND SITE PLANNING DESIGN STANDARDS AND GUIDELINES FOR THE TOWN CENTER GENERAL (TCG) AND THE TOWN CENTER LIMITED (TCL) COMMERCIAL ZONING DISTRICTS; AND PROVIDING AN EFFECTIVE DATE**

**WHEREAS**, the City of Sanibel has adopted amendments to its commercial land use regulations (Ordinance no. 07-022) on February 20, 2007; and

**WHEREAS**, those commercial land use regulations state that the City Council may adopt an illustrative guide of architectural standards to aid in the administration and interpretation of Land Development Code Section 126-1028; and

**WHEREAS**, those commercial land use regulations also state that the City Council may adopt an illustrative guide of site planning guidelines to aid in the administration and interpretation of Land Development Code Section 126-1029; and

**WHEREAS**, on February 26, 2008, March 11, 2008 and April 22, 2008 the City of Sanibel Land Development Code Review Committee, a Committee of the Sanibel Planning Commission, as part of published agendas for the noticed meeting, discussed and directed changes to Architectural and Site Planning Design Standards and Guidelines for the Town Center General (TCG) and the Town Center Limited (TCL) Commercial Zoning Districts report prepared by the Planning Department and the planning consulting firm Wallace Roberts & Todd, LLC; and

**WHEREAS**, on May 27, 2008, the Land Development Code Review Committee, as part of published agendas for the noticed meeting, unanimously approved the report for consideration by the Planning Commission; and

**WHEREAS**, on June 10, 2008, the Planning Commission, as part of published agendas for the noticed meeting, adopted a resolution (Planning Commission Resolution no. 08-11) recommending that City Council adopt the report.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Sanibel, Lee County, Florida:

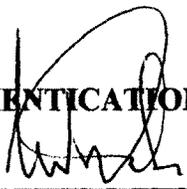
**Section 1.** A copy of the “Architectural and Site Planning Design Standards and Guidelines for the Town Center General (TCG) and the Town Center Limited (TCL) Commercial Zoning Districts“, June 2008, is attached to this resolution as Exhibit “A”.

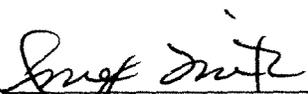
**Section 2.** The “Architectural and Site Planning Design Standards and Guidelines for the Town Center General (TCG) and the Town Center Limited (TCL) Commercial Zoning Districts“, June 2008, are hereby adopted by the City Council.

**Section 3.** The City Manager and the Manager’s designees are hereby authorized and directed to implement the use of these standards and guidelines in the administration of the Land Development Code, pursuant to Land Development Code Sections 126-1028 and 126-1029.

**Section 4. Effective Date.** This resolution shall take effect immediately upon adoption.

**DULY PASSED AND ENACTED** by the Council of the City of Sanibel, Florida,  
this 15<sup>th</sup> day of July, 2008.

**AUTHENTICATION:**  
  
\_\_\_\_\_  
Mick Denham, Mayor

  
\_\_\_\_\_  
Pamela Smith, City Clerk

APPROVED AS TO FORM: Kenneth B. Cuyler  
Kenneth B. Cuyler, City Attorney

7/8/08  
Date

Vote of Council Members:

Denham      yea

Ruane        yea

Jennings    yea

Johnston    yea

Pappas      yea

Date filed with the City Clerk:      July 15, 2008

**EXHIBIT-A**

**ARCHITECTURAL and SITE PLANNING DESIGN  
STANDARDS and GUIDELINES  
for  
TOWN CENTER GENERAL (TCG) and TOWN CENTER LIMITED (TCL)  
COMMERCIAL ZONING DISTRICTS**



Planning Commission Resolution No. 08-11, June 10, 2008  
City Council Resolution No. 08-080, July 15, 2008

*July 2008*



# City of Sanibel



## **City of Sanibel**

### **City Council**

Mick Denham, Mayor  
Kevin Ruane, Vice Mayor  
Carla Brooks Johnston  
Jim Jennings  
Peter Pappas

### **Planning Commission**

Michael Valiquette, Chair  
Phillip Marks, Vice Chair  
David Berger  
Les Forney  
Tom Krekel  
Paul Reynolds  
Patricia Sprankle

### **City Manager**

Judie Zimomra

### **Planning Director**

Robert J. Duffy, AICP

### **Consultant**

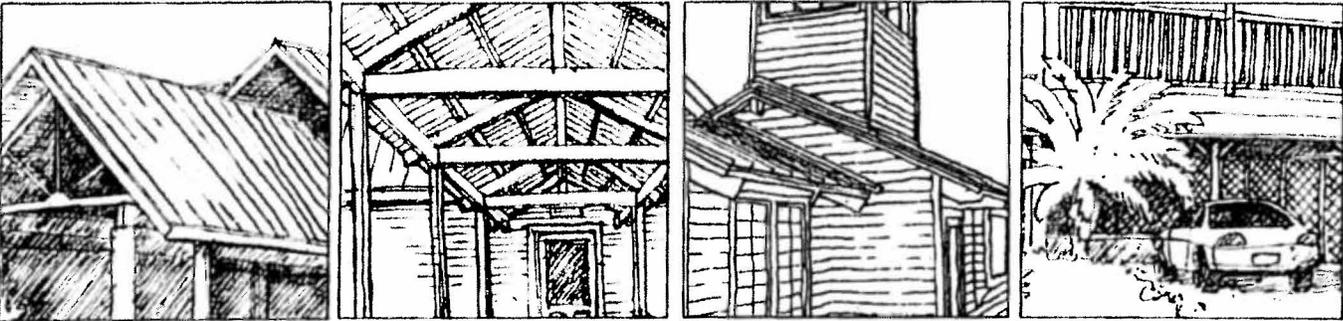
Wallace Roberts & Todd, LLC.

June 2008

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**PART I: INTRODUCTION**



## PART I: INTRODUCTION

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On July 15, 2008, Sanibel City Council adopted (Resolution No. 08-080) the following architectural and site planning design guidelines to assist with the administration and interpretation of the Land Development Code's Town Center General (TCG) and Town Center Limited (TCL) commercial zoning regulations.

The purpose of the architectural and site planning design guidelines is as follows:

- To further implement the Sanibel Plan, including the adopted Vision Statement (Part II A.) and the goals, objectives and polices for commercial development (Part II B.);
- To sustain and restore the natural and built environment that is uniquely Sanibel;
- To preserve and improve the overall design character of the community;
- To recognize and reinforce the unique physical and environmental qualities that characterize the properties within the Town Center commercial zoning districts;
- To maintain and enhance property values within the overall community and the Town Center commercial districts; and
- To provide an illustrated guide to the architectural and site planning standards for property owners and businesses considering improvements within the Town Center commercial districts.

The following figure on page 9 illustrates the boundaries for the Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts. The figure also defines the relationship between the TCG and TCL commercial districts and the underlying ecological zones defined in the Sanibel Plan and Land Development Code.

Specifically, the establishment of the Town Center architectural and site planning design guidelines is enabled by Sec. 126-1028 (g) Architectural standards and 126-1029 (f) Site planning standards of the City of Sanibel's Land Development Code. The standards and supporting guidelines apply to the following: construction of new commercial buildings; redevelopment of existing commercial buildings and sites; and major improvements to the exterior of existing commercial buildings. The guidelines do not apply to interior renovations. The reader should consult with the City of Sanibel's Planning Department regarding commercial development and improvements and the application of the Land Development Code's regulations, standards and guidelines.

The following document is organized into five sections that form a guide to assist property owners, architects and contractors with the interpretation and application of the City of Sanibel's Architectural and Site Planning Design Standards adopted as part of the City's TCG and TCL commercial zoning districts.

Part II of this document includes the Sanibel Vision Statement and excerpts from the Sanibel Plan that

## PART I: INTRODUCTION

state the Goals, Objectives and Policies pertaining to commercial development. These provide an important context within which this guide has been developed.

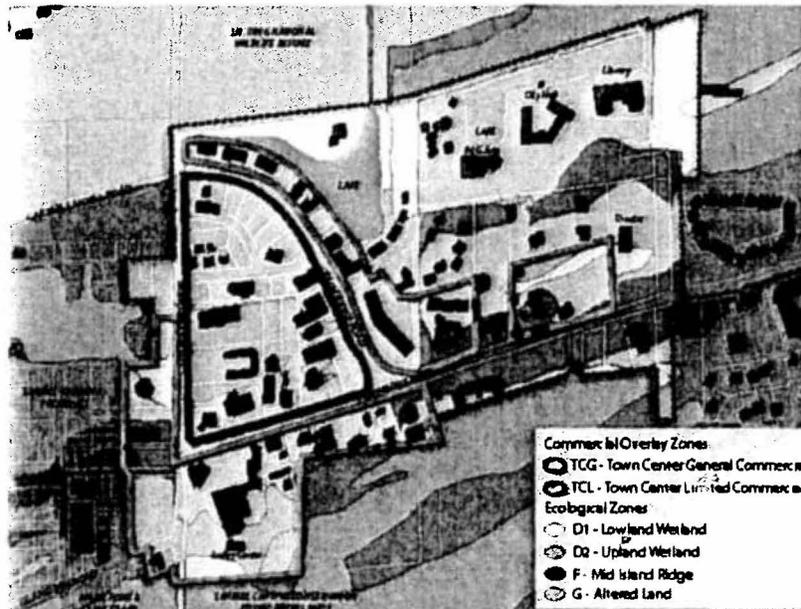
Part III of the guide defines prominent architectural characteristics that together contribute to Sanibel's "Island Styles". While architectural styles are not mandated by the Land Development Code, this guide defines for prospective owners, designers and builders the important architectural and site planning elements that plans and development permit applications for commercial development or redevelopment should address in order to conform with the unique character and quality of Sanibel.

Part IV of the guide provides an introduction and overview of green and sustainable design features and how those features may be implemented dur-

ing commercial development or redevelopment consistent with the TCG and TCL Architectural and Site Planning Design Standards and Guidelines. The design standards and guidelines address energy efficiency, water quality and conservation, site and environmental features, construction materials and techniques and weather and climate.

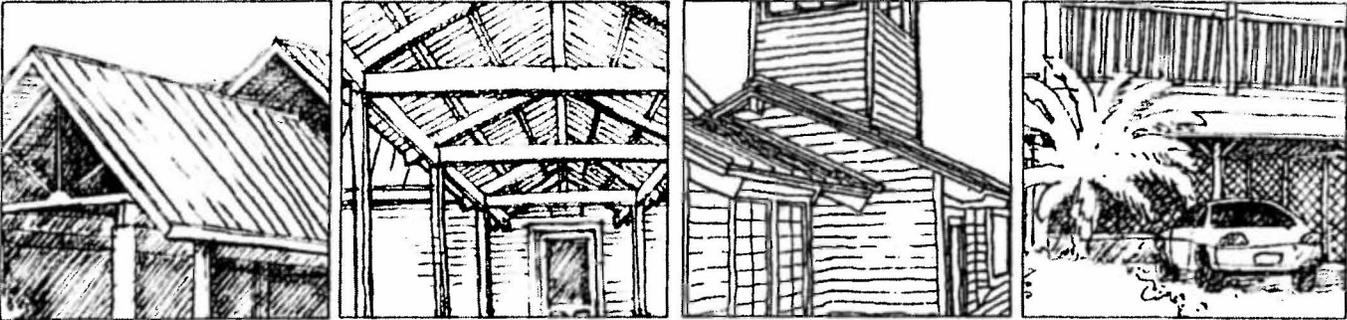
Parts V and VI of the guide include text and illustrations that convey the intent of the Architectural and Site Planning Design Standards. For ease of use, the full text of the Standards, excerpted from the Land Development Code, are included on the first page of each of these sections.

It is important that the reader also review the Land Development Code, as there are other requirements that will also affect future land development and construction.



*Town Center General and Town Center Limited Zoning Districts*

**PART II: SANIBEL PLAN**



## PART II: SANIBEL PLAN

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*The following Vision Statement and Goals, Objectives and Policies for commercial development have been adopted as part of the Sanibel Plan.*

### **A. Vision Statement**

#### **Background**

The barrier island of Sanibel comprises a wide variety of natural and altered environments. The community of Sanibel strives to sustain ecological balance and preserve and restore natural settings for residents, visitors, and wildlife. The people of Sanibel are sustained by the beauty and health of the island's natural and restored habitats, and they rely on the coordinated vigilance of residents, government, and private enterprise to protect and enhance these habitats. Over the first two decades of the community's existence as a city, a tenuous balance has been maintained between development and preservation; and between regulatory control and the rights and privileges of individuals. Government and not-for-profit institutions have helped sustain the balance by purchasing and restoring to natural conditions substantial areas of open space and threatened habitats.

Limited new development and redevelopment will occur over the next twenty years. However, growth limits and locations are well established, as are regulations to minimize harm to the natural environment and to the community's character.

The specter of rampant development has diminished as the community has matured. Nevertheless, unwanted changes are occurring; visitation increases as new "attractions" are developed; beaches and refuge

areas are becoming stressed by overuse; traffic congestion is turning to gridlock; and formerly "green" scenic corridors are becoming urbanized and commercialized. These and other conditions and trends cause residents to realize that, unless protected, their island's historic and cherished way of life is in jeopardy.

To provide a sense of direction for the future, this Vision Statement is a confirmation of the community's shared values and goals, to guide future decisions.

#### **Sanctuary**

Sanibel is and shall remain a barrier island sanctuary, one in which a diverse population lives in harmony with the island's wildlife and natural habitats. The Sanibel community must be vigilant in the protection and enhancement of its sanctuary characteristics.

The City of Sanibel will resist pressures to accommodate increased development and redevelopment that is inconsistent with the Sanibel Plan, including this Vision Statement.

The City of Sanibel will guard against and, where advisable, oppose human activities in other jurisdictions that might harm the island's sensitive habitats, including the island's surrounding aquatic ecosystems.

## PART II: SANIBEL PLAN

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### **Community**

Sanibel is and shall remain a small town community whose members choose to live in harmony with one another and with nature; creating a human settlement distinguished by its diversity, beauty, uniqueness, character and stewardship.

*Diversity:* The City of Sanibel cherishes its cultural, social, ecological, and economic diversity, and will endeavor to maintain it.

*Beauty:* The City of Sanibel will foster quality, harmony and beauty in all forms of human alteration of the environment. The community aesthetic is defined as a casual style; one which is adapted to a relaxed island quality of life and respectful of local history, weather, culture and natural systems.

*Uniqueness:* The City of Sanibel chooses to remain unique through a development pattern which reflects the predominance of natural conditions and characteristics over human intrusions. All forms of development and redevelopment will preserve the community's unique small town identity.

*Character:* The City of Sanibel chooses to preserve its rural character in its setting within an urbanizing county. "Auto-urban" development influences will be avoided. The commercialization of natural resources will be limited and strictly controlled.

*Stewardship:* In keeping with the foregoing principles, the City of Sanibel affirms a land ethic that recognizes landholding—both public and private—as a form of stewardship, involving responsibilities to the human and natural communities of the island and its surroundings, and to future generations.

### **Attraction**

The Sanibel community recognizes that its attractiveness to visitors is due to the island's quality as sanctuary and as community. The City of Sanibel will welcome visitors who are drawn by, and are respectful of, these qualities; it will resist pressures to accommodate visitor attractions and activities that compromise these qualities.

### **Hierarchy of Values**

This three-part statement of the community's vision of its future is a hierarchy; one in which the dominant principle is Sanibel's sanctuary quality. Sanibel shall be developed as a community only to the extent to which it retains and embraces this quality of sanctuary. Sanibel will serve as attraction only to the extent to which it retains its desired qualities as sanctuary and community.

## PART II: SANIBEL PLAN

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### B. Goals, Objectives and Policies for Commercial Development:

#### PLAN FOR COMMERCIAL DEVELOPMENT:

The City desires to retain and improve the historical and visual character of the Commercial Sector.

Implement development standards which assure commercial structures do not employ what is often referred to as "cookie-cutter" architecture and do employ architecture that contributes to the maintenance of historic, visual, scenic and architectural character of the Commercial Sector of the community.

Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.

Commercial buildings shall not appear monolithic.

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and recognize and respect local character and site conditions.

Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses.

#### GOAL STATEMENT A:

The three-part statement of the community's vision of its future is a hierarchy; one in which the dominant principle is Sanibel's sanctuary quality. Sanibel shall be developed as a community only to the extent to which it retains and embraces this quality of sanctuary. Sanibel will serve as attraction only to the extent to which it retains its desired qualities as sanctuary and community.

#### Objective A1:

Sanibel is and shall remain a small town.

Policy A1.1. The City of Sanibel will foster quality, harmony and beauty in all forms of human alteration of the environment. The community aesthetic is defined as a casual style; one which is adapted to a relaxed island quality of life and respectful of local history, weather, culture and natural systems.

Policy A1.2. The City of Sanibel chooses to remain unique through a development pattern that reflects the predominance of natural conditions and characteristics over human intrusions. All forms of development and redevelopment will preserve the community's unique small town identity.

Policy A1.3. The City of Sanibel chooses to preserve its rural character. "Auto-urban" development influences will be avoided. The commercialization of natural resources will be limited and strictly controlled.

**PART III: ISLAND STYLES**



## PART III: ISLAND STYLES

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### **B. Island style**

While there currently exists a diversity of building styles represented among commercial buildings within the TCG and TCL commercial zoning districts, there are some buildings that more successfully represent the “community aesthetic,” or what could be thought of as Sanibel’s “Island Style.” A review of the more successful examples results in the identification of four subcategories, or sub-styles, that together contribute to Sanibel’s “Island Style”. The sub-styles identified include Old Florida, Island Eclectic, Island Contemporary and Caribbean.

Conformance with specific architectural styles is not required by Sanibel’s Land Development Code. However they are illustrative of the overall characteristics that are considered compatible with the term “Island Style”, and inform the illustrations of the architectural and site design standards and guidelines included in this document. In keeping with the islands “rural” character, the buildings are typically smaller in stature and understated in design.

An attribute of all of these styles is their compatibility with issues of “sustainability,” or “green architecture” (See Part IV Green and Sustainable Design). For example, pronounced roof overhangs shade walls and open spaces below, providing natural cooling; sloped roofs perform better in hurricanes and can accommodate a natural ventilation space between the hot sun and living spaces below, and light colored roofs reflect the sun’s heat. When these building elements are combined with native plant species for landscaping, buildings and nature co-exist in harmony.



*A number of buildings on Sanibel represent the “Old Florida” style.*

## PART III: ISLAND STYLES

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### Old Florida

The "Old Florida" style is best exemplified by a number of commercial buildings along Periwinkle Way, including buildings designated as local historic landmarks within the Historic Sanibel Village. These buildings were generally constructed of wood and designed with substantial operable windows, overhangs and porches to take advantage of island breezes for natural cooling. Character-defining elements of this style include:

- Wood frame construction with horizontal lap siding.
- Metal standing-seam, hip and gable roofs with slopes generally in the range of 3:12 to 12:12.
- Operable double hung windows with functioning shutters.
- Substantial roof overhangs with exposed rafters.
- Porches with slender, simple columns.
- Railings are made of wood with slender turned or square spindles.
- Color scheme is usually white which helps to reflect the sun's heat.



*Building at the Historic Sanibel Village.*



*Commercial building reflecting the Old Florida Style.*



*Building on Periwinkle Way reflecting the Old Florida Style.*

## PART III: ISLAND STYLES

### Island Eclectic

The Island Eclectic style can be seen as an embellished, more playful version of the Old Florida style. The style reflects the casual lifestyle and natural setting of the island. It is colorful and playful, featuring whimsical decorative elements that often incorporate a seaside, beach theme. Character-defining elements include the following:

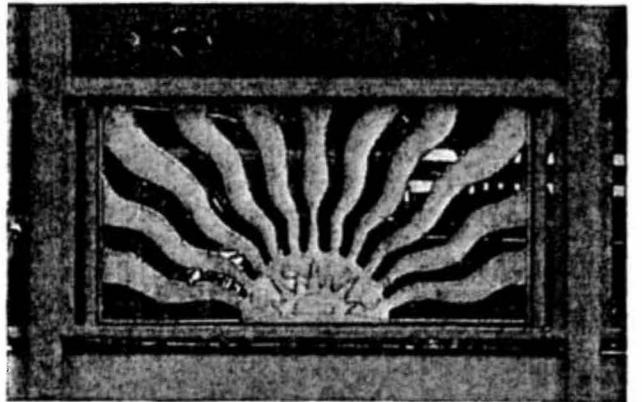
- Wood frame construction with horizontal lap siding.
- Playful, decorative elements used in railings, entrance features, and architectural details.
- Hip and gable roofs with slopes generally in the range of 3:12 to 12:12. Roof materials include standing seam and asphalt shingle.
- Porches with slender columns, sometimes with decorative elements included.
- Railings can be similar to Old Florida style, or more decorative incorporating various island motifs (e.g., sun, beach, tropical flora).
- Operable double hung windows.
- Multi-colored, bright paint schemes.



*Playful decorative elements are one aspect of Eclectic Island Style.*



*Porches and decorative furniture reflect the Island Eclectic Style.*



*Railings can incorporate decorative elements.*

## PART III: ISLAND STYLES

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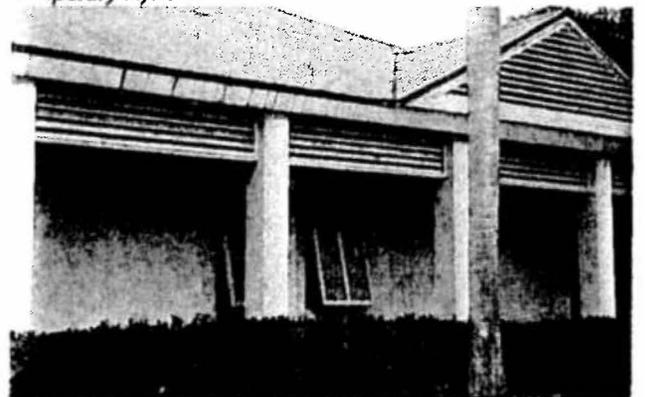
### Island Contemporary

The Island Contemporary style is a more modern variation of Florida vernacular architecture. The style incorporates some elements of the old style, particularly regarding roof forms, but utilizes more modern construction techniques including concrete and steel structural frames, simple wood elements and more modern window treatments. This style also emphasizes environmental design features that take advantage of the climate and natural landscape features. Character-defining elements include:

- Modern construction materials and techniques including use of concrete, steel and wood with more modern detailing.
- Hip and gable roofs with low to moderate roof slopes. Roof materials include standing seam and asphalt shingles.
- More variations in window types which can include larger glass areas within, casement, awning, jalousie, and double hung windows.
- Environmentally sensitive design elements such as porches, shading devices, operable windows and solar panels.
- Railings are of a simple, more modern design in wood or metal.
- Color schemes are generally more muted, featuring warm grays, subdued greens and earth tones.



*Modern Construction materials are typical of the Island Contemporary Style.*



*Subdued color schemes are generally part of the Island Contemporary Style.*



*More variation in window types characterize the Island Contemporary Style.*

## PART III: ISLAND STYLES

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### Caribbean Style

The Caribbean style is indicative of architecture found in many places, including South Florida, the Caribbean and Mediterranean countries. In form and scale it is similar to the other identified island styles, but has other attributes that differentiate it from the "Florida styles." Character-defining elements include:

- Exterior walls can be stucco or painted wood siding.
- Functioning shutters, which can be "Bahama" style (hinged in the top), or traditional vertically hinged units.
- Roof forms can be hip or gable, with metal, shingle or concrete tile roof coverings.
- Railings are light in appearance and can be wood or metal.
- Typically features wood and steel columns of slender design and simple articulation. Concrete columns with stucco finish can also be utilized on the first floor of the structure.
- Color schemes feature pastel colored walls, usually with white trim.



*Bahamian shutters and clean stucco walls identify the Caribbean Style.*



*Various roof forms, along with light metal railings evoke the Caribbean Style.*

**PART IV: GREEN AND SUSTAINABLE DESIGN**



## PART IV: GREEN AND SUSTAINABLE DESIGN

---

Green and sustainable design is a principal that is directly aligned with Sanibel's Vision Statement and the Sanibel Plan, which emphasizes that new development "minimize harm to the natural environment and to the community's character", and Sanibel's intent to "remain a barrier island sanctuary, one in which a diverse population lives in harmony with the island's wildlife and natural habitats."

### **What is sustainable or "green" building?**

Green building is a term often used today to describe development that incorporates environmentally-based design features that improve the relative sustainability of a particular project. Green building principles can be applied to new construction— including commercial, institutional and residential as well as renovations.

Communities in Florida and across the country are beginning to apply green design principles in new construction. One way to accomplish this is to use one of the several established sets of design standards for measuring "green" building. The following are references to several accepted standards that the reader may consult for more information regarding specific design features and their application.

### **United States Green Building Council LEED Standard.**

Foremost among the various standards today is the Leadership in Energy and Environmental Design (LEED) standard developed by the United States Green Building Council. Different LEED standards

have been developed for various type of construction including: new construction, existing buildings, commercial interiors, schools etc. Different levels of certification are offered.

*See [www.usgbc.org](http://www.usgbc.org) for more information regarding rating systems, levels of sustainability and requirements for certification.*

### **Florida Green Building Coalition**

A second rating system, based closely on the LEED standards, but specially adapted for construction in Florida, was prepared by the Florida Green Building Coalition (FGBC). As with LEED, the FGBC standards have been adapted to specific types of buildings including "Green Commercial Building Design Standards."

*See [www.floridagreenbuilding.org](http://www.floridagreenbuilding.org) for more information regarding rating systems, levels of sustainability and requirements for certification.*

### **American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Guidelines**

Other resources include the International Code Council's ASHRAE Greenguide: The Design Construction, and Operation of Sustainable Buildings, 2nd Edition.

The ASHRAE GreenGuide provides guidance to designers of heating ventilation and air conditioning systems and also covers green design techniques applicable to related technical disciplines, such as plumbing and lighting.

*Available for purchase at: <https://www.ashrae.org>*

## PART IV: GREEN AND SUSTAINABLE DESIGN

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Building owners may seek to have their projects officially certified as “green” under one of the accepted rating systems, or alternatively may elect to design and develop new and renovated construction that adheres to the design standards, and not incur the additional costs related to obtaining official certification.

### **How can green building be applied to commercial design and development on Sanibel Island?**

The preceding section provides a brief introduction to green and sustainable design principles and several national and state resources for further consideration. The TCG and TCL architectural design and site planning standards and guidelines have been developed consistent with the following five green design categories and potential design features listed on the following pages. Readers are encouraged to incorporate these or others that may be identified in the referenced design standards and guidelines for new construction and renovations within the TCG and TCL commercial districts. Doing so will directly support the Sanibel Vision Statement and the Sanibel Plan.

## PART IV: GREEN AND SUSTAINABLE DESIGN

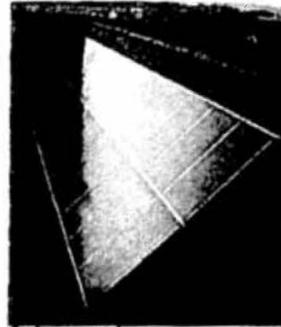
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**Energy Efficiency** – Possible design features include: increased levels of energy efficiency, use of renewable energy (using natural resources that may be naturally replenished) and green power (sources of energy which are considered environmentally friendly and non-polluting), and improved performance of mechanical equipment.

On Sanibel, using a building orientation (for new construction) that minimizes solar heat gain, use of roof overhangs for shade and use of solar power are several ways to begin to address energy efficiency and conservation that make sense in the local climate.

**Water Quality and Conservation** – Possible design features include: increased utilization of drought tolerant landscape elements, limited or efficient irrigation, reduction in the generation of wastewater, and maximizing water efficiency in the building

On Sanibel, using drought resistant vegetation and avoiding the use of irrigation are two key elements for consideration. Additional elements might include installing a water storage tank or cistern to accumulate water for reuse in the dry season, and installing water efficient plumbing fixtures.



*Solar panel*



*Roof overhang*



*Cistern*



*Drought tolerant landscape*

## PART IV: GREEN AND SUSTAINABLE DESIGN

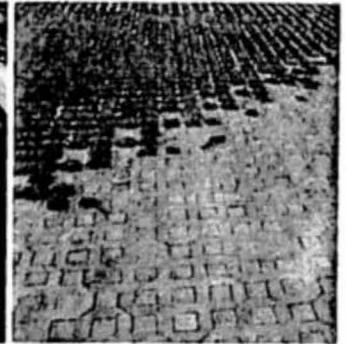
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**Site and Environmental Features** – Potential design features include: reducing the environmental impact of the building location on the site, providing erosion and sedimentation control, preserving habitat and natural resources, reducing automobile use by providing facilities for bicycle storage, providing alternative fuel vehicles or refueling stations, limiting site disturbance and clearing and reducing development footprint, implementing a stormwater management plan that reduces runoff and removes suspended solids, reducing heat island effects and improving night sky access by limiting light spillover onto adjacent properties

On Sanibel the reduction of impervious pavement and use of stormwater management techniques such as bio-swales are important opportunities for reducing runoff. Use of light colored roofs and shaded parking areas can help reduce the heat island effects of development. Provision of bicycle parking also fits well with the Sanibel shared use path system.



*Bio-swale*



*Reduction of impervious pavement*



*Light colored metal roof*



*Reduced Heat Islands - Covered Parking*

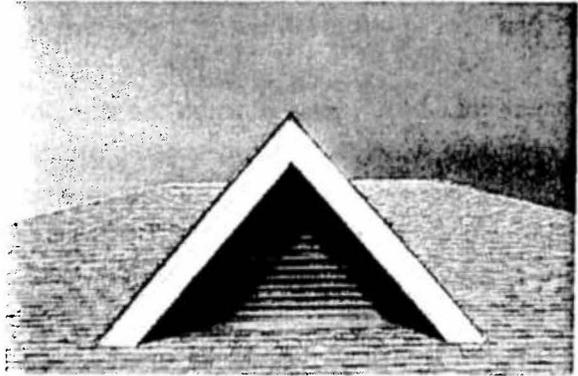
## PART IV: GREEN AND SUSTAINABLE DESIGN

**Construction Materials and Techniques** - Possible design features include: providing carbon monoxide monitoring, providing increased ventilation, implementing an indoor air quality management plan, reducing indoor air contamination by using materials with low levels of volatile organic compounds and other potentially hazardous chemicals, providing a high level of control lighting and ventilation by individual building occupants

On Sanibel, maximizing natural ventilation and daylighting are relatively easy ways to begin to address these criteria.

Possible design features related to material selection and use include: recycling construction waste, reusing building materials and products, using building products that incorporate recycled materials, providing adaptable/reusable interior partitions, providing flooring that will be recycled, using materials that are manufactured locally, using materials that are rapidly renewable (certain types of wood for example), using wood that is certified by the Forest Stewardship Council, using exterior finish materials that are durable in the local climate, and using low-maintenance interior finishes.

On Sanibel, recycling is an obvious benefit which may help reduce the amount of waste material that has to be transported off-island. In addition the use of durable exterior materials will save money in the long term by reducing the maintenance and replacement costs associated with less durable materials.



*Increased ventilation*



*Natural daylighting provide healthy environment*



*Native landscape*

## PART IV: GREEN AND SUSTAINABLE DESIGN

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***Weather and Climate*** – Potential design features include: increasing the structural integrity of the building during high wind conditions, using wildfire –resistant exterior finishes, increasing termite resistance of the construction, or using termite resistant materials.

On Sanibel, hurricane resistance is a key design criteria for all construction. Providing for wind resistance and protection for openings are critical aspects of hurricane resistant design that must be considered for all buildings independent of other renovation or construction to ensure compliance with Chapter 16 of the Florida Building Code (2004).



*Recycled and composite materials provide improved durability in the Sanibel climate*

**PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES**



## SANIBEL'S LAND DEVELOPMENT CODE - SECTION 126-1028: ARCHITECTURAL STANDARDS

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The following complete text of Section 126-1028 is included for reference.

### **Reference Land Development Code**

#### *Section 126-1028 (a.)*

Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.

#### *Section 126-1028 (b.)*

Commercial buildings shall not appear monolithic.

#### *Section 126-1028 (c.)*

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and recognize and respect local character and site conditions.

#### *Section 126-1028 (d.)*

Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses. The following provides a basis for general standards:

1. Facades shall be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls.
2. Articulation of facades and roofing shall be used to vary the building's mass, in height and width, so that it appears to be divided into distinct elements and details.
3. Facades shall provide, through the use of detail and scale, visual interest that is consistent with the character of the community.

#### *Section 126-1028 (e.)*

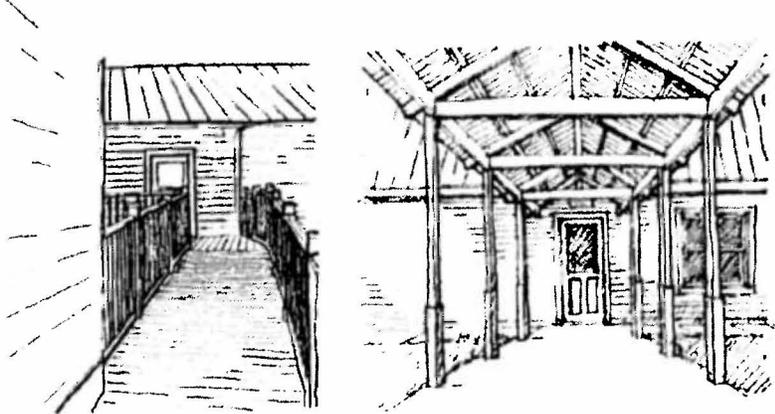
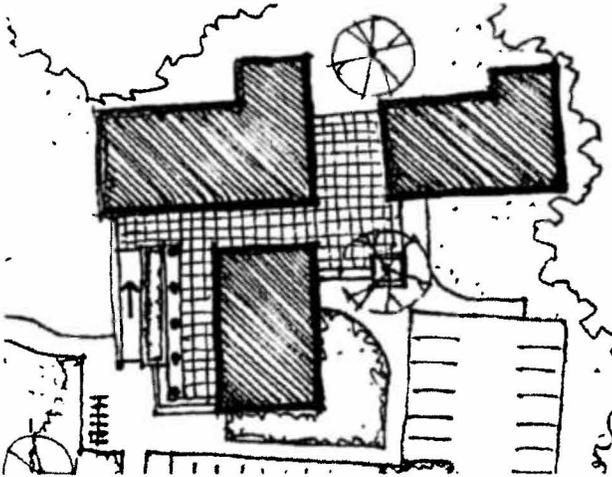
Building entryways and windows shall be located so as not to permit noise, light and other impacts on the quiet and private enjoyment of adjacent residential uses.

#### *Section 126-1028 (f.)*

All rooftop mechanical equipment protruding from the roof must be screened from public view by integrating it into a building and roof design

## PART V: ARCHITECTURAL STANDARDS AND DESIGN GUIDELINES

The following guidelines articulate the architectural design standards included in the Land Development Code.

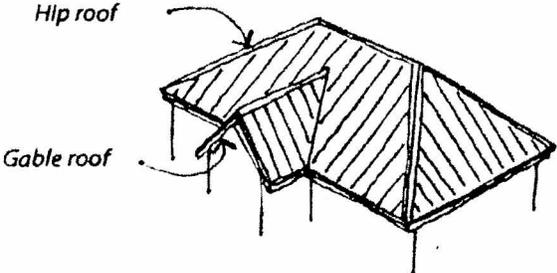
| Design Guidelines   | Reference Land Development Code  |
|---|--|
| <p data-bbox="365 422 950 478"><i>Breezeways, courtyards, and decks can be used to break up building mass.</i></p>  <p data-bbox="196 982 500 1039"><i>Wood decks can connect and/or separate building elements.</i></p> <p data-bbox="560 982 917 1039"><i>Breezeway - a roofed open passage can connect two buildings.</i></p> | <p data-bbox="1024 422 1307 451"><b>Section 126-1028 (a.)</b></p> <p data-bbox="1024 527 1518 640">Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.</p> |
|  <p data-bbox="326 1648 950 1705"><i>A group of small buildings clustered around a courtyard ("Pod style") are a desirable alternative to larger buildings.</i></p>  |  |

**PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES**

**Design Guidelines**

**Reference Land Development Code**

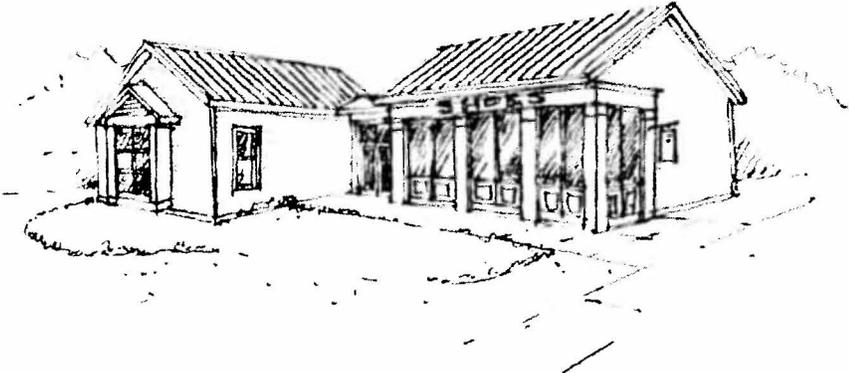
Varying roof forms break down building mass and add visual interest. Low slope roofs (i.e., "flat" roofs) with parapets may be used if they are combined with sloped roof elements.



*Hip and gable roof forms with traditional slopes reduce building scale.*



*Combination of shed and gable roof forms provide variety and break up building massing.*



*Variation in roof forms breaks down building scale.*

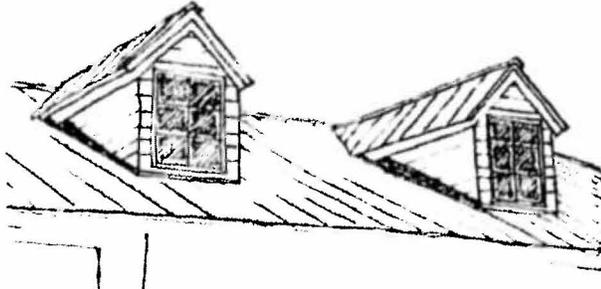
**Section 126-1028 (a.)**

Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.

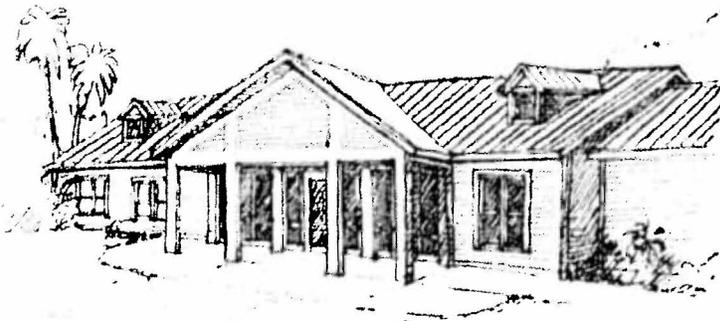
# PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

## Design Guidelines

## Reference Land Development Code



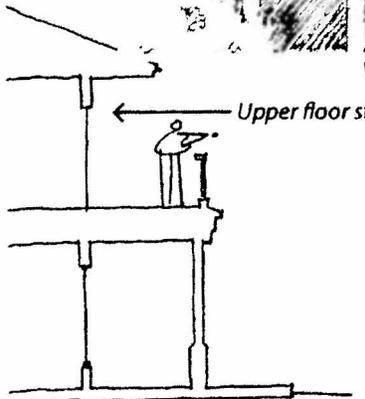
*Dormers can reduce monolithic appearance.*



*Varying facade planes and roof forms reduce building scale.*



*Varying roof forms reduce monolithic appearance.*



*Retail/Residential above*   *Porch*   *To public street*

### Section 126-1028 (b.)

Commercial buildings shall not appear monolithic.

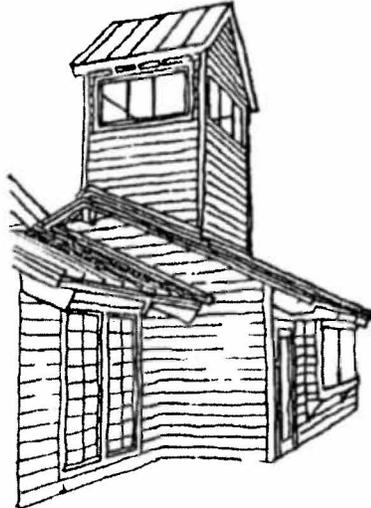
## PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

### Design Guidelines

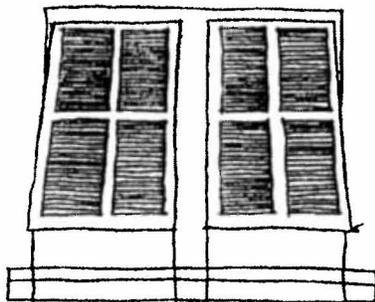
### Reference Land Development Code



*Porch featuring slender simple columns and light wood railings contribute to texture and visual interest.*



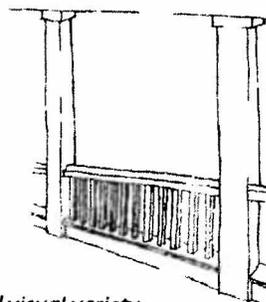
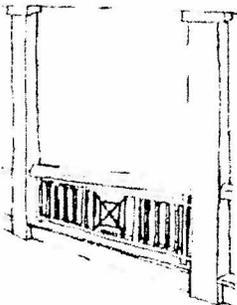
*A small tower element adds vertical interest.*



*Shutters add shadow and detailed visual interest.*



*A cupola can add visual interest to a building roof.*



*Varied railing patterns and colonnades add visual variety.*

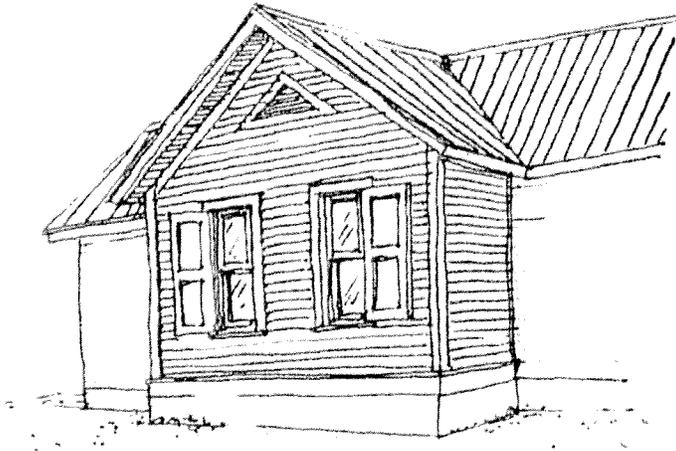
### Section 126-1028 (c.)

Commercial buildings shall have architectural features and patterns that provide: **visual interest from the perspective of the pedestrian, bicyclist and motorist**; appear to reduce building mass; and recognize and respect local character and site conditions.

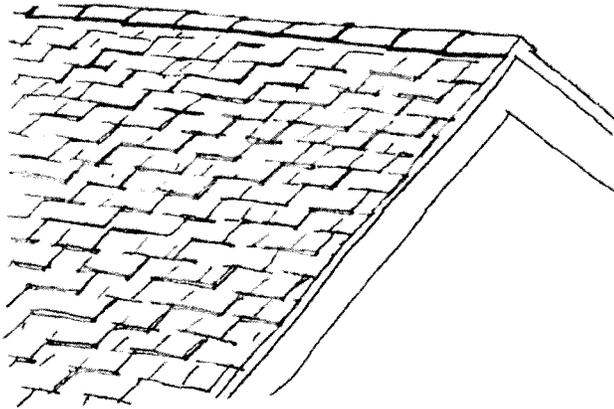
# PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

## Design Guidelines

## Reference Land Development Code



*Wood siding has a strong pattern that provides detail, shadow lines and visual interest.*



*Dimensional asphalt shingles with depth and texture provide more visual interest than standard flat shingles.*

### Section 126-1028 (c.)

Commercial buildings shall have architectural features and patterns that provide: **visual interest from the perspective of the pedestrian, bicyclist and motorist;** appear to reduce building mass; and recognize and respect local character and site conditions.

## PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

### Design Guidelines

### Reference Land Development Code



#### *Old Florida*

*A standing seam metal roof is a traditional material and reflects intense summer heat.*



#### *Island Eclectic*

*Playful decorative elements and a multi-colored paint scheme reflects the Island Eclectic Style*

#### Section 126-1028 (c.)

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and **recognize and respect local character and site conditions.**

# PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

## Design Guidelines

## Reference Land Development Code



*Island Contemporary*  
Contemporary roof design and materials reflect traditional metal roofs



*Caribbean*  
Light, metal railings, pastel colors and stucco walls and cornice reflect the Caribbean style

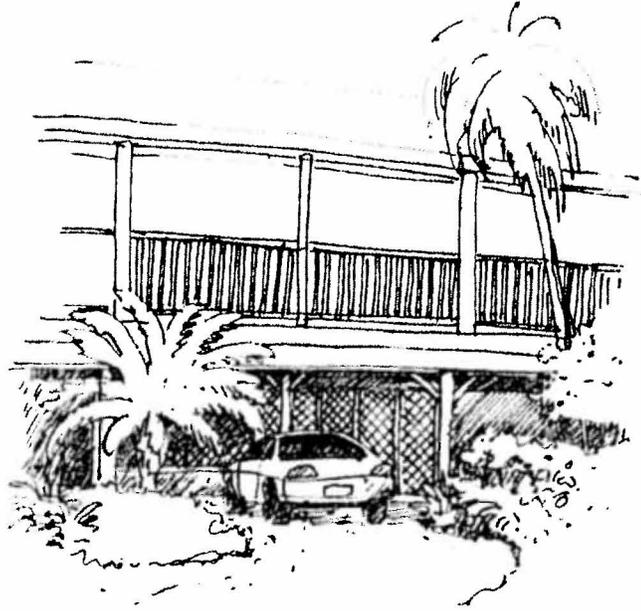
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Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and **recognize and respect local character and site conditions.**

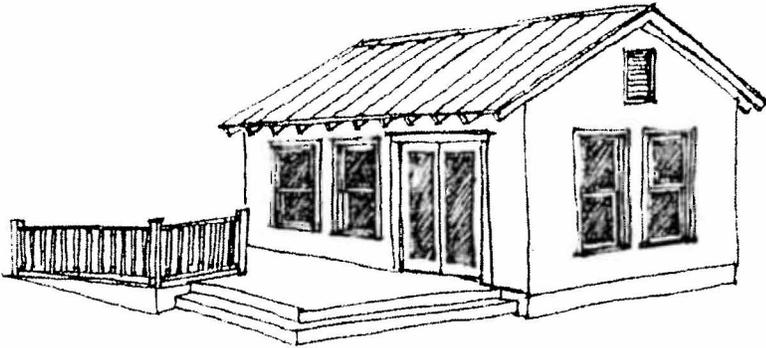
# PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

## Design Guidelines

## Reference Land Development Code



*Parking located on the ground floor of elevated buildings should be screened from the street with landscaping, lattice, or other architectural treatments. Generous landscaping also reduces the apparent scale of a 2-story structure.*



*When possible it is preferable that commercial buildings be designed to be as close to surrounding ground level as possible. Such construction must also comply with flood criteria and building code.*

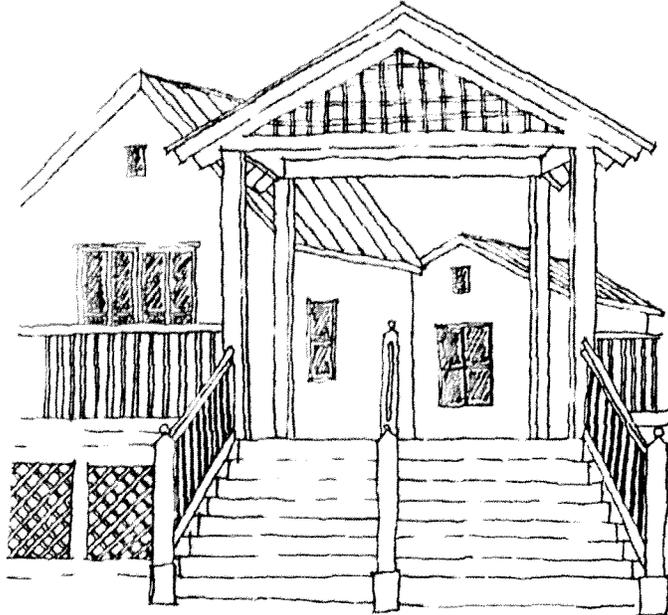
### Section 126-1028 (c)

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and recognize and respect local character and site conditions.

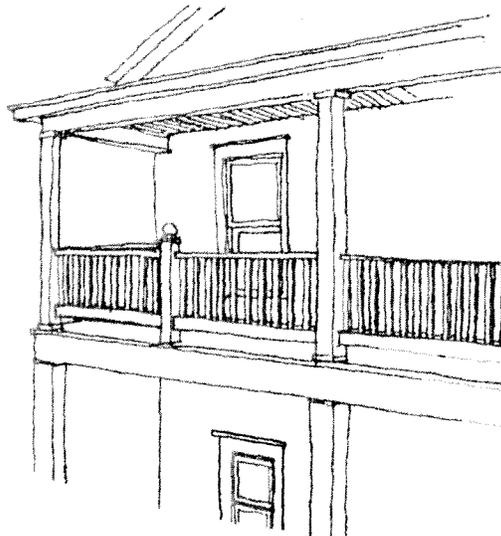
## PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

### Design Guidelines

### Reference Land Development Code



*Use architectural elements to break up building mass and create a strong entry*



*Porches relate to human scale, provide cover from sun and rain and provide architectural interest*

### Section 126-1028 (d.)

Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses. The following provides a basis for general standards:

1. Facades shall be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls.
2. Articulation of facades and roofing shall be used to vary the building's mass, in height and width, so that it appears to be divided into distinct elements and details.
3. Facades shall provide, through the use of detail and scale, visual interest that is consistent with the character of the community.

# PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

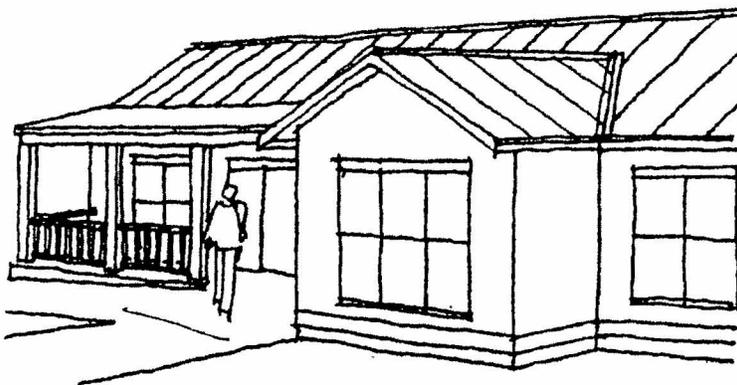
## Design Guidelines

## Reference Land Development Code

*Break up facades to relate to human scale*



*This facade lacks variety and articulation.*



*This facade incorporates varying wall and roof planes, adding variety and visual interest.*

### Section 126-1028 (d.)

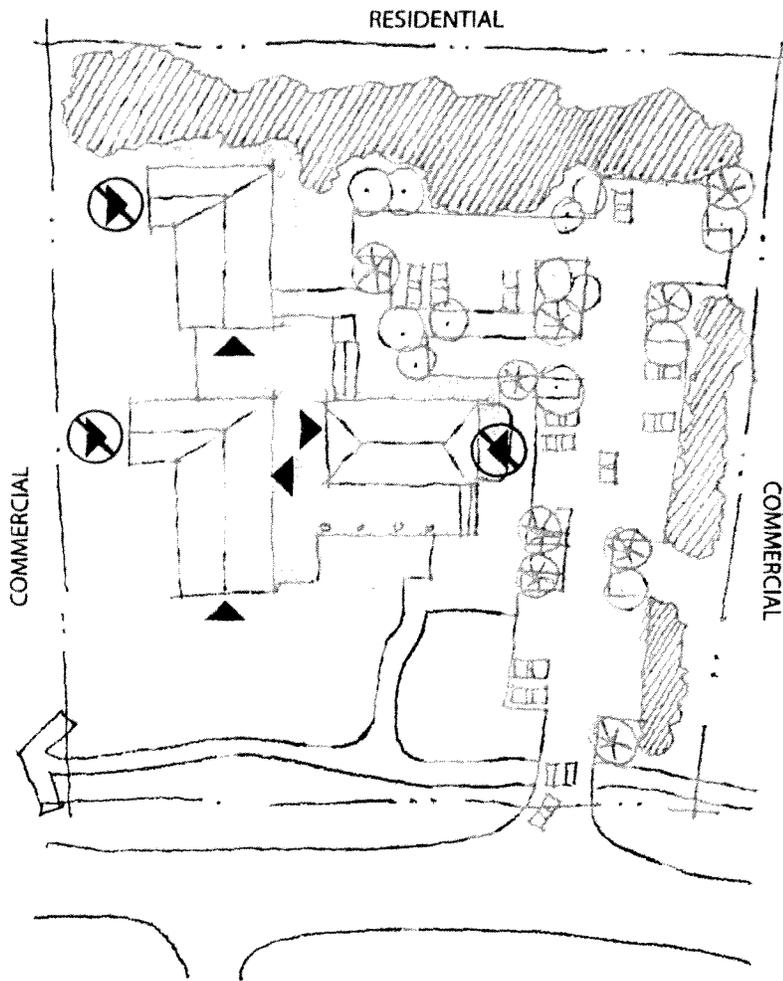
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1. Facades shall be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls.
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# PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

## Design Guidelines

## Reference Land Development Code



### Section 126-1028 (e.)

Building entryways and windows shall be located so as not to permit noise, light and other impacts on the quiet and private enjoyment of adjacent residential uses.

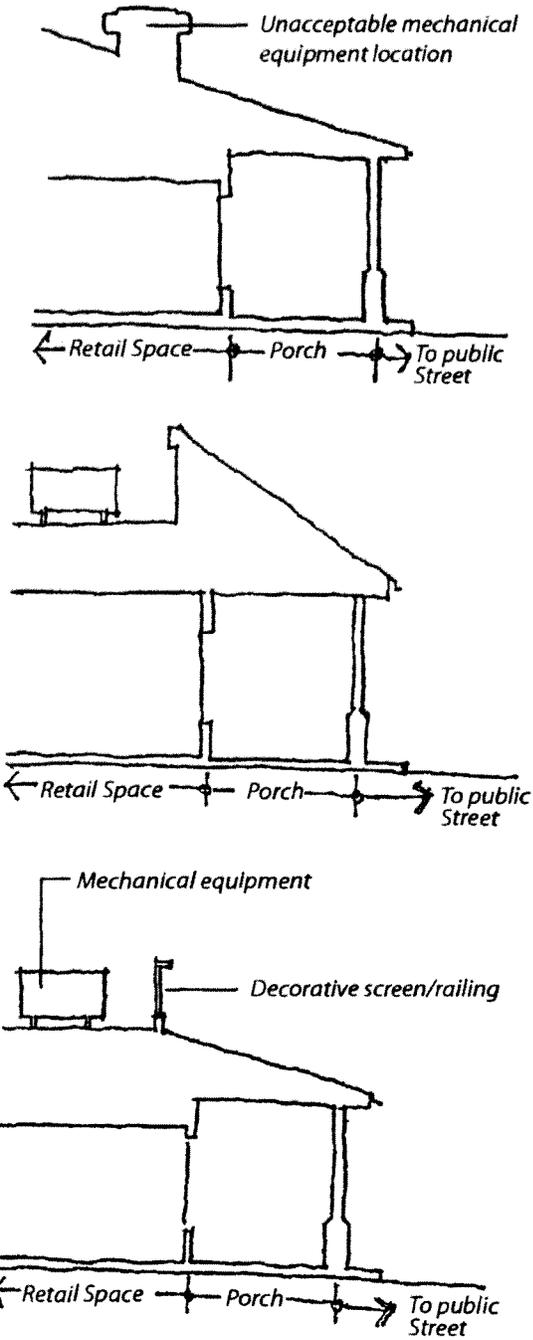
*Do not orient entries towards adjacent residential uses. Entries should orient to the public right-of-way or toward interior courtyards or decks.*

# PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

## Design Guidelines

## Reference Land Development Code

Use roof forms or screens to shield roof-top equipment



### Section 126-1028 (f.)

All rooftop mechanical equipment protruding from the roof must be screened from public view by integrating it into a building and roof design.

**PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES**



## **SANIBEL'S LAND DEVELOPMENT CODE - SECTION 126-1029: SITE PLANNING**

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The following complete text of Section 126-1029 is included for reference.

### Reference Land Development Code

#### Section 126-1029 (a.) - Location and Design of Off-street Parking

Off-street parking spaces shall be primarily located below or at the front or side of commercial buildings. The location and design of off-street parking shall not impact adjoining residential uses, conservation land or wildlife habitat.

#### Section 126-1029 (b.) - Location and Design of Off-street Loading and Service Areas.

Off-street loading and service areas shall be appropriately designed, located, landscaped and screened to ensure that adjoining residential areas and environmentally sensitive land uses will not be negatively impacted.

#### Section 126-1029 (c.) - Site Access and Internal Circulation.

1. Multiple and independent points of ingress and egress shall be avoided when possible.
2. Unobstructed sight lines at points of ingress and egress shall be provided to ensure pedestrian, bicyclists and motorist safety.
3. When possible, bicycle and pedestrian cross access between commercial sites and developments shall be established.
4. Functional and integrated access and internal circulation for people with disabilities shall be provided.
5. Safe and efficient internal pedestrian circulation to and from on-site parking spaces shall be provided.
6. Conveniently located on-site storage areas for bicycles shall be provided.

#### Section 126-1029 (d.) - On-site Utilities, Equipment, Lightning, Trash Containers, Dumpsters and Service Areas and Activities.

All above ground utilities, equipment and related service facilities and operations shall be designed, located and maintained to ensure compatibility with adjoining residential areas and other environmentally sensitive land uses will not be negatively impacted.

#### Section 126-1029 (e.) - Landscaping, Buffering and Screening.

In addition to the vegetation buffers and parking area vegetation required for commercial uses, by Chapter 122, Article II, Division 2, courtyards and lands around buildings are to be landscaped. Specific and detailed landscape plans are required for buffering and screening adjacent residential uses from negative visual and physical impacts of the commercial land uses. Side and rear yard setbacks may have to be increased to provide adequate vegetation buffering for abutting and nearby residential land uses.

## PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

The following guidelines articulate the site planning design standards included in the Land Development Code.

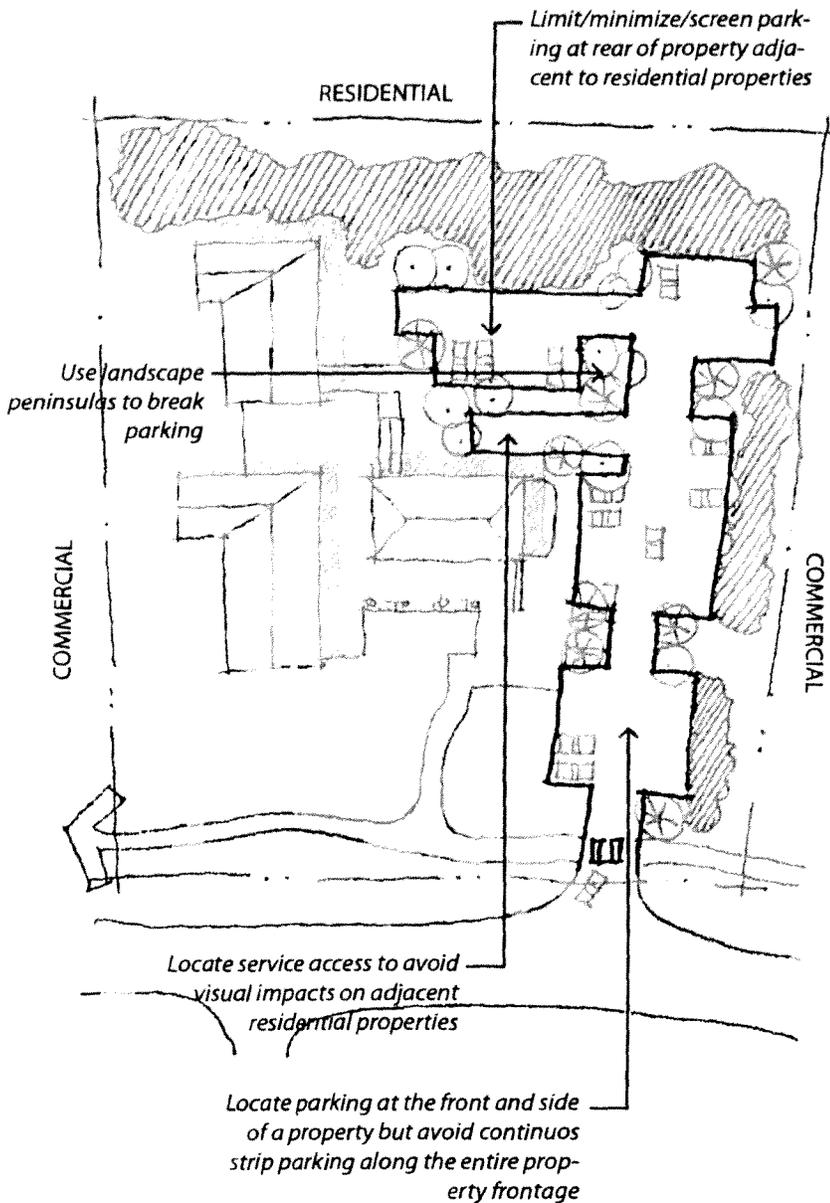
### Design Guidelines

### Reference Land Development Code

*Locate parking in a way that is sensitive to the surrounding context including residential uses, conservation and wildlife areas, and views from the street. Interrupt large parking areas with landscape medians peninsulas or medians so that large areas of paving are minimized.*

#### Section 126-1029 (a.) - Location and Design of Off-street Parking

Off-street parking spaces shall be primarily located below or at the front or side of commercial buildings. The location and design of off-street parking shall not impact adjoining residential uses, conservation land or wildlife habitat.



# PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

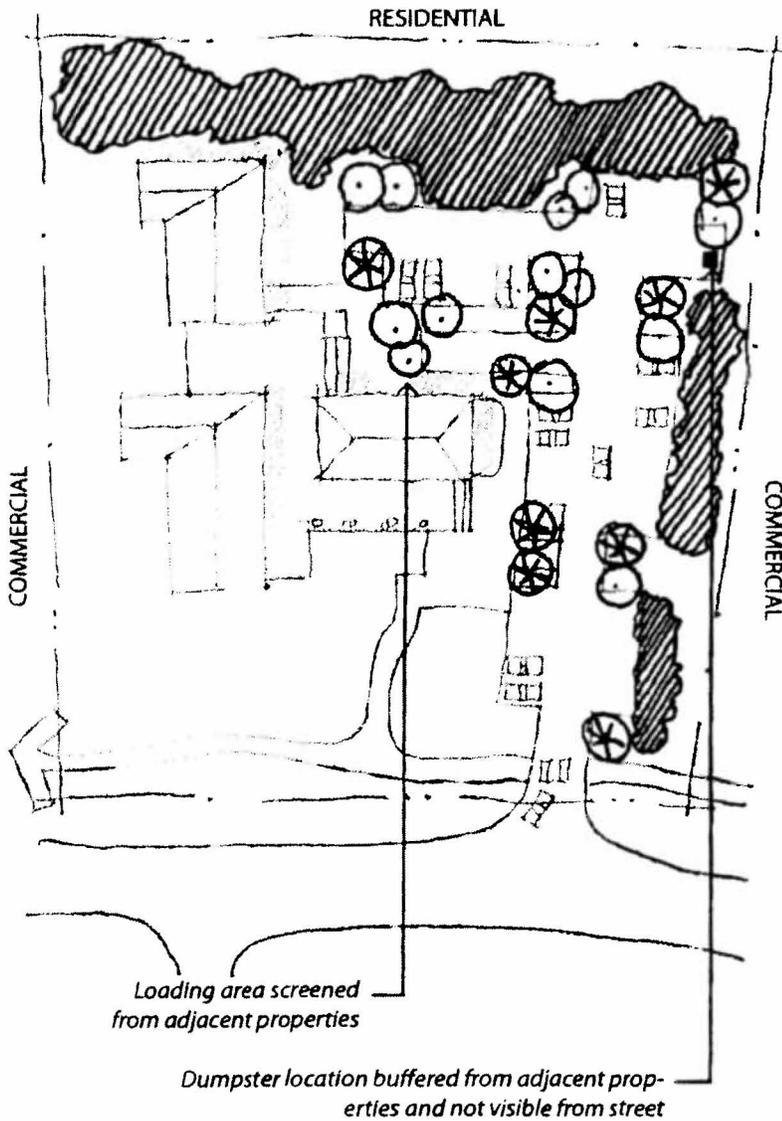
## Design Guidelines

## Reference Land Development Code

*Enclose service areas to the greatest extent possible, especially when adjacent to residential and environmentally sensitive land uses*

**Section 126-1029 (b.) - Location and Design of Off-street Loading and Service Areas.**

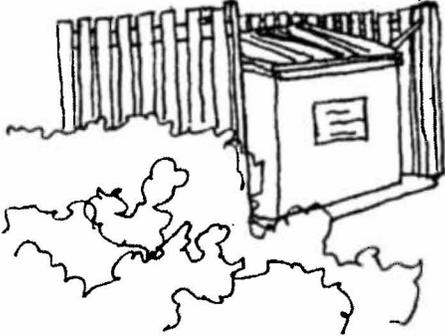
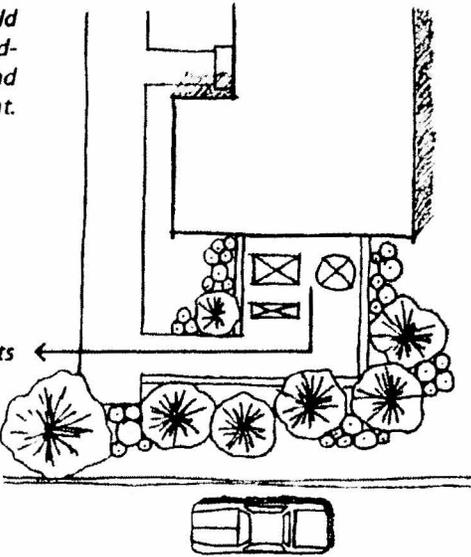
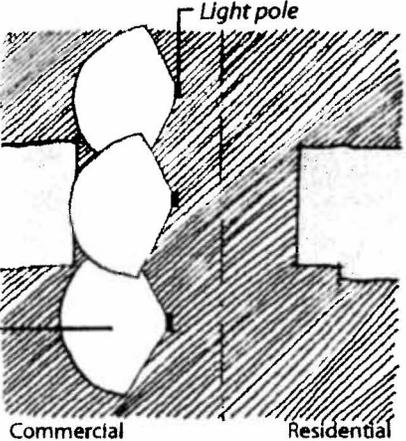
On-street loading and service areas shall be appropriately designed, located, landscaped and screened to ensure that adjoining residential areas and environmentally sensitive land uses will not be negatively impacted.



## PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

| Design Guidelines  | Reference Land Development Code   |
|--|---|
| <p>Bicycle and pedestrian cross access and shared parking is encouraged</p> <p>Provide direct and safe access from parking</p> <p>RESIDENTIAL</p> <p>COMMERCIAL</p> <p>COMMERCIAL</p> <p>ADA access should be integrated into building and site design</p> <p>Bike storage should be conveniently located</p> <p>Site access limited to one entrance</p> <p>Unobstructed site lines must be provided at entry points</p> | <p><b>Section 126-1029 (c) - Site Access and Internal Circulation.</b></p> <ol style="list-style-type: none"> <li>1. Multiple and independent points of ingress and egress shall be avoided when possible.</li> <li>2. Unobstructed sight lines at points of ingress and egress shall be provided to ensure pedestrian, bicyclists and motorist safety.</li> <li>3. When possible, bicycle and pedestrian cross access between commercial sites and developments shall be established.</li> <li>4. Functional and integrated access and internal circulation for people with disabilities shall be provided.</li> <li>5. Safe and efficient internal pedestrian circulation to and from on-site parking spaces shall be provided.</li> <li>6. Conveniently located on-site storage areas for bicycles shall be provided.</li> </ol> |

# PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

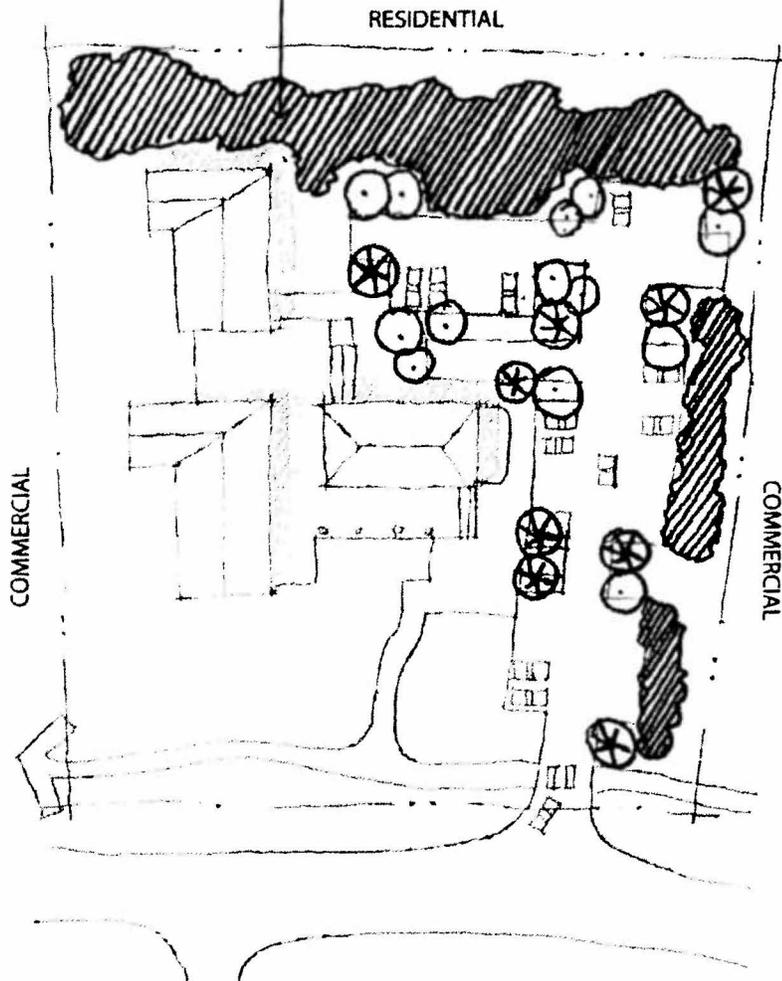
| Design Guidelines   | Reference Land Development Code   |
|---|---|
| <p>Screen dumpsters from streets and adjacent non-commercial uses</p>   | <p><b>Section 126-1029 (d)</b> - On-site Utilities, Equipment, Lightning, Trash Containers, Dumpsters and Service Areas and Activities.</p>                 |
|    | <p>All above ground utility equipment and operations should be screened from entrance drives, roads, shared use paths and interior pedestrian walkways.</p> |
| <p>Use landscaping to shield on-site utilities and ground-mounted mechanical and electrical equipment.</p>  |   |
|  <p>Utility equipments ←</p>  |   |
| <p>Direct site lighting away from non-commercial uses. Lighting should be directed downward to minimize light pollution</p>   |   |
|  <p>Light pole</p> <p>Light shielded from residential uses</p> <p>Commercial Residential</p> |   |

## PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

### Design Guidelines

The following site plan illustrates important design features

Provide landscape buffer and setbacks to screen residential uses from negative impacts of commercial development.



### Reference Land Development Code

**Section 126-1029 (e.) - Landscaping, Buffering and Screening.**

In addition to the vegetation buffers and parking area vegetation required for commercial uses, by Chapter 122, Article II, Division 2, courtyards and lands around buildings are to be landscaped. Specific and detailed landscape plans are required for buffering and screening adjacent residential uses from negative visual and physical impacts of the commercial land uses. Side and rear yard setbacks may have to be increased to provide adequate vegetation buffering for abutting and nearby residential land uses.

Council agreed unanimously to this goal.

Mayor Denham recapped: (1) redefine, simplify, be more specific and engage other groups on the Island regarding water goals and educate and revitalize public focus on things relative to water; (2) redevelopment of nonconforming resort properties.

Discussion ensued regarding three biologists on staff, relying on Dr. Loflin and on the lobbyists, a goal should be financial, Council should talk about the budget and expand a plan to look into the future, need to redefine the financial situation and try to understand the big picture, the budget and financial situation are one, look at areas like, build out, pensions, investments, etc., look at ways to further improve the City's financial situation, and the budget drives the entire process.

Mayor Denham asked Council if finances should be the third goal. Council agreed.

Discussion continued with Vice Mayor Ruane bringing to the next meeting with what this goal would look like, review expenses over the next three years to make better decisions, comments made by Vice Mayor Ruane said a couple weeks ago, that the type of pension plan that Sanibel has may cause problems in the future not only financially but we may lose our best employees, throw out Beach Carrying Capacity, communications could be improved, i.e., televise Council meetings, have a green ideas showcase – show energy saving ideas, use models, the reason solar panels were not used was because we wanted a system that would be more inclusive, and how to define that as an objective.

Councilman Pappas reviewed the list of suggested goals and objectives for 2010 as follows:

1. Rethink Town Center – suggested to forget this.
2. Water issues – why all the different groups. We addressed this.
3. Budget – Forget revenue sources; however, we could look at a weigh station.
4. TV in Council chambers – It is OK to have or not to have.
5. Election of Mayor and Vice Mayor – it is OK the way this is being done. Would prefer more turnover but doesn't want a rule established.
6. Further strengthen City Financial Position – we have very capable employees to handle this. We could establish a 3 to 5 year financial plan. Judy can provide us with options regarding everything that is purchased.
7. Redevelopment – There is no question – we just passed this.
8. Shared Use Path Master Plan – We just approved this today. Errors will be corrected as we go along.
9. Ms. Zimomra can provide us with an echo option to everything she proposes from buying automobiles to heating City Hall.

Karen Storjohann stated there was an opportunity to incorporate one of Councilman Jennings's suggestions in Redevelopment. She suggested this could be done in a green fashion and should be included in any directions given the Planning Department and/or Planning Commission.

Claudia Burns spoke to the carrying capacity. She stated that carrying capacity had been a goal since 2006 so it must be an important goal or it wouldn't be there. She further stated that maybe the reason it had not been implemented was because no one knows how to do it and if they do know, why had not been done. She informed Council that a lot of her volunteer work is done on the beach and she knows what goes on. She further stated that some of the goals directly affect the beach, i.e., water quality. She advised that Sanibel beaches are different from other beaches because of the natural beach and the wildlife that it supports; there are people on the Island who want to address the issue of carrying capacity; she suggested using these people to do this work; design how it will be done and assign people to gather the data. She asked Council to pursue this topic even if it isn't one of the goals. She noted that she knew someone who was working on carrying capacity and asked if Council wanted someone to come forward for Council's blessing. She also asked if a group came to Council with facts and suggestions, would Council welcome the suggestions?

Mayor Denham said they would.

Bob Winters spoke to Council doing something no other government body does and that was keeping it simple. He further stated by focusing on a few topics more could be accomplished and he thought Council had done a good job creating a list.

# **PROPOSED CITY COUNCIL GOALS**

**FY 2008/2009**

(Not in priority order)

APPROVED JUNE 03, 2008

## **WATER QUALITY**

### **AGRESSIVELY CONTINUE EFFORTS TO IMPROVE WATER QUALITY THROUGH EDUCATION, POLITICAL & LEGAL METHODS**

- Release Schedule
- Water Quality C-43
- CERP Projects
- Additional Storage
- Restore water flow south to Everglades

### **REDUCE URBAN DEVELOPEMNT NUTRIENT RELEASES INTO CALOOSAHATCHEE RIVER**

- To monitor and be involved in TMDL rule making for the Caloosahatchee River and Estuaries
- Implement programs to reduce urban nutrient pollution to our waterways including releases on-island such as removing package plants
- Fertilizer, Wastewater, Septic Systems, and Stormwater Runoff within six counties of SW Florida
- Implement strategies to reduce nutrient releases from Sanibel Sewage Treatment Facility
- Investigate strategies to remove excess nutrient releases golf courses

### **OVERSEE THE ALGEA NUTRIENT RESEARCH STUDY PROJECT**

## **CONTINUE REDEVELOPMENT EFFORTS**

### **PERIWINKLE WAY WEST COMMERCIAL DISTRICT REDEVELOPMENT**

- Complete Periwinkle Way West Commercial District plans which will include redevelopment principles, policies, guidelines and concepts to support implementation of the Sanibel Plan and to guide the review of future development proposals



**City of Sanibel  
City Council Goals  
Fiscal Year 2007-2008**

**FINAL**

As Approved by Council June 5, 2007

| <b>AGGRESSIVELY CONTINUE EFFORTS THROUGH EDUCATION, POLITICAL &amp; LEGAL METHODS TO IMPROVE WATER QUALITY-FEDERAL/STATE/REGIONAL/LOCAL</b>  | <b>CONTINUE REDEVELOPMENT EFFORTS</b>   | <b>PROTECT ENVIRONMENT BY IDENTIFYING CARRYING CAPACITY</b>   |
|--|---|---|
| <p><b>Stay intimately involved with all organizations and political forces to minimize Lake Okeechobee releases including:</b></p> <ul style="list-style-type: none"> <li>• Release Schedule</li> <li>• Water Quality C-43</li> <li>• CERP Projects</li> <li>• Additional Storage</li> <li>• Restore water flow south to Everglades</li> </ul> <p><b>Reduce urban development nutrient releases into Caloosahatchee River by:</b></p> <ul style="list-style-type: none"> <li>• Accelerate establishment TMDL's for Lake Okeechobee, the Rivers, and Estuary</li> <li>• Implement programs to reduce urban nutrient pollution to our waterways including releases on-island such as removing package plants</li> <li>• Investigate strategies to remove excess nutrient releases from golf courses</li> <li>• Fertilizer, Wastewater, Septic Systems, and Stormwater Runoff in collaboration with the six counties of SW Florida</li> <li>• Implement strategies to reduce nutrient releases from Sanibel Sewage Treatment Facility</li> </ul> <p><b>Develop an Algae Management Plan by October 1, 2007</b></p> <ul style="list-style-type: none"> <li>• The plan will begin to remove red drift algae from our waters and beaches, preventing regeneration of red drift algae that leaves deposits on beaches prior to such deposits occurring. The Plan will utilize environmentally safe techniques including evaluation of water harvesting to remove accumulations at edge of water and beach.</li> </ul> <p><b>Explore methods to secure the necessary funding that will fund the plan to eliminate red drift algae from our waters and beaches.</b></p> | <p><b>Plan for the commercial district of Dunlop Road to Palm Ridge Road and Tarpon Bay Road area by:</b></p> <ul style="list-style-type: none"> <li>• Developing a vision for the central Commercial District of the Island. The vision will include concepts and philosophies compatible with Sanibel's unique character of the island and include mixed-use, island-compatible architecture, bicycle and pedestrian friendly area, restaurants with outside dining local serving commercial and retail use enterprises and provision of lower cost workforce housing and serve as the framework for future development proposals.</li> </ul> <p><b>Develop a redevelopment policy for all non-conforming properties by:</b></p> <ul style="list-style-type: none"> <li>• Establishing a redevelopment policy for non-conforming properties, both residential and commercial, that will allow the owners to develop and/or become a conforming property.</li> </ul> | <p><b>Protect Environment by Identifying Carrying Capacity by:</b></p> <ul style="list-style-type: none"> <li>• Determining methods to identify island (beach, road, shared-use path, natural preserve) carrying capacity in order to develop viable methods to enable visitors and residents to enjoy the island while protecting the environment that is the base for our economy.</li> <li>• Completing research cataloging the best practice strategies being implemented globally to protect carrying capacity of facilities and mitigate congestion.</li> <li>• Evaluate the options for enforcement of strategies to mitigate congestion and prepare a strategy of legal options to pursue.</li> </ul> |

**Memorandum from Chief Tomlinson regarding the Solicitor's Ordinance**

Ms. Zimomra spoke to changes in door-to-door solicitor activity and would be bringing an ordinance for Council consideration.

**Status of Website Usage and Viewership**

Ms. Zimomra noted that the City had over 7,000 emails and over 600 people accessed the Council agenda.

**Discussion of City of Sanibel representation on the Tourist Development Council**

Ms. Zimomra stated that there was a rotating seat available for Sanibel, which would go to the Lee County Board of Commissioners. She stated it was typically a Councilmember.

Discussion ensued regarding recommending Vice Mayor Ruane as the Sanibel representative.

Mayor Denham made a motion, seconded by Councilman Harrity, to appoint Vice Mayor Ruane to the rotating seat on the Tourism

Public Comment  
None

The motion carried.

**CITY ATTORNEY'S REPORT**

None



**COUNCIL MEMBERS' REPORT**

Councilman Harrity spoke to hurricane pass issue available to property managers.

Ms. Zimomra stated there was a category for property managers and need to contact Chief Tomlinson.

Vice Mayor Ruane stated that the financial information received was encouraging, but the trends were discouraging.

Councilman Jennings congratulated the Finance and Police Departments

~~Councilman Pappas stated that he will not be present at the May 19<sup>th</sup> Council meeting. He also spoke to the importance of having Council meeting televised. He further spoke to post-employment contract implies that we are paying for personnel that were unsupervised. He noted that Council should know how the employee would be used. He also spoke to the previous town center discussion and was not allowed because there was no increase density, but the town center was not economically viable. He further stated he spoke with Joe St. Cer before his passing and the project was heavily considered without fruition and the project did injury to volunteering on the island, B.I. G. Arts. He asked when Council would discuss resort housing.~~

Ms. Zimomra stated that Council's direction was to finish the 86-43 discussion and the resort housing development would be considered by the Planning Commission.

~~Discussion ensued regarding Council considering guidelines on resort housing development for the Planning Commission to consider at the next meeting all Council would be together, concern by community, discussion on resort housing on the June 02 Council meeting, Councilman Pappas stated that density was determined by ecological zone and resort housing discussion would be challenges, would like to have TV cameras by June, TV camera issue as part of the budget discussion, need a timeline for discussion, and predisposed opinions often times end discussions.~~

- Sun Trust a qualified public depository account and \$15 million currently invested
- Sun Trust would give 40 bases points
- Bank of America paying no interest
- Use Bank of America account for banking and payroll and keeping a certain balance allows no banking fees
- In May able to negotiate a earning credit of 70 bases points to offset banking fees
- \$15 million is treasury bills, wait for the next 12 months

Discussion ensued regarding putting a cap on SBA investments, and needing another six months of economic history, investing part of the \$15 million in short term for liquidity during hurricane season, invest a portion on a longer term investment and place a small amount in the local government pool.

Vice Mayor Ruane made a motion, seconded by Mayor Denham, to consistent with \$5 million of the \$15 million in T bills which matured be invested in the local government investment pool, keep the required liquidity amount during hurricane season in a shorter term investment and the remaining balance in a longer term investment.

The motion carried. Council Jennings excused.

### **Discussion regarding DRAFT goals from the April 21, 2009 Council meeting**

Ms. Zimomra stated that this was Council's opportunity to review and completed in the final budget. She further stated the goal was to have Council's goal completed at budget time.

Discussion ensued regarding financial goal very good, water goal must be very clear and benefit to the restoration of Sanibel beaches, Flow way south as title and help direct excess lake waters away from Sanibel estuaries, need actions resolutions and letters would be needed to push Council's position, protecting Bays second bullet, support initiative to reduce stormwater run-off into Sanibel bays and estuaries, wording under that should be 2 or 3 initiatives already being worked on, redevelopment goal should include additional caveats of what Council expects under decisional frame work; talk about density and height among, and Mayor Denham would put together thoughts.

#### **Public Comment**

Karen Storijohann spoke to understanding what and why Resort Housing is what it is currently and actions taken in the past.

Discussion ensued regarding report from Planning Commission on progression, do not want Planning Commission to go off on an avenue that Council would not agree, business community looking at, town center moved into a direction that was not part of the original strategy, Council should give direction to the Planning Commission, families and B.I. G. Arts established an idea for the property and asked community, any guidance should come from Council, and maybe Council should look at all components.

#### **Budget Calendar**

Ms. Zimomra stated that today Council would establish the preliminary millage rate. She also stated that Saturday, September 05 at 9:00 a. m. would be the first budget hearing and Tuesday, September 15 at 5:01 p. m. would be the final budget hearing.

### **Distribution of DRAFT FY 2009/2010 Proposed Budget**

Ms. Zimomra spoke to the following:

- Council received the draft budget
- Last 2 years staff worked on the budget to stay above the economic curve by re-prioritizing and downsizing
- Draft budget 395 pages
- Draft budget on website
- Have not met the economic down turn and no recovery in sight

Councilman Pappas spoke to Mr. Eric Pfeiffer asked him to never make a comment about realtors. He further spoke to an article in the Island Sun regarding the Town Center and he asked that the subject not be revisited and take resort-housing be taken up next. He stated that there would be more impact

Mayor Denham spoke to the next discussion for the Planning Commission would be non-conforming structures. He further stated that Council should look at the proposed legislation earlier in the process. He also stated that Council should set initial guidelines or have regular reviews.

Discussion ensued regarding should there be a joint meeting, memos may not allow engagement and Planning Commission looking for guidelines, and give specific parameters.

Karen Stori Johann spoke to the challenges when the City first established legislation. She further stated that judgments need to be reviewed.

Claudia Burns spoke to guidelines provided to the Planning Commission if ordinance not adopted.

There being no further business the meeting was adjourned at 1:00 p.m.

Respectfully submitted by,

Pamela Smith, MMC  
City Clerk

**RESOLUTION 10-030 APPROVING BUDGET AMENDMENT/TRANSFER NO. 2010-021 AND PROVIDING AN EFFECTIVE DATE**

(to transfer \$4,000 from the General Fund's reserve for contingencies to the public facilities department to build a fence around the children's playground at Community park. This amendment does not increase or decrease the FY10 budget)  
Ms. Zimomra read the title of Resolution 10-030. She noted this was to be responsive for a 5-foot green vinyl fence for the safety of small children.

Councilman Pappas moved, seconded by Vice Mayor Ruane, to adopt Resolution 10-039.

Public Comment  
None

The motion carried

**Annual report of the Planning Commission Land Development Code sub-committee**

Mike Valiquette gave the following report:

- Periwinkle Way
- Guidelines for Town Center general
- LDC state/federal permits for extensions
- LDC 86-43

Vice Mayor Ruane moved, seconded by Councilman Harrity, to accept the report.

The motion carried.

**CITY MANAGER**

**Informational Items**

Ms. Zimomra stated that Council approved the new bathrooms at the boat ramp and she showed a piece of a solar panel to Council. She explained it would decrease electricity and would be talking to LCEC.

**Unemployment Compensation Decision**

Ms. Zimomra spoke to the supplemental material regarding an unemployment claim and the City did not prevail. She stated that it was staff's recommendation not to appeal the decision.

Vice Mayor Ruane, seconded by Mayor Denham, to accept the staff recommendation for no appeal.

The motion carried.

**Tentative date of Wednesday, April 21, 2010 at 10:00 a.m., for an official ceremony to transfer ownership of the Sanibel Lighthouse from the United States Federal Government, Department of Interior to the City of Sanibel**

Ms. Zimomra spoke regarding the tentative date and the actual arrangement were not finalized.

- Building Department Monthly Revenue Report**
- Building Department Monthly Permit and Inspections**
- Planning Department Permit Activity Report**
- Planning Department Code Enforcement Activity Report**
- Causeway counts January, 2010**

For informational purposes.



# **2009 ANNUAL REVIEW OF THE PROVISIONS OF THE LAND DEVELOPMENT CODE**

Prepared by:

**THE SANIBEL PLANNING COMMISSION  
LAND DEVELOPMENT CODE REVIEW SUBCOMMITTEE**

**Michael Valiquette, Chair  
Les Forney, Tom Krekel, Phillip Marks,  
Holly Smith, Paul Reynolds and Patricia Sprankle**

**March 2010**

## **BACKGROUND**

Pursuant to the City of Sanibel's Land Development Code (LDC) Chapter 82 Administration, Article III. Planning Commission, Division 3. Specific Authority, Subdivision XII. Land Development Code Review, Section 82-341 Future Land Use, the "Planning Commission shall annually review the provisions of the Land Development Code and many any recommendations for changes, deletions or additions to such Land Development Code in terms of the following:

- (1) Adequate regulation of the use of land and water;
- (2) Adequate regulation of the subdivision of land;
- (3) Determination of whether the Land Development Code ensured compatibility of adjacent land uses;
- (4) Adequacy of provisions for open space;
- (5) Adequacy of provisions to ensure safe on-site traffic flow; and
- (6) The adequacy of on-site parking."

Work Program and Accomplishments

Periwinkle Way West District Plan



During FY 2008-2009 the Architectural and Site Planning Design Standards and Guidelines for the Town Center General and the Town Center Limited Commercial Zoning Districts were approved by City Council Resolution 08-080 on July 15, 2008. These guidelines and the Periwinkle Way West District Plan were included on the Planning Department's web page.

Land Development Code, Section 114-87

The Land Development Code Review Subcommittee conducted two public hearings to discuss and recommend amendments to Section 114-87.

A Resolution and Ordinance were approved by the Planning Commission and submitted to City Council recommending City Council approval to amend Chapter 114 Subdivision, Division 4 Major Subdivision, Section 114-87 Procedure by inserting a new Subsection (5) enabling City Council, with a report and recommendation from the Planning Commission, to grant an additional period of time for a preliminary major subdivision plat to remain valid beyond the additional two year extension approval granted by the Planning Commission.

Ordinance 09-004 was passed and enacted by City Council on April 21, 2009.

Land Development Code, Section 86-43

Land Development Code, Chapter 86 Development Standards, Article II. Site Preparation, Sec. 86-43. Appearance of Structures; size and mass of structures

The Land Development Code Review Committee conducted 15 public hearings beginning in April 2008 and ending in August 2009 to discuss and recommend amendments to Section 86-43 of the Land Development Code. Based on the Committee's deliberations and recommendations a Resolution and Ordinance were approved by the Planning Commission and submitted to City Council on October 20, 2009.

Respectfully submitted,

\_\_\_\_\_  
Michael Valiquette, Chairman

\_\_\_\_\_  
Date

Council comment

Discussion ensued regarding previous discussion, Council expended funds for a study, which include Palm Ridge Road, important to consider the town center being a community activity, entities not embracing each other to work together, but completing their own plan and opportunity to take a lead position.

### **Public Hearing and Utility Issues**

### **RESOLUTION 11-076 ADOPTING AND ESTABLISHING A REVISED SCHEDULE OF RATES FOR THE SANIBEL SEWER SYSTEM AND PROVIDING FOR A 3% INCREASE IN RESIDENTIAL AND COMMERCIAL RATES AND CONNECTION FEES; AND PROVIDING AN EFFECTIVE DATE**

**Sewer Feasibility Study as prepared by Tara Hollis, Environmental Group Manager for GAI Consultants, Inc.**

**Recommendation to approve three percent (3%) Sewer Rate Increase; Update on Sewer Budget and Sewer Debt Retirement of State Revolving Fund (SRF) loan number 83504P**

### **Sewer User Rate Comparison**

### **History of sewer rates**

Ms. Zimomra read the title of Resolution 11-076. She spoke to the following:

- Council requested an update on paying down approved debt
- \$2.9 million debt reduction
- Included history of sewer rate increases
- Submitted revised feasibility study

Tara Hollis, consultant spoke to the following:

- Presented feasibility study July 20, 2011
- 4 scenarios presented
  - 2 continuing current debt service
  - 2 paying a portion of outstanding debt service
  - Rate increase for 2012 and forward
- Decision to move forward with a 3% rate increase for FY 2012
- Pay \$2.5 million in SRF outstanding debt
- August 02, 2011 City Council approve a \$2 million interfund loan from the general fund for \$1 million towards payment to debt
- Additional funds from the sewer fund used to pay off in total \$2.9 SRF loans
- Payback to general fund from sewer fund extended by 10 years in the amount of \$275,000 annually
- Adjustments to proposed budget
  - Net ad valorem tax decrease by \$27,000
  - Increase of \$20,000 for personnel services for a part-time to full-time employee status
  - Increase of \$12,000 in professional services related to identifying inflow and infiltration
  - Increase if \$40,000 for inflow and infiltration corrections
- Look at 2 additional scenarios
  - 3 A shows an increase of 3% in all fiscal years including 2012
  - 3A shows coverage of the SRF debt for 2012 projected at 1.269% and require a minimum of 1.15%
  - Look at coverage and cash balances includes minor capital improvements and recommend by GFOA maintain at least 90 days of operating expenses
  - Operating and maintenance (O&M) budget approximately \$ 4 million
  - Maintain cash balance and unrestricted reserve
  - Every year of projection period would be \$1 million
  - \$400,000 minor loss projected for next year even with 3% increase
  - Maintain \$1.2 million in fund and 90 days would be \$1.5 million; and O&M \$1 million minimum
- 3B shows no increase for FY2012, but remainder of the projection period

June 26, 2012

July 10, 2012

**July 24, 2012**

Mayor Ruane

Vice Mayor Denham

**Councilman Harrity Report July 17, 2012 CC Meeting**

Mayor Ruane noted that he would not be able to attend the November 08, 2011 Planning Commission meeting and Vice Mayor Denham noted that he would trade November 22, 2011.

## **OLD BUSINESS**

### **Discussion of area plan Donax Road to Palm Ridge Road including Periwinkle Way**

Councilman Harrity spoke to others thinking he might have a conflict of interest and he had spoken to the City Attorney.

Mr. Cuyler spoke to the following:

- No conflict of interest
- Councilmember could talk about business to others

Councilman Harrity spoke to traveling to Europe this past summer and noting that there was always a town square. He further spoke to the community coming together and want Council to entertain looking at the Town Center discussion.

Discussion ensued regarding a series of public meetings, may want to exclude certain things not appropriate and include those items appropriate, need the map of each item proposed, need to discuss priorities, Planning Department has a large work load, the most difficult issue was density, may want to have Town Center as a Planned Unit Development (PUD), need to select top 3 priorities, would be a difficult priority conversation, talk to all stake holders and property owners, what would the cost be, private sector project with City staff helping with designing, City goals include the Planning Department, parking an issue, need to define the area, finding someone to own the project, interested parties need to communicate, attempting to move forward with fundraisers, designate a Council liaison, committee created to review recreation needs, come up with outline and decide appropriate items included, how to develop with and development code challenges, identify broad topics, identify challenges, Councilman Harrity interested in putting plan together and meeting with parities, pull all old materials, define area, what entities involved, entities member do not always agree, Councilmembers had conversations with different entities and entity members, there probably had been some discussions between entities, need an outline and agenda, previous Council had a vision, but fell apart when discussing the Land Development Code.

#### **Public Comment**

Karen Storjohann spoke to importance of parking spaces for events the same days and times, natural ambitions of SCA wanting to modernize to be more efficient and effective, BIG Arts wanting to modernize and expand foot print, biggest parcel of property was in private ownership, church needs to expand, everyone wants more space, and Council owns BIG Arts and Historical Museum and Village.

Ms. Zimomra noted that the City would not have vendor parking on City land and not related to the Farmers Market and City does not own the land the Library sits on.

Barbara Cooley spoke to a group of individuals being interested in a particular project and not in keeping with the Sanibel Plan and something to avoid individuals hijacking the project.

Maureen Valiquette spoke to codes preventing some things, lacking a community center and careful not to over develop, but need to develop something.

Claudia Burns spoke in support of a community center, committee set-up to formulate recreation center, and intensity of use include living and commercial space.

Mike Valiquette spoke to a final report regarding the Town Center of July, 2008 and the Town Center was in the Sanibel Plan. He asked what level a Planning Commissioner would be included.

Mayor Ruane noted that archival material would be brought back to Council and the development of an outline needed.

Gloria Hannan asked if the City needed to spend money on a Town Center.

Karen Storjohann spoke to village greens a place to gather live stock for protection when under siege in colonial times. She also mentioned that Community Park was a village green.

Staff to bring back all archival material, define area, develop an outline, may be better opportunity with other entities, reducing vehicular traffic, bike usage, item on the next agenda. Council agreed by consensus.

Council recessed at 10:35 a.m.

Council reconvened at 10:49a.m.

### **Review and approval of City Council FY 2011/12 goals Planning Department Current Work Plan**

Ms. Zimomra noted that the hand out included all Council comments.

Discussion ensued regarding Council agreed with the financial goals and water goals, decision needed if green technologies would be required or just a suggestions, Palm Ridge Road activity and commercial district may need a plan, need green technology influence, Director Jordan noted that code amendments could be done regarding resort housing and must work on EAR 5-year amendments, 3 planners in the Planning Department, consider amount of tasks that could not be completed with current staffing levels, Council would need to decided which projects were important, what were the priorities that Planning could complete, main goal to continue redevelopment, add 2 bullets under redevelopment, understand planning work flow, one bullet EAR review including green technology and continuing resort housing district redevelopment, Director Jordan put together a list, redevelop resort housing, best practices for green technology and take Palm Ridge development into the Town Center project with different subsets, need to review priorities, should focus on 2 or 3 priorities and had other items to include when something was accomplished, Ms. Zimomra noted the capacity impact with 2 or 3 planners, make certain there was no commitment of priorities to perform without staff, capacity issue relative to the EAR, item one would be EAR, conclude item 2 with outstanding projects, more fine tuning, since Department of Community Affairs (DCA) did not exist was EAR relevant and mandated requirement, Director Jordan stated EAR was important as directed by the Sanibel Plan was to be review every 5 years, and include all plan amendments within the last 5 years, make sure that residents know the Town Center may not be Council's top priority, discussion regarding green technology would be a Council discussion, National League of Cities had green technology information, different green technologies available, Council would need to decide if there should be green technology education and/or education and demand, shorten the redevelopment goals, Ms. Zimomra noted that a new statute adopted requiring that the budget be put on the City's website by October 19<sup>th</sup>, but did not require City goals, the Government Finance officers' Association (GFOA) budget presentation did require City goals, City Council decided that bullet 5 would be the first bullet, bullet 4 would be 2, bullet 1 would be 3 and combine bullets 2 and 3 making them 4, and Ms. Zimomra suggested the following as bullet 4; "Prepare a redevelopment work plan to address the Town Center, the Town Center Limited Commercial District, the Town Center Commercial District, Residential District and Commercial District Redevelopment.

Mayor Ruane moved, seconded by Vice Mayor Denham, to adopt Council goals as follows:

Number 1 Financial

Number 2 Water Quality

Number 3 City-wide Redevelopment including 4 bullets as mentioned below in priority order:

- Adopt appropriate revisions to the Sanibel Plan (Coastal Zone Protection Element, Section 3.2.1; Policy 3.1) to allow for the reconstruction of lawfully existing resort accessory swimming pools and structures currently located within the Gulf Beach and Bay Beach Ecological Zones

- Prepare a redevelopment work plan for the existing resort housing properties that are located outside of the Resort Housing District
- Develop a “best Practices Green Technology Check List” that will be required whenever any new development or redevelopment project is approved
- Prepare a redevelopment work plan to address the Town Center, Town Center Limited Commercial District, Town Center Limited Commercial District, Residential District and Commercial District Redevelopment

Public Comment  
No

The motion carried.

Karen Storjohann spoke to the need to put information onscreen for the audience. She further spoke to important information gathering before going to redeveloping resort housing outside the district information.

Ms. Zimomra noted that staff would provide a cost analysis and staffing capacity to put everything on the screen

Council decided to discuss the following:

## **CITY MANAGER’S REPORT LISTEN**

### **Informational Items**

#### **Report regarding status of policy regarding maintenance of vegetation within intersections**

Ms. Zimomra spoke to the City would not carry forward with decorating the right-of-way at Lindgren Boulevard, but would continue to maintain the vegetation.

#### **Causeway counts, August, 2011**

Ms. Zimomra noted the counts had increased.

#### **Participation in the City of Cape Coral’s Veterans Parade**

Ms. Zimomra asked if any City Council member wanted to attend.

Councilman Jennings noted he would like to attend and would take care of the arrangements.

## **CITY ATTORNEY'S REPORT**

None

## **COUNCIL MEMBERS' REPORT**

### **Follow-up for the Lee County Delegation Meeting November 08, 2011**

Ms. Zimomra noted that deadline was October 28, 2011.

Vice Mayor Denham noted that he would work with the City Manager.

### **Meetings with Representative Dr. Paige Kreegel and Representative Ken Roberson**

Vice Mayor Denham noted his meetings with the above.

Public Comment

Karen Storjohann asked if the report was the same as the Planning Commission. Council answered no.

## **As a City Council, “ What is Our Vision of a Town Square?”**

### **Next Steps**

Discussion ensued regarding Council goals and Town Center was number 4 under redevelopment, concern of what community wanted in past discussions, identify an area and prepare an outline, Knave property for sale and other entity needs, entities ready to do renovations, SCA in a \$3.5 million campaign, meet with stakeholders, listen to ideas, Council not interested in using public dollars or take the lead, area identified as Periwinkle Way to Dunlop Road to Wooster to Palm Ridge Road to Tarpon Bay Road to Periwinkle Way, staff listed property owners, history of Town Center included the possibility of purchasing the Knave property, project scope should be changed, should choose an area within the above-stated area, need cooperation of stakeholders that have a desire to grow their area, private entities come up with a grand plan to work together, difficult connectivity to walk from Bailey Center to Palm Ridge Road, make Palm Ridge Road area more attractive, create a consortium and define ideas and plans to present to City Council, each organization would need to reach consensus within itself, need stakeholder participation, need to take baby steps, stakeholders need to create the vision and infrastructure needed to be talk out and put in place, Ms. Zimomra noted the process used to build the Recreation Center by survey of community, community meeting of views for entire Recreation Master Plan, and Council took components of Master Plan when funding was available.

### **Public Comment**

Karen Storjohann suggested a land swap between City and SCA and parking problems.

Discussion ensued regarding the need for parking.

Larry Schopp spoke to opportunities of greater connectivity to surrounding land owners.

Claudia Burns spoke to Councilman Harrity representing Council and should involve more than stakeholders, but the community. She further stated that the project failed previously due to increasing residential density.

Maureen Valiquette asked about the historical data Council requested at the October meeting and had it been pulled? She further spoke to previous actions taken during the last discussions and encouraging more business on Palm Ridge Road.

Ms. Zimomra noted that material was still being put together from City archives.

Larry Schopp spoke a second time regarding an outgrowth of the Wallace Todd report that mixed use was approved and was not City-wide mailings. He also spoke to properties on Palm Ridge Road east could develop with a variance.

Mike Valiquette also spoke to the survey showing the community wanted mixed use as shown in a survey done by Wallace Todd.

Discussion ensued regarding Councilman Harrity meeting with BIG Arts and SCA, and City Manager providing additional information

**Status report from Community Housing Resources, Inc., (CHR) regarding measures taken**

Councilman Congress spoke to the following:

- Meet with Executive Director
- Attended CHR Board meeting
- Met with CHR President and City Attorney regarding Sunshine
- Working on budget
- Still have liquidity issues
- How addressing liquidity issue
- Creating a Board to carry forward

Discussion ensued regarding CHR performing a necessary function,

**CITY MANAGER**

Informational Items

Status report of Building/Planning fees review and 3<sup>rd</sup> party fee collection  
LISTEN 1416 leave planning on table and focus on building.

Discussion ensued regarding intent of Council to roll-back fees.

Ms. Zimomra spoke to giving high and lows of permits. She proposed pulling actual permits over the last 24 months, if Council wanted further data staff could do for the December meeting and included chart, recognize fees and impacts, provide stimulus for builders,

Building Department Monthly Revenue Report, September, 2011

Building Department Monthly Permit and Inspections, September, 2011

Planning Department Permit Activity Report, September, 2011

Planning Department Code Enforcement Activity Report, September, 2011

Grease Trap Report, October, 2011

Certificate of Achievement for Excellence in Financial Reporting Presented to City of Sanibel, Florida for its Comprehensive Annual Financial Report for the Fiscal Year Ended September 30, 2010, from the Governmental Finance Officers Association (GFOA) AND Award of Financial Reporting Achievement to Sylvia A. Edwards, Finance Director for FY2010 from the Government Finance Officers Association (GFOA)

Ms. Zimomra noted the awards.

Sanibel Historical Museum & Village, Inc., Balance Sheet Previous Year Comparison as of September 30, 2011

Blind Pass Update and Timeline **1420**

Ms. Zimomra asked Council to review

# 1996

*June 18, 1996* Town Center Proposal; Wallace,  
Roberts & Todd

*August 2, 1996* Town Center Data Mapping;  
Planning Department

*September 11, 1996* Economic Analysis; University  
of Florida

*October 2, 1996* Town Center Preliminary Concepts  
Review Meeting; HNTB Architects

WALLACE ROBERTS & TODD

FAX TRANSMITTAL

Fax # 1-941-472-8826

Pages 4

Job No. Sanibel Proposal

Project \_\_\_\_\_

Date: 6-18-96

To: Bruce Rogers

From: John Fernsler

Re: Town Center Proposal

Comments

The following is a draft proposal.  
Please let us know of any comments  
or suggestions. Thank you

**RECEIVED**

JUN 18 1996

Planning Dept.  
City of Sanibel

Environmental Planning  
Urban Design  
Landscape Architecture  
Architecture

191 Giralda Avenue, Penthouse  
Coral Gables, FL 33134-5208  
305 448 0788  
305 443 8431 fax

Philadelphia, PA  
San Francisco, CA  
San Diego, CA  
Oxford, UK

WALLACE ROBERTS & TODD

Environmental Planning

Urban Design

Landscape Architecture

Architecture

June 17, 1996

Bruce Rogers, Director  
Planning Department  
City of Sanibel  
800 Dunlop Road  
Sanibel, Florida 33957

Re: Town Center Proposal

Dear Bruce:

As per our prior conversations Wallace Roberts & Todd proposes to assist the City of Sanibel in exploring preliminary concepts for the creation of a town center in the area generally extending between Dunlop Road and Tarpon Bay Road and from the south frontage properties along Periwinkle Way extending north to the waterfront edge.

**Scope of Work**

WRT and Sanibel staff will collaborate in performing the following tasks aimed at assisting in a "go/no go" decision concerning further, more definitive planning for the development of a Sanibel Town Center.

**Task 1.0 Base Data Mapping**

City staff shall prepare base maps at a suitable scale that will depict key physical, functional and land use characteristics within the study area. The map series shall include the following:

- Property ownership
- Present Zoning
- Existing Structures and Uses
- Building/Property Condition
- Roads and Circulation (including R.O.W. dimensions, lane configuration, driveway locations, sidewalks/bike paths)
- Present Zoning
- Planned/Proposed Developments
- Environmentally Sensitive Areas (estimated locations of wetlands, etc.)

191 Giralda Avenue, Penthouse  
Coral Gables, FL 33134-5208  
305 448 0788  
305 443 8431 fax

Philadelphia, PA  
San Francisco, CA  
San Diego, CA  
Oxford, UK

**Task 2.0 Preliminary Concept Alternatives**

Using the data and base maps supplied by the City, WRT will develop and depict schematically a series of concepts for the creation of a town center. Concepts will explore a range of variables including the following:

- **Central Open Space:** ranging from traditional "town squares" and linear malls to informal, natural areas linking key civic activities. Concepts may also explore reshaping of waterfront edges.
- **Traffic Circulation:** including possible relocations of portions of Periwinkle Way. Concepts will also depict several versions of a pedestrian friendly circulation system utilizing shared parking.
- **Civic Uses and Activities:** Including concepts for improvements to Community Association facilities at their present location and at alternative sites. New civic uses and amenities may be posed for consideration such as bandshell/pavilions, etc. Concepts will also depict new linkages among existing and new civic activities.
- **Property Acquisition/Assembly:** Including various combinations and configurations of parcels including those presently in private ownership.
- **Redevelopment:** including possible acquisition and demolition and/or relocation of existing uses and structures necessary to create a town center. Concepts may also explore the introduction of new forms of commercial use compatible with and supportive of the town center.

**Task 3.0 Preliminary Concept Review**

WRT will review preliminary concepts with City officials for the purpose of evaluating and narrowing the range of concepts worthy of further consideration. The City may choose to secure consultant traffic engineering and/or consultant legal input under separate agreements, or as additional service, to provide specialized expertise in reviewing the preliminary concepts.

**Task 4.0 Concept Refinement/Recommendation**

Based on input received at the review workshop WRT may prepare one or more "preferred concepts" depicted as sketch site plans. In addition a brief summary working paper will be prepared to describe key elements of the preferred concept for a Town Center.

Although level of magnitude of costs will be considered, the concepts will not include detailed analyses of acquisition, construction or relocation costs, nor will they include detailed studies of permitting, environmental, market, or financial feasibility. In addition WRT may recommend appropriate "next steps" including but not limited to property acquisition, feasibility or marketing studies or the development of a Finding of Necessity for redevelopment as specified under Florida's Community Redevelopment Act.

**Future Tasks**

At the discretion of the City of Sanibel, WRT may be authorized to conduct additional planning and urban design studies and analyses necessary to determine development feasibility and to prepare and implement a Community Redevelopment Plan under Florida Law.

**Compensation**

WRT will be compensated for the above referenced Tasks 2.0, 3.0, and 4.0 at the firm's standard hourly rates, with direct expenses reimbursed at cost. Total costs and fees (not including consultant cost for June 31 meeting) shall not exceed an upset limit of eleven thousand dollars (\$ 11,000) unless so authorized in writing.

We are really quite enthusiastic about the ideas that have been developed so far. I see a strong tie-in between the creation of a town center and the recently adopted Vision Statement. The City should be commended for stepping out boldly with the new formula restaurant ordinance and next with an idea for an exciting new town center.

If this accurately reflects our mutual understanding I would request that one copy of this be returned with a signature authorizing this work. We look forward to talking with you soon about the formatting of mapped data that City staff will be undertaking.

Sincerely,

John E. Fernsler, AIA  
Partner

Authorized by:

\_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

## MEMORANDUM

TO: JOHN FERNSLER  
FROM: KEN PFALZER  
DATE: AUGUST 2, 1996  
RE: BASE DATA MAPPING

Pursuant to Task 1.0 Base Data Mapping, I have reviewed our data sources for this task and have compiled a preliminary presentation of the data for your review and consideration. We will need to discuss the format of this data as it relates to its use in undertaking the tasks in the scope of work, including its formatting for the preparation of the report and exhibits.

The following is an item by item discussion of this data.

### **Location map.**

A location map will be used to locate the study area and also be used to describe the boundaries of the study area. This area is identified on a small scale map of the island and has been employed to compile the data for the other items for base data mapping.

### **Property ownership.**

This map (REFERENCE MAP) contains the identification of property lines in the study area. The source of this data, derived from the Property Appraiser's Office, is contained in the City's computer data base and can be readily modified and scaled for your needs.

Actual ownership of parcels can be derived from the tax rolls, but will not be undertaken until specific needs are identified.

### **Present Zoning.**

The source of this data is contained in the City's computer data base and can be readily modified and scaled for your needs. Zoning includes:

- an overlay of the Ecological Zoning Map;
- an overlay of the Commercial District Map; and
- an overlay of the Wetlands, Conservation Lands Map.

Density is also a relevant component of Zoning and is provided on

- an overlay of the Development Intensity Map.

## **Existing Structures and Uses**

The map included in this packet is derived from the City's topographical maps and aerial photographs, but this data has been recently computerized for a FEMA project so there is a layer showing structures as of 1994.

**NOTE:** This layer has better ground-truth accuracy than the Reference Map, so it will need to be rubber sheeted to mesh with the property line base and other overlays.

## **Building/Property Condition**

There is nothing submitted in this packet for this item, but there are photographs of buildings and properties in the study area available. If you have something else in mind, please advise.

## **Roads and Circulation**

This information is not computerized at this time, although some may be extracted from the layers of the FEMA map. Perhaps we need to be more specific as to what information is needed for what area. For preliminary review, this packet includes:

Public rights-of-way (street map)

bike path locations (sketch)

driveway locations (topographical map)

lane configuration (sketch)

There are no sidewalks in the study area.

## **Planned and Proposed Development**

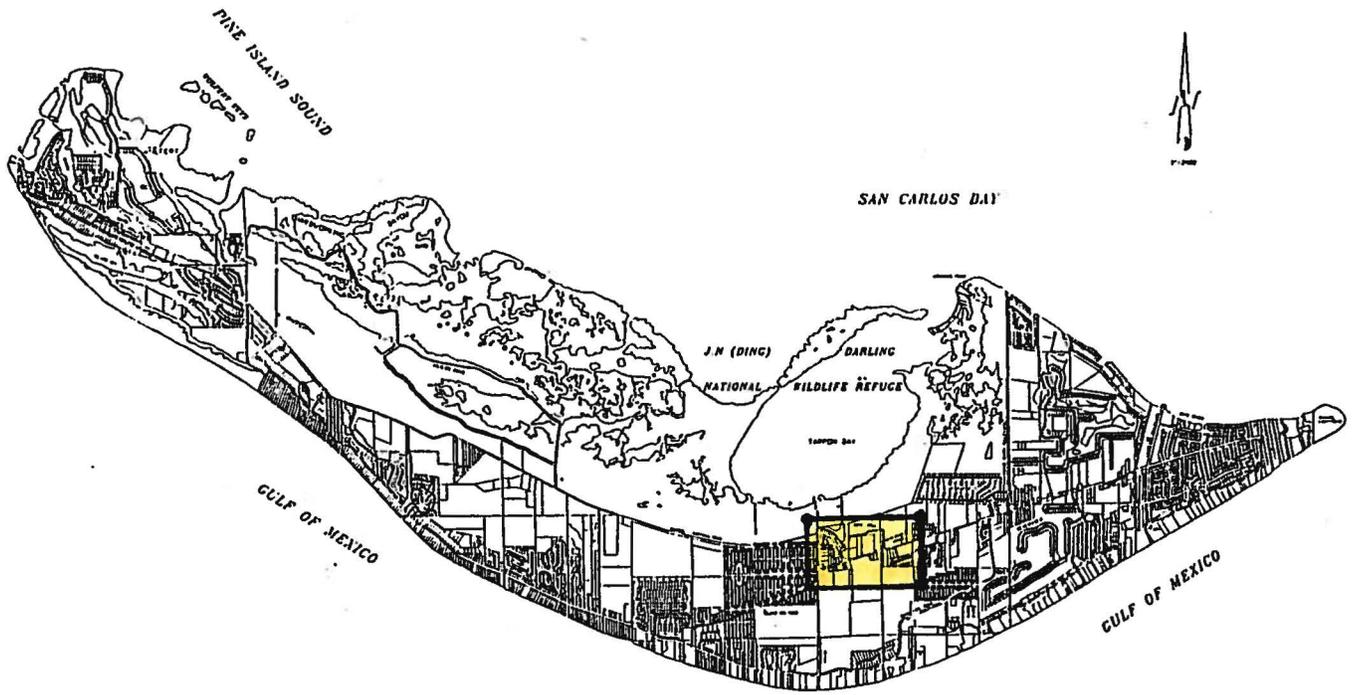
There is one proposed (under construction) commercial development. This 4000sf bank is sketched on the Existing Structures Map.

## **Environmentally Sensitive Areas**

This data requires some field work to identify. There is a sketch included in this packet but it is very preliminary.

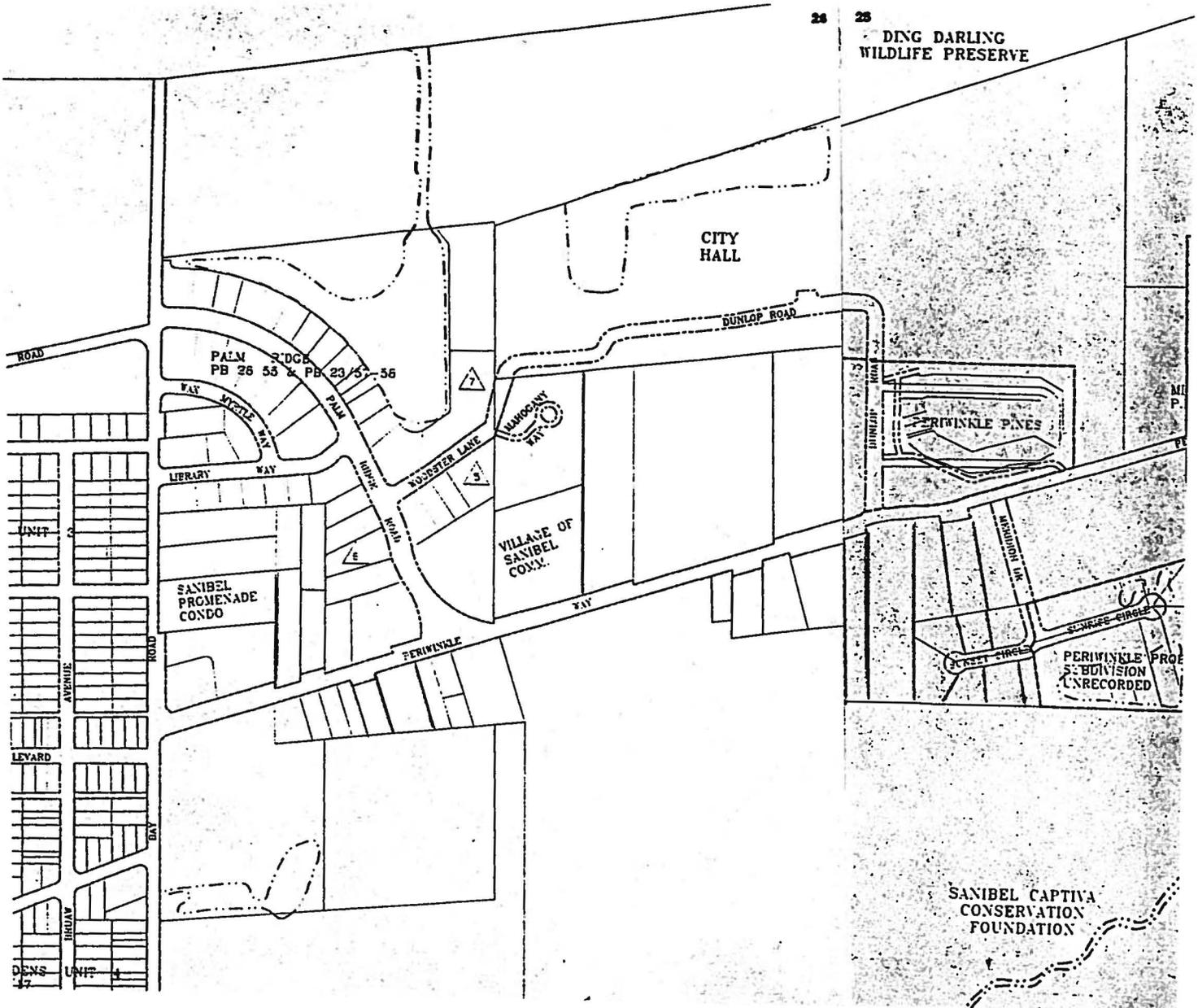
## **Aerial Photographs**

I suspect you might want an aerial photograph of the of the study area.

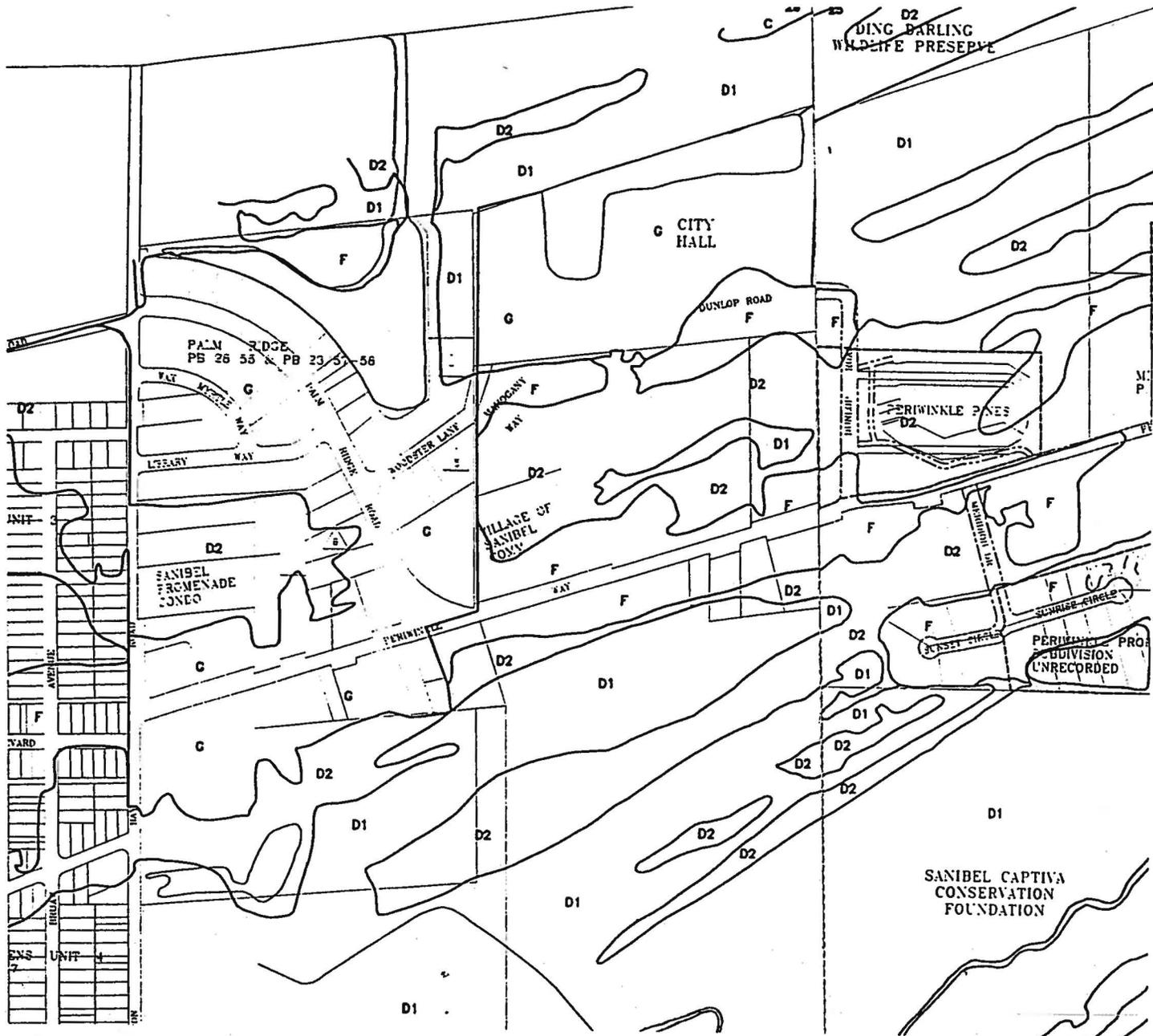


CITY OF SANIBEL

**LOCATION MAP**



Property Ownership  
REFERENCE MAP

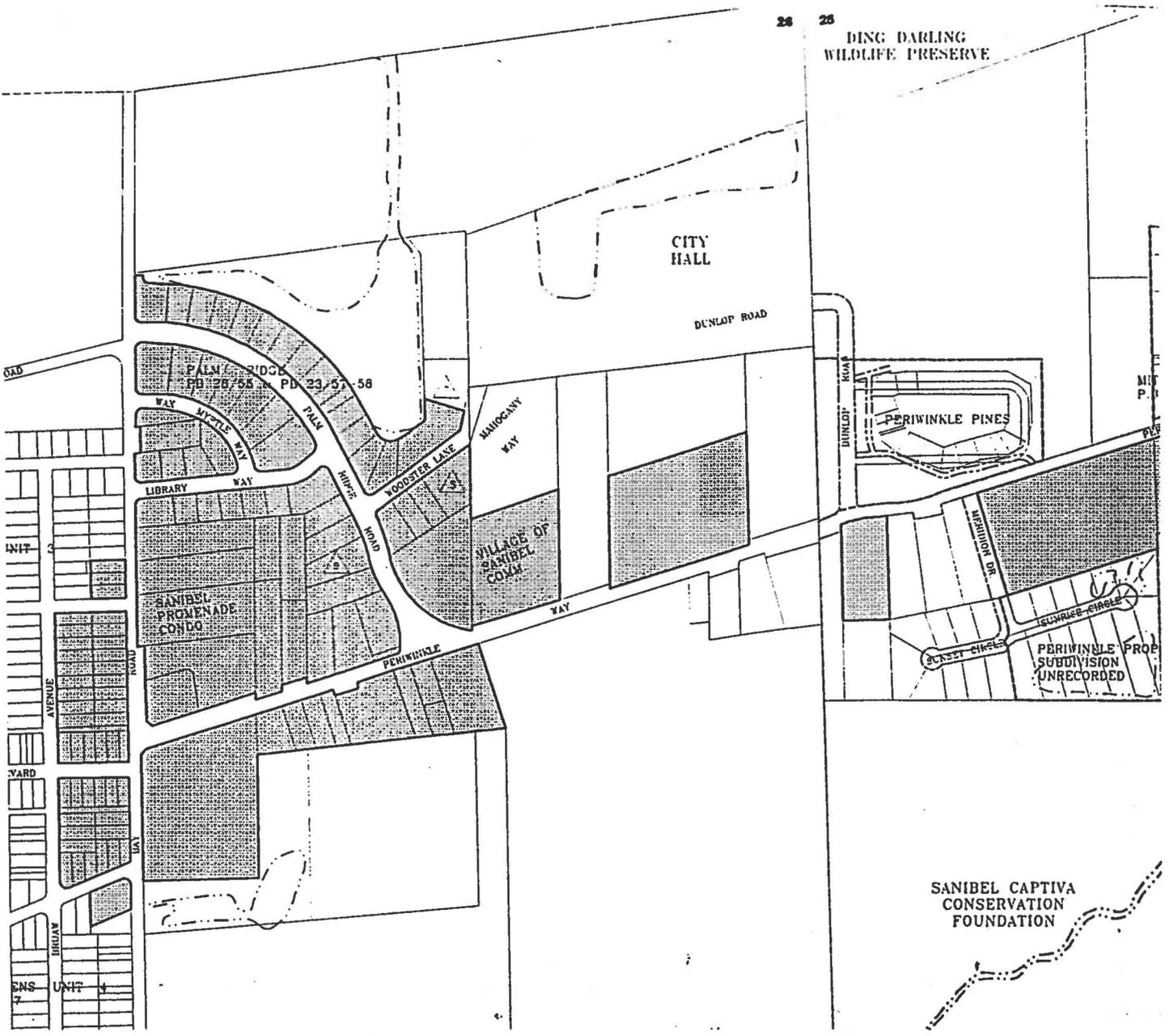


**LEGEND**

- SUBDIVISION NUMBER
- PROPERTY LINES
- RIGHT-OF-WAY LINES
- EDGE OF WATER
- ECOLOGICAL ZONES BOUNDARY
- GULF BEACH
- BAY BEACH
- MANGROVES
- LOWLAND WETLAND
- UPLAND WETLAND
- GULF BEACH RIDGE
- MID ISLAND RIDGE
- ALTERED LAND
- BLIND PASS
- LOCALIZED DRAINAGE AREAS
- SURVEY AREAS

Present Zoning

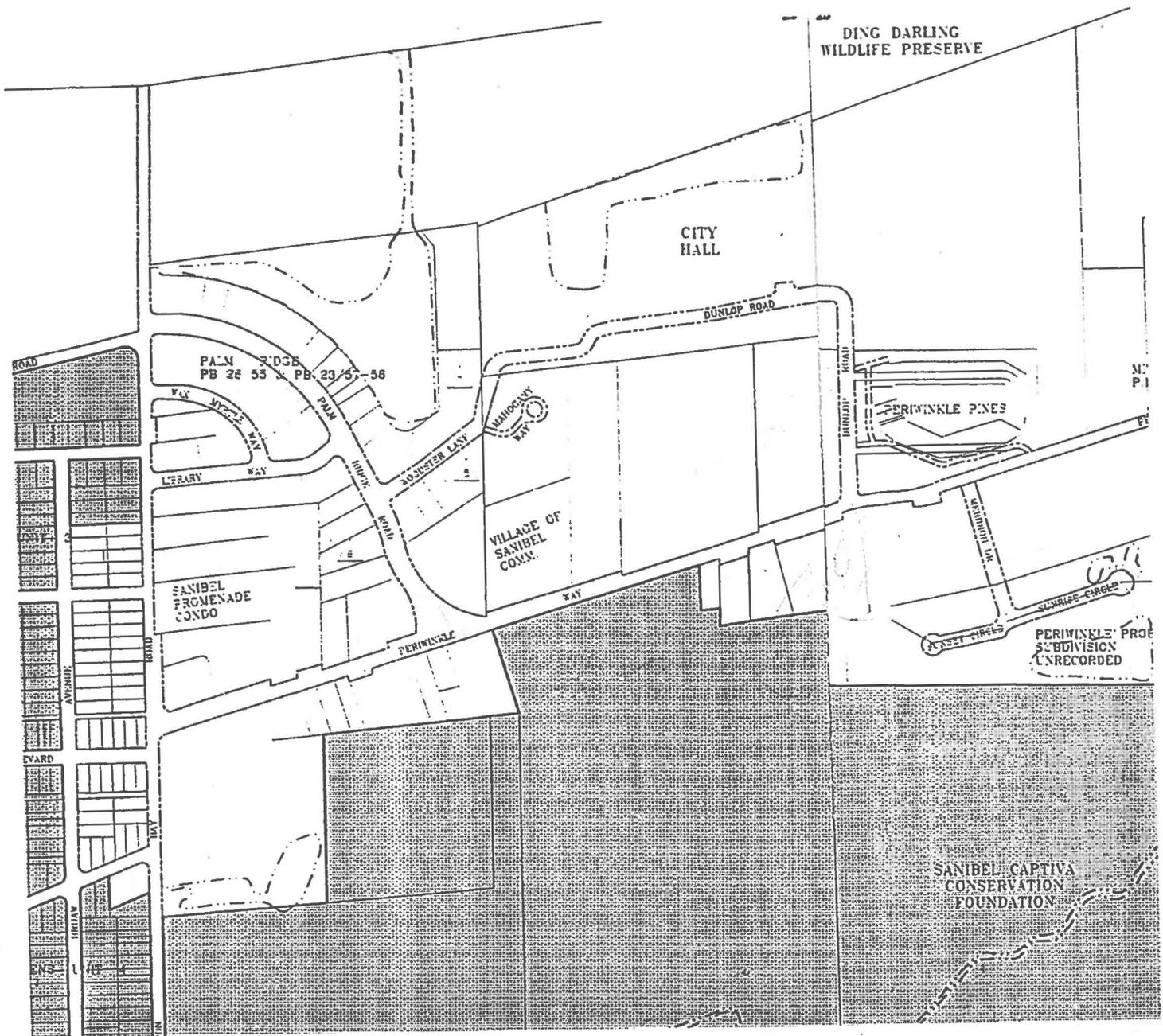
ECOLOGICAL ZONES MAP



**LEGEND**

-  SUBDIVISION NUMBER
-  PROPERTY LINES
-  RIGHT-OF-WAY LINES
-  EDGE OF WATER
-  DISTRICT BOUNDARIES
-  COMMERCIAL AREAS

**Present Zoning**  
**COMMERCIAL DISTRICT MAP**

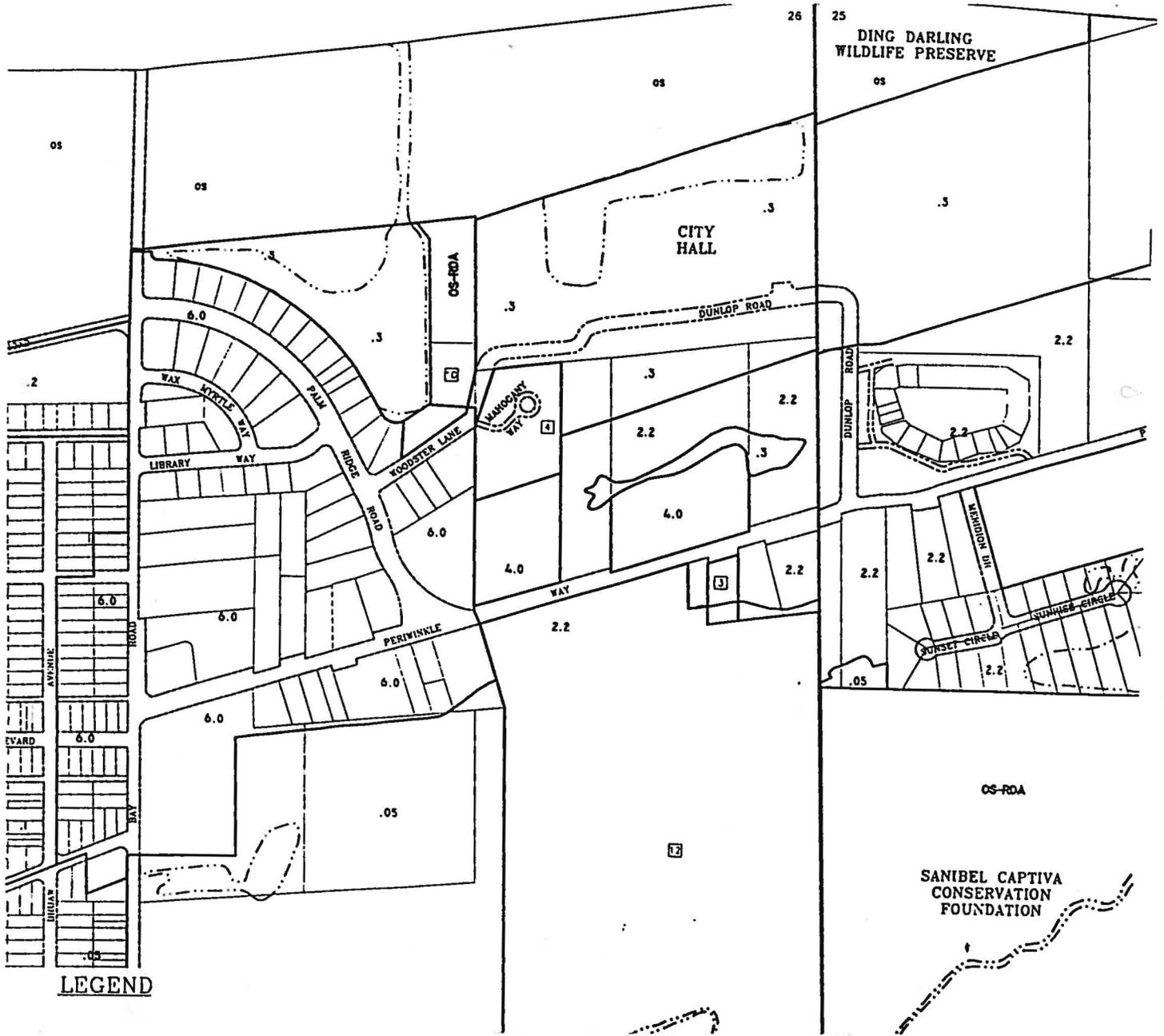


**LEGEND**

- 1 SUBDIVISION NUMBER
- PROPERTY LINES
- - - RIGHT-OF-WAY LINES
- - - EDGE OF WATER
- DISTRICT BOUNDARIES
- ▨ INFERIOR WETLANDS CONSERVATION DISTRICT

Present Zoning

**WETLANDS CONSERVATION LANDS MAP**



**LEGEND**

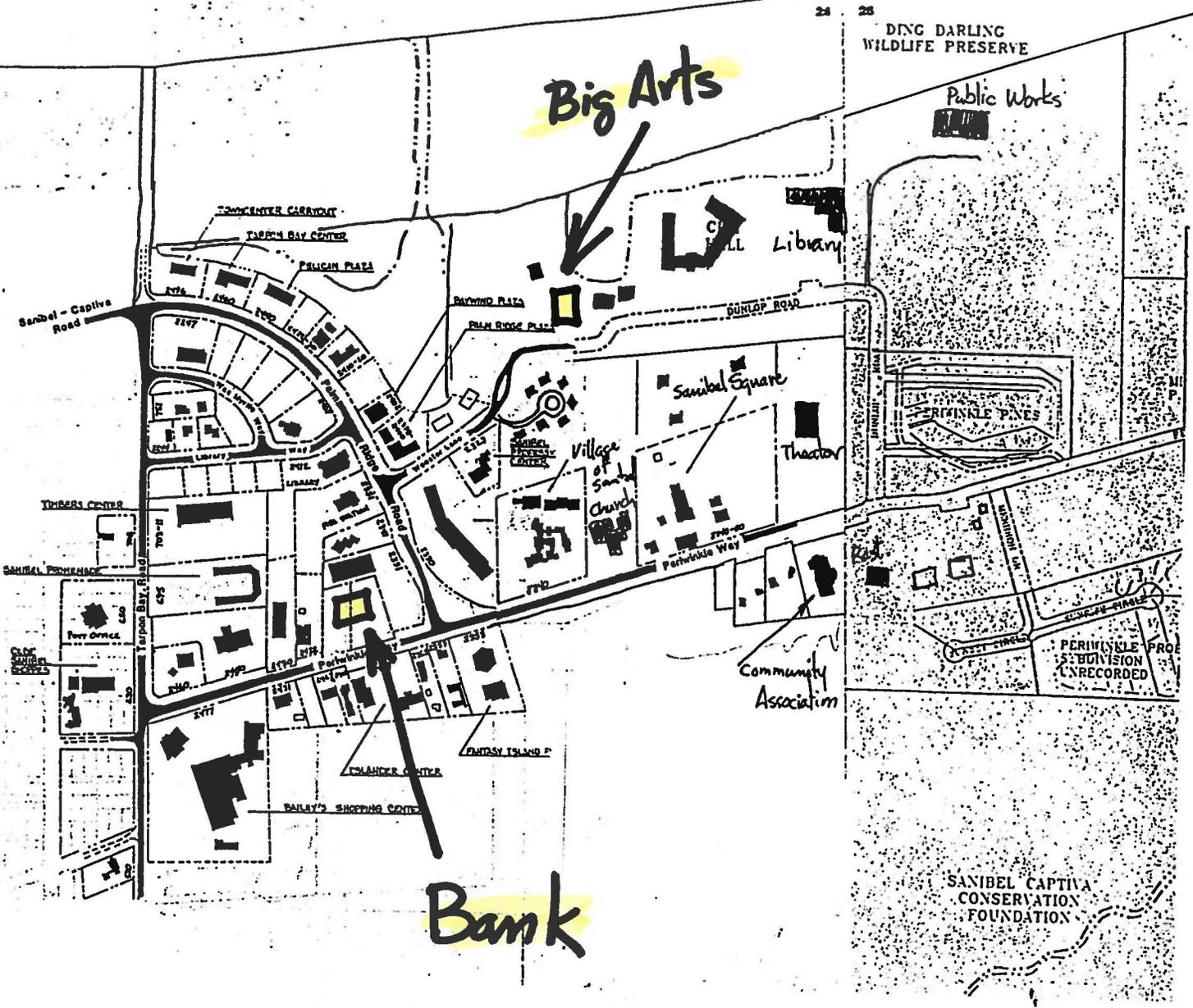
- PROPERTY LINES
- - - RIGHT-OF-WAY LINES
- · - · - EDGE OF WATER
- DISTRICT BOUNDARIES

**MAP KEY**

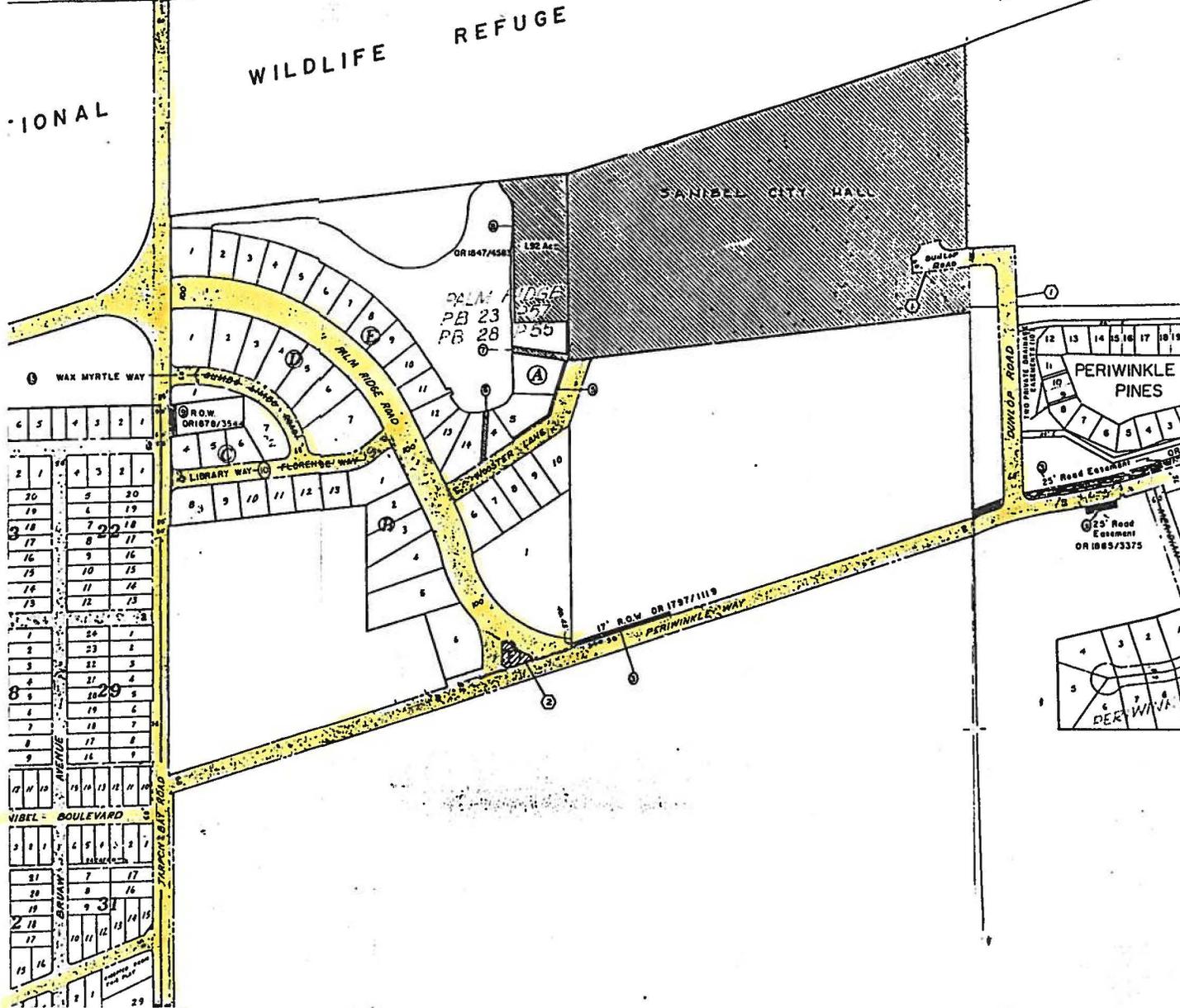
|        |                                    |
|--------|------------------------------------|
| OS     | OPEN SPACE                         |
| .03    | 1 D.U. per 33.34 Acres             |
| .05    | 1 D.U. per 20.00 Acres             |
| .1     | 1 D.U. per 10.00 Acres             |
| .2     | 1 D.U. per 5.00 Acres              |
| .3     | 1 D.U. per 3.34 Acres              |
| .5     | 1 D.U. per 2.00 Acres              |
| .7     | 1 D.U. per 1.43 Acres              |
| 1.0    | 1 D.U. per 1.00 Acres              |
| 1.5    | 1 D.U. per 0.67 Acres              |
| 2.2    | 1 D.U. per 0.45 Acres              |
| 3.0    | 1 D.U. per 0.34 Acres              |
| 3.9    | 1 D.U. per 0.26 Acres              |
| 4.0    | 1 D.U. per 0.25 Acres              |
| 4.4    | 1 D.U. per 0.23 Acres              |
| 5.0    | 1 D.U. per 0.20 Acres              |
| 6.0    | 1 D.U. per 0.166 Acres             |
| ①      | 1 Dwelling Unit                    |
| ②      | 2 Dwelling Units                   |
| ③      | More Than 2 Dwelling Units         |
| OS-RDA | Open Space Allocated Density Areas |

Present Zoning

DEVELOPMENT INTENSITY MAP



**Planned & Proposed**  
Existing Structures & Uses



 Public Right-of-way

Public Rights-of-Way

IONAL

WILDLIFE REFUGE

J.N. "DING" DARLING NATIONAL WILDLIFE REFU

SANIBEL CITY HALL

OR 1847/458

122 AC.

PALM RIDGE  
PB 23  
PB 28  
P 55

WAX MYRTLE WAY

ROW OR 1878/354

LIBRARY WAY

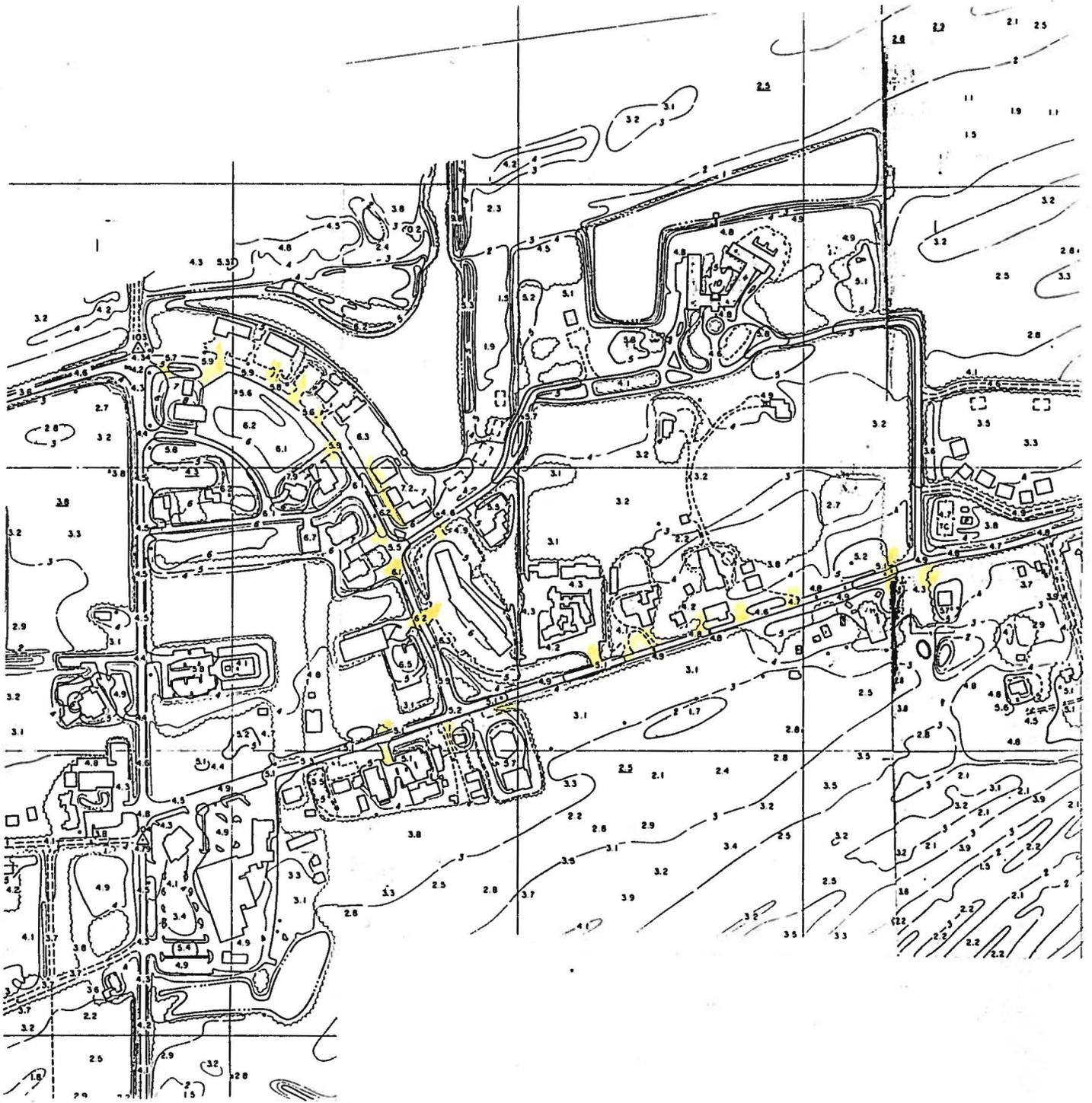
ROW OR 1878/354

PERIWINKLE PINES

ROW OR 1878/354

 Bike path

Bike paths



Driveway Locations

IONAL

WILDLIFE REFUGE

J.N. "DING" DARLING  
NATIONAL WILDLIFE REFU

JANISSE CITY HALL

PALM RIDGE  
PB 23  
PB 28  
PB 55

PERIWINKLE PINES

WAX MYRTLE WAY

R.O.W. OR 1878/3344

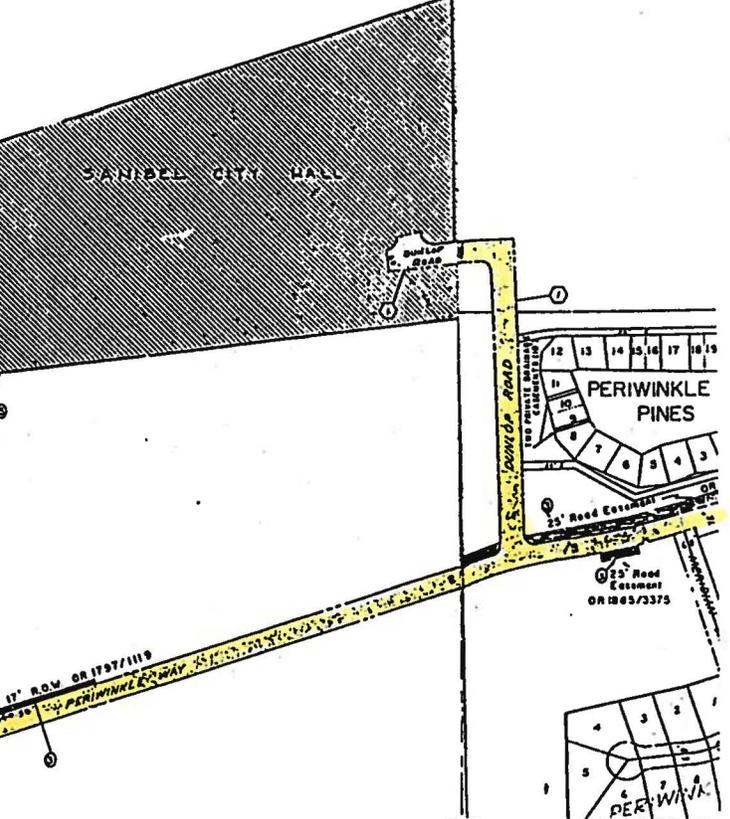
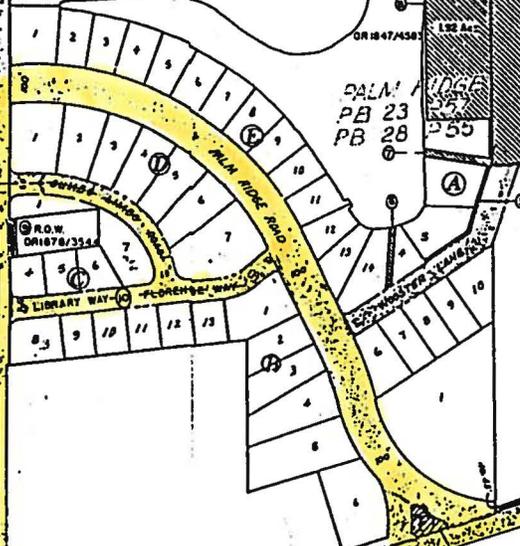
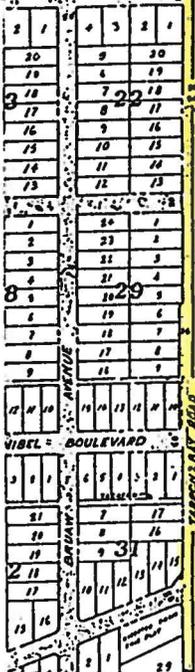
LIBRARY WAY

PERIWINKLE WAY

17' R.O.W. OR 1797/1119

PERIWINKLE WAY

25' Road Easement  
OR 1865/3375



Center turning lane



2 lane facility

Lane configuration

J.N. "DING" DARLING  
NATIONAL WILDLIFE REFUG

# WILDLIFE REFUGE

IONAL

SANIBEL CITY HALL

OR 1847/458

PALM RIDGE  
PB 23  
PB 28  
55

R.O.W.  
OR 1878/354

25' Road Easement  
OR 1885/3375

17' R.O.W. OR 1787/118

WAX MYRTLE WAY

PALM RIDGE ROAD

LIBRARY WAY

FLORENCE WAY

WINTER LANE

DOGWOOD ROAD

PERIWINKLE PINES



|    |    |    |    |    |    |
|----|----|----|----|----|----|
| 6  | 5  | 4  | 3  | 2  | 1  |
| 2  | 1  | 4  | 3  | 2  | 1  |
| 20 | 19 | 18 | 17 | 16 | 15 |
| 3  | 18 | 7  | 22 | 18 |    |
| 17 | 8  | 22 | 17 |    |    |
| 16 | 9  | 16 |    |    |    |
| 15 | 10 | 15 |    |    |    |
| 14 | 11 | 14 |    |    |    |
| 13 | 12 | 13 |    |    |    |
| 1  | 20 | 1  |    |    |    |
| 2  | 23 | 2  |    |    |    |
| 3  | 26 | 3  |    |    |    |
| 4  | 27 | 4  |    |    |    |
| 5  | 28 | 5  |    |    |    |
| 6  | 19 | 6  |    |    |    |
| 7  | 18 | 7  |    |    |    |
| 8  | 17 | 8  |    |    |    |
| 9  | 16 | 9  |    |    |    |
| 10 | 15 | 10 |    |    |    |
| 11 | 14 | 11 |    |    |    |
| 12 | 13 | 12 |    |    |    |
| 13 | 12 | 13 |    |    |    |
| 14 | 11 | 14 |    |    |    |
| 15 | 10 | 15 |    |    |    |
| 16 | 9  | 16 |    |    |    |
| 17 | 8  | 17 |    |    |    |
| 18 | 7  | 18 |    |    |    |
| 19 | 6  | 19 |    |    |    |
| 20 | 5  | 20 |    |    |    |
| 21 | 4  | 21 |    |    |    |
| 22 | 3  | 22 |    |    |    |
| 23 | 2  | 23 |    |    |    |
| 24 | 1  | 24 |    |    |    |
| 25 |    | 25 |    |    |    |

SANIBEL BOULEVARD

BRADY AVENUE

TARPON BLVD

29

September 11, 1996

James C. Nicholas, Ph.D.  
University of Florida, College of Architecture  
Department of Urban and Regional Planning  
Post Office Box 115706  
Gainesville, FL 32611-5706

RE: Request for Professional Services

Dear Dr. Nicholas:

The City of Sanibel is seeking professional services:

- 1) for the update of the Economic Assumptions of the Sanibel Plan; and
- 2) to participate in a project to develop a Town Center.

The services the City is seeking requires a strong background in land use economics analyses. At a budget workshop, the Planning Department's presentation to City Council included this statement:

*If Sanibel holds fast to its vision by a continued commitment to uniqueness, to conserving natural habitats and to retaining a quality of community character; Sanibel will secure its economic future. It is advisable, particularly from a legal perspective, to retain the services of an experienced and respected economic "guru" to evaluate and substantiate this economic assumption. If not, this conclusion will continue to be challenged by market analysts that think "bigger is better" and that "mirroring" others provides the insurance of stability and success.*

I have enclosed some materials to help familiarize you with these projects.

For the Economic Assumptions of the Plan.

the 1995 Evaluation and Appraisal Report of the Sanibel Plan  
the recently adopted Vision Statement for the Sanibel Plan  
the current version of the Economic Assumptions of the Plan  
a revised draft of the Economic Assumptions of the Plan.

For the Town Center Program

the scope of services for the lead consultant (WRT)  
The scope of services for the transportation consultant (HNTB)



## City of Sanibel

800 Dunlop Road  
Sanibel, Florida 33957-4096

### AREA CODE - 941

|                      |          |
|----------------------|----------|
| CITY COUNCIL         | 472-4135 |
| ADMINISTRATIVE       | 472-3700 |
| BUILDING             | 472-4555 |
| EMERGENCY MANAGEMENT | 472-3111 |
| FINANCE              | 472-9615 |
| LEGAL                | 472-4359 |
| PARKS & RECREATION   | 472-9075 |
| PLANNING             | 472-4136 |
| POLICE               | 472-3111 |
| PUBLIC WORKS         | 472-6397 |
| UTILITIES            | 472-1008 |

**James C. Nicholas, Ph.D.**  
**September 11, 1996**  
**Page Two**

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a mock-up of the database for the project.  
a current inventory of non-residential land uses  
an existing Land Use Map of the City of Sanibel.

I appreciate your consideration of this request. Please contact Planning Director Bruce A. Rogers or me to discuss this request further.

Sincerely,



Kenneth Pfalzer  
Assistant Planning Director

KP/DJF/NICHOLAS/LET9

## SANIBEL TOWN CENTER

The planning efforts of the first 20 years of the City of Sanibel have properly been focused on protection, acquisition and preservation of the unique atmosphere and unusual natural environment of the Island; the focus of the second 20 years should be expanded to include restoration and enrichment.

Sanibel is fortunate to have a number of "jewels" in existing facilities at Barrier Island Group for the Arts (BIG Arts), City Hall, Historical Village, Library, Pirate Playhouse and Sanibel Community Center. However, unlike a necklace of jewels all threaded on a string making a compact arrangement, these physical jewels are not connected by any easily accessible, user friendly system except by automobile on sometimes busy public roads. However, they are all otherwise in close proximity. The solution may be the development of a plan for a town center civic space to connect these jewels into a pedestrian friendly package which more sufficiently supports the casual Island style and relaxed Island quality of life while correcting the automobile urban influence of the existing arrangement.

### THOUGHTS ON CIVIC SPACE

- A high quality town center civic space will invigorate quality of life in the City and focus the City's unique small town identification. It will provide a "sense of place" which fosters community pride, encouraging residents to buy into the morals of the place called "Sanibel".
- The town center civic space must balance local interests, be focused on quality and harmony, supporting passive unorganized recreation, the environment, culture and human contact with nature. Quality of life goes hand in hand with the natural community and a predominance of natural conditions and characteristics of the area must be preserved. The town center civic space will be a special place with multiple activity green open space that is safe, comfortable, and attractive, and designed in a unified manner in agreement with Elements of a Town Center attached.
- The town center civic space must not be isolated by design from the rest of the city. It should provide a sense of belonging, endowed with a uniform character which encourages everyone in the community to participate.
- Strong civic space = strong neighborhoods = strong community. The town center civic space should provide places to interact, foster community involvement, and human connectivity with nature and each other.
- The town center civic space will exhibit and strengthen the values of the community. The Vision Statement and the Sanibel Plan both encourage the development of civic space.
- The town center civic space will identify the heart of the community and identify a vision of the community's values. It must have internal pedestrian and vehicular connections, provide opportunities for shared parking, be friendly and attractive, and encourage its use.

MEMORANDUM OF MEETING

TO: File 23473-PL-007-001  
FROM:   
Jack Freeman  
SUBJECT: Town Center Sanibel  
Preliminary Concepts Review Meeting

DATE OF  
MEETING: October 2, 1996

On October 2, 1996, Harry Bertossa and Jack Freeman attended a meeting at the City of Sanibel to discuss preliminary concepts developed by Wallace Roberts Todd (WRT) for a new Town Center on Sanibel Island. Those in attendance of the meeting were as follows:

Mayor Bob James - City of Sanibel  
Gary Price - City of Sanibel  
Bob Pruitt - City of Sanibel  
Bruce Rogers - City of Sanibel  
→ Ken Pfalzer - City of Sanibel  
John Fernsler - Wallace, Roberts & Todd  
Patricia St. John - Wallace, Roberts & Todd

At this meeting, Wallace, Roberts & Todd presented five preliminary concepts for the Town Center Proposal. Copies of these five concepts were provided to HNTB Corporation. The focus of the Town Center concept is to make the area around City Hall and the library a more focal part of town. WRT is looking at alternative concepts, which include a combination of commercial with governmental or total governmental improvements within the area. Traffic circulation, both vehicular and pedestrian, within these concepts is a principal component of the study. Some of the transportation considerations with the preliminary concepts were as follows:

- Concept "A" - One of the focuses of the Town Center Concept is the consideration of relocation of the Community Association Building to be closer to the theater, thereby allowing the sharing of parking. Concept "A" would avoid this relocation by realigning Periwinkle Way southward from east of the intersection with Dunlop Road to east of the intersection with Palm Ridge Road. While the relocation of the Community Association Building can be avoided, this concept would impact approximately one acre of wetland.
- Concept "C" had a one-way pair concept, where Periwinkle Way, from Dunlop Road to the intersection of Palm Ridge Road and Dunlop Road, would be one-way

westbound, and Dunlop Road would be one-way eastbound. It was suggested that because of the high volume that Periwinkle Way presently handles (approximately 20,000 vehicles per day during the peak season) it would not be advisable to carry this high volume through the Town Center area. Those in attendance agreed with this approach.

- Various alternatives showed that the principal movement would be from Periwinkle Way to Palm Ridge Road, and the section of Periwinkle Way west of Palm Ridge Road would T-intersect into a realignment. It was discussed that it would be better to leave the intersection of Periwinkle Way and Palm Ridge Road in its existing configuration.
- Some of the concepts presented that Dunlop Road would be extended northward, going into the Public Works area and T-intersect with Wooster Lane, going east. It was recommended and agreed that Dunlop Road would curve into Wooster Lane in the vicinity of City Hall and have Public Works access (Wooster Lane) "T" into this roadway.
- Several of the alternatives presented a mixed use, land use scenario, having up to 40,000 square feet of commercial in the Town Center proposal. For these, the potential was discussed of using a roundabout, at either or both of the intersections of Periwinkle Way and Dunlop Road, and the Town Center Mall area and Periwinkle Way, as a means of diverting and slowing traffic proceeding along Periwinkle Way. It was agreed that this would be shown "in dash" as a concept that could be considered at these locations.

During the discussions, extensive focus was placed on the acquisition of additional properties, both south of the existing City Hall and south of Periwinkle Way, between Dunlop Road and Palm Ridge Road. For Concept "E", this concept will be revised to show these properties to be acquired and held as public lands for open space for future governmental development or park area. It was felt to be important that as we proceed forward and potentially present concepts publicly, a variety of concepts be available for public comment.

It was decided that four concepts would be further developed for review. Concept "C", which utilized the one-way pair was deleted; however, some ideas from this concept regarding the traffic circle at City Hall and the Library would be integrated into other concepts. It was also felt important that Concept "A" remain, so that there would be an alternative which does not present relocation of the Community Association. WRT will proceed with revisions of the concepts and provide the revised concepts to HNTB the week of October 14, 1996. HNTB will respond with any traffic related comments by October 21, 1996. HNTB was also requested to prepare Order of Magnitude Cost Estimates for the roadway paving. Any areas of existing paving that are not relocated will be omitted from the estimate. Also, locations

shown as shared parking will be omitted from the estimate. It was noted that as the concepts are further defined, HNTB will be requested to look into parking requirements to see if areas shown for parking are proper.

The next meeting is scheduled for Tuesday, October 29, 1996, at 10:00 AM, at the City of Sanibel, City Hall.

#### SUMMARY OF ACTION ITEMS

1. HNTB to review revised concepts provided by WRT and comment by October 21, 1996.
2. HNTB to provide Order of Magnitude Cost Estimates for roadway improvements associated with the four concepts.
3. HNTB to attend October 29, 1996, meeting.

JRF/jag

Copies to:

Bruce Rogers - City of Sanibel  
John Fernsler - WRT  
Harry Bertossa - HNTB  
File 23473

**MEMORANDUM OF MEETING**

TO: File 23473-PL-007-001-T221

FROM: *Jack*  
Jack Freeman

DATE OF MEETING: October 29, 1996

SUBJECT OF MEETING: Sanibel Town Center Concept Review

**RECEIVED**

DEC 02 1996

Planning Dept.  
City of Sanibel

On Tuesday, October 29, 1996, a project meeting for the Sanibel Town Center proposal was conducted at Sanibel City Hall to discuss revised concepts for the Town Center proposal. Those in attendance were as follows:

Mayor Bob James - City of Sanibel  
Gary Price - City of Sanibel  
Bruce Rogers - City of Sanibel  
Bob Pritt - City of Sanibel  
Bill Mills - City of Sanibel  
*To* → Ken Pfalzer - City of Sanibel  
John Fernsler - Wallace Roberts & Todd (WRT)  
Patrea St. Johns - WRT  
Harry Bertossa - HNTB  
Jack Freeman - HNTB

John Fernsler provided an excellent opening overview on the purposes of Town Centers and how they fit within the context of the community. He stated that some of the parameters of a Town Center are as follows:

- Town Centers work best in communities that feel as a community;
- It provides an entity or a symbol of civic pride;
- It is a social gathering point for the community and is often artistic in nature;
- A Town Center needs to provide reasons for people to come on a daily basis;
- A Town Center can possibly have residential close by;
- A Town Center is about people interacting;
- Town Centers need to be friendly to pedestrians and bicycle traffic.

MEMO OF MEETING:  
Sanibel Town Center Concept Review  
Page 2

Some additional parameters that Mr. Fernsler provided are as follows:

- The distance people are willing to walk outdoors in the State of Florida is about 3 to 4 blocks, which equals approximately 1/4 mile.
- Often integrating parking and vehicular traffic into the Town Center concept helps support the interactions of the Town Center.
- The Town Center space is defined. It has a noticeable icon within the space and this icon is generally something of significance.

Having provided this overview, Pairea St. John then discussed changes within each of the four concepts, plus the fifth concept, which had been provided by the City of Sanibel. Some of the comments/discussions provided were as follows:

- Bob Pritt expressed concern that the City needs to be able to control the area south of Periwinkle Way, from the Community Association, west. He suggested the purchase of this property. Gary Price suggested that an alternative may be to limit access into this property by having a median along Periwinkle Way to minimize left turn access.
- It was stated that in conversations with the Community Association, they would be willing to move to north of Periwinkle Way. It was stated that they are looking at new expansion of their facility. There was considerable discussion about maintenance, that of maintaining the existing historic building, and whether it should be on this site or moved to the north side of Periwinkle Way. There was no consensus on this issue.
- The question was asked who will use the Town Center? It was stated that it will range from the permanent residents to the three month residents, and, if commercial is provided, tourists as well. It was noted that Concepts "A" and "E" would have the lower use and Concept "B" and "D" will have the higher use, due to the amount of commercial available within the latter concepts. Concern was expressed that if new commercial space is provided it would likely duplicate existing commercial already available.
- John Fernsler stated that if you take the commercial out of the Town Center, you really do not have a Town Center, but more a civic gathering place.
- The question was asked, are we creating a civic gathering space or a Town Center? If future retail is to be built on the island, why not locate it within a Town Center? It was stated that it is quite possible that future commercial demand will be principally tourist-oriented. This is because the rate of return on the investment is better for tourist-oriented business than for resident-oriented business. A lot of this is driven by the higher cost of retail space and revenues need to be higher to cover overhead.

MEMO OF MEETING:  
Sanibel Town Center Concept Review  
Page 3

- It was suggested that doing a Town Center concept may sway business to relocate into the Town Center area. It was hoped that some existing business would help fill the space. When this is done, they would not be allowed to backfill the existing space. One of the goals could be to eliminate strip development along Periwinkle Way. It was further noted that Concept "E" spends a lot of money, however, only provides for civic improvement and no commercial improvement to provide revenue for paying for the improvement.
- Gary Price suggested that the concept should include the relocation of the Community Association Building to north of Periwinkle Way, acquisition of the Naves property and should include a method of limiting future development south of Periwinkle Way. It was felt initially the Naves Property should be for civic purposes but does allow the City the flexibility for possible future commercial development.
- Bruce Rogers suggested subsidizing a people mover system or look at a small tram system within the Town Center area to move people. Mayor James suggested the possibility of a trolley along Periwinkle Way.
- Bob Pritt stated that he prefers Concept "C" with the purchase of the property south of Periwinkle Way, opposite the Naves Property. He suggested the acquisition of property extend east to the Dunlop Road intersection.
- Bill Mills expressed concern about maintaining the native vegetation, especially that immediately south of the new library.

Bruce Rogers, summarizing the conversation that had been held during the meeting, stated that he feels there is a leaning toward having a Civic Center rather than a Town Center. He felt that on this basis that the existing concepts should be re-worked to be sensitive to natural vegetation, show passive parks that allow for "low sweat" activities such as lawn bowling, and can be used for civic functions. This park setting should have lighting, also include lots of shade, and consider the placement of benches.

As a result of the discussions held above, it was decided that the next step in the Town Center process is for the City to develop a program of what they want in a Civic Center. As part of this, the City is to look at pedestrian and bike flows accessing the Civic Center area and provide guidance to the Consultant Team. Another item the City needs to consider is the process for the acquisition of the Naves Property and that property south of Periwinkle Way. Some of the questions that were asked: "Does the City acquire this property prior to going public with the Civic Center proposal?" It is felt that we need to know if the Naves Property can be acquired because it is the key to making the Civic Center proposal work. The possibility of having a partial acquisition of the Naves Property was discussed.

**MEMO OF MEETING:**  
**Sanibel Town Center Concept Review**  
**Page 4**

**There is no further action required at this time of the Wallace Roberts & Todd/HNTB Team until the guidance discussed above has been provided.**

**JRF/jag**

**Copies to:**  
**Harry Bertossa**  
**Bruce Rogers**  
**John Fernsler**

# 1997

*June 4, 1997* Town Center Civic  
Space Ideas; Planning Department

RECEIVED

JUN 5 - 1997

Planning Dept  
City of Sanibel

MEMORANDUM

DATE: June 4, 1997

TO: City Attorney Bob Pritt  
Assistant City Manager Bill Mills  
Planning Director Bruce Rogers

FROM: City Manager Gary A. Price



RE: Sanibel Town Center Civic Space

Attached is a draft paper which I would like to use as a support for the town center civic space idea.

I would appreciate your comments.

k:\vjs\gap\civic

## SANIBEL TOWN CENTER

The planning efforts of the first 20 years of the City of Sanibel have properly been focused on protection, acquisition and preservation of the unique atmosphere and unusual natural environment of the Island; the focus of the second 20 years should be expanded to include restoration and enrichment.

Sanibel is fortunate to have a number of "jewels" in existing facilities at Barrier Island Group for the Arts (BIG Arts), City Hall, Historical Village, Library, Pirate Playhouse and Sanibel Community Center. However, unlike a necklace of jewels all threaded on a string making a compact arrangement, these physical jewels are not connected by any easily accessible, user friendly system except by automobile on sometimes busy public roads. However, they are all otherwise in close proximity. The solution may be the creation of a town center civic space to connect these jewels into a pedestrian friendly package which more sufficiently supports the casual Island style and relaxed Island quality of life while correcting the automated urban influence of the existing arrangement.

### THOUGHTS ON CIVIC SPACE

- A high quality town center civic space will invigorate quality of life in the city and the city's unique small town identification. It will foster community pride, be focused on quality and harmony in a unified manner.
- The town center civic space must balance local interests, supporting passive unorganized recreation, the environment, culture and human contact with nature. Quality of life goes hand in hand with the natural community and a predominance of natural conditions and characteristics of the area should be preserved. The town center civic space will be a special place with multiple activity green open space that is comfortable and attractive.
- The town center civic space must not be isolated by design from the rest of the city. It will provide a sense of belonging, endowed with a uniform character which encourages everyone in the community to participate.
- Strong civic space = strong neighborhoods = strong community. The town center civic space will provide places to interact, foster community involvement, and human connectivity with nature and each other.
- The town center civic space will exhibit and strengthen the values of the community. The Vision Statement and the Sanibel Plan both encourage town center civic space.
- The town center civic space will identify the heart of the community and identify a vision of the community's values. It must have internal pedestrian and vehicular connections, be friendly and attractive, and encourage its use.

6/4/97

k:\vjs\gap\civic

## ELEMENTS OF A TOWN CENTER

The following is intended as an outline of the characteristics of town centers as the starting point for discussion on the subject and for the development and evaluation of concepts for a possible town center on Sanibel Island.

Although, there exist many, quite different examples of town centers they can generally be defined as.....

*Public places which embody and reflect the shared identity of a community... a symbolic common ground... a center of the civic, social, cultural and economic life of a town.*

Starting with this definition, certain archetypal places are immediately called to mind; Times Square in Manhattan, Jackson Square in New Orleans, or even the town squares and "greens" common to small New England villages and classically planned cities such as Savannah and Philadelphia. While these are quite different in scale, they are all recognizable as "centers". It is also recognizable that Sanibel now lacks such a place. Although Sanibel has landmarks such as the historic lighthouse and focal attractions such as Periwinkle Place, Sanibel lacks a place which contains all of the characteristics which are normally associated with a town center. It can be observed that town centers possess most, if not all, of the following characteristics:

### 1. *Mixed Uses*

While some town centers are largely commercial in nature and others focus more on civic or institutional activities, all incorporate complementary activities, e.g., activities which support each other and which can be performed successively with no intervening automobile trip.

### 2. *Higher Activity Levels*

The mixed use characteristic of town centers creates higher levels of activity than exist elsewhere in the community and this activity extends over a longer period of time. Often this means office and institutional uses and their associated daytime activity, complimented by housing, entertainment and shopping for evening and weekend activity.

### 3. *Pedestrian Orientation*

The pedestrian orientation which town centers share means that once having arrived at a town center one walks (or rides a jitney) from one activity to another. This phenomena can be as simple as walking from one's office to lunch; from the theater to dinner, or simply strolling among shops for comparison shopping. The

urban design principles associated with this characteristic are quite clear. They include the provision of conveniently located shared (as opposed to assigned) parking and the layout of a town center consistent with convenient walking distances (generally considered to be in the ¼ mile range) in a safe pleasant environment.

4. *"Urbanness"/Compactness/Special Character*

Because town centers are the most active areas in a community, they are perceived as the most "urban" parts of a community. In physical terms this embodies the characteristic of compactness: a manner of building which seeks to aggregate rather than separate, juxtaposing uses and minimizing walking distances while maximizing the continuity of urban form. In simple terms, this means minimizing or eliminating front and side setbacks and increasing development intensity.

It should be recognized that this greater compactness concerning the placement of buildings and uses, is complemented by generous usable public open space. Thus, town centers are often considered to be both more dense and more "green" than more suburban patterns of development.

Also related to the characteristics of "urbanness" and compactness is the creation of some unique special character. Because of the compact arrangement of buildings and open spaces in a town center, some unifying architectural or landscape architectural design elements often are used to thematically unify the district. Such elements range from the flashing neon of Times Square to the Mediterranean vernacular of Palm Beach and Coral Gables. In all cases this thematic influence is some quality perceived to be indigenous.

5. *Social Significance*

In addition to the pattern of uses and the physical form in which activities take place; town centers are locations where important social "events" occur. Such events range from the chance encounters with neighbors and informal people-watching, to formal events of civic significance, such as festivals, holiday celebrations, concerts, speeches, pageants, etc.

To fulfill this function, town centers must provide adequate space and facilities to accommodate these activities. Town centers, which best perform this social or civic function, are those which combine some or all of the following:

## ELEMENTS OF A TOWN CENTER

Page Three

- “Neighborhood” convenience goods (deli’s, bakeries, etc.)
- Multipurpose “green” areas for special events or entertainment
- Sidewalk cafes or other active outdoor areas for people watching
- Civic activities of local significance (town hall, courthouse, post office, churches, theaters, community halls, etc.)

### 6. *Landmark Significance*

Many town centers incorporate landmarks of local, often historic, significance. In small towns, typically the landmark is a pavilion/gazebo, clock tower, equestrian statue or monument to local servicemen lost in war. Whether a fountain, a monument or a specimen (heritage) tree, town centers traditionally incorporate one or more focal elements. Other design characteristics which help define town centers include a properly dimensioned public space, designed in proportion to the scale adjacent buildings and level of public use, considering convenient walking distances. Whether formal in geometry, as in squares or malls, or informal, as in gardens or parks, focal open spaces in town centers also have defined “edges” and entryways which afford visual cues to one’s entry into a town center.

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## ELEMENTS OF A TOWN CENTER

### Page Two

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## WHY A TOWN CENTER?

# DRAFT

1. Provide opportunities for shared parking.
2. Add value to Town Center commercial properties.
3. Make it safe and convenient to run multiple errands in Town Center with only one auto trip.
4. Make it safe and convenient to move about the Town Center on foot or bike.
5. Encourage residential living in the Town Center.
6. Provide an area for community special events which complements local businesses and institutions.
7. Give people a reason to come early and stay after a performance or event at Big Arts, Pirate Playhouse, Sanibel Community Association, City Hall, Civic Center, Library or Movie Theater. *or Historical Village.*
8. Give residents a reason to go downtown (Town Center) by adding life to the Town Center area.
9. *Increase evening activity in the town center area.*  
Implementing Ideas
  - a. Town Center people mover.
  - b. Shaded walkways.
  - c. Lighted walkways.
  - d. Increase native vegetation and wildlife habitat.
  - e. Modify zoning regulations to accommodate changes in commercial uses.
  - f. Add roadside plantings.
  - g. Add public parking.

~~Increase night time activity~~

# MAP ATTACHED

# 2000

*July 31, 2000* Plan for Community Design; Planning Department

*August 30, 2000* Town Center Concept

*October 10, 2000* Town Center Concept

*November 6, 2000* Town Center Materials; Planning Department

## MEMORANDUM

To: Planning Commission

From: Planning Department

Date: July 31, 2000

RE: **TOWN CENTER**

On July 25, 2000, during the Planning Commission's continuing discussion of the Capital Improvements Element of the Sanibel Plan, staff stated that they would prepare some background material on the existing conditions in the Town Center Project area.

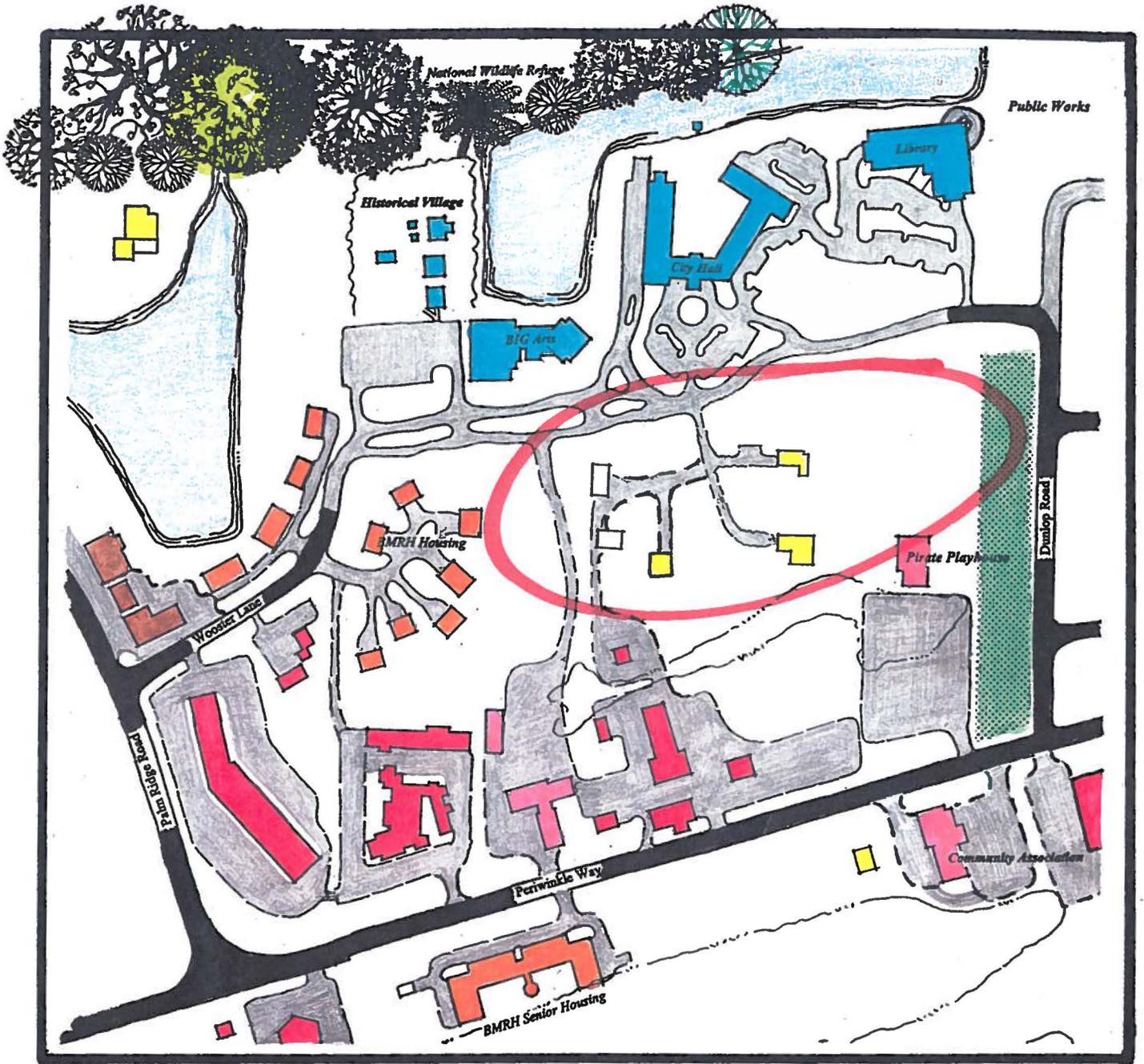
The *Plan for Community Design* in the Land Use Element of the *Sanibel Plan* contains the following policy:

*"Consider development of a Town Center/Square in the area of City Hall to serve as a focal point for community activity, special events and informal assembly."*

The following graphics have be prepared by the Planning Department:

- **EXISTING LAND USES**
- **EXISTING ZONING**  
w/ conditional uses identified
- **EXISTING ZONING**  
Ecological zones – Commercial Districts –  
Environmentally-Sensitive Lands Conservation District
- **RESIDENTIAL DENSITY**

These 4 graphics are included in this memorandum. Please note that these graphics are **drawings and not regulatory graphics and not plans.**



**LAND USES**

- Commercial
- Commercial/Residential
- Public Facilities
- Institutional Uses
- Multi-Family/Cluster Residential
- Single Family Residential
- Roadways
- Driveways & Parking
- Residential Open Space
- Wildlife Refuge
- Water

**EXISTING LAND USES**  
**Sanibel Town Center**

Informational – Non-regulatory Graphic  
 by the Planning Department 7-28-00



**ZONING**

- Commercial Districts
- Altered Land
- Mid-island Ridge
- Upland Wetlands
- Lowland Wetlands
- Environmentally-Sensitive  
Lands Conservation District



**EXISTING ZONING**

Ecological Zones - Commercial Districts  
 Environmentally-Sensitive Lands Conservation District  
**Sanibel Town Center**



**ZONING** w/ conditional uses identified

**Commercial Districts**

-  TownCenter General
-  TownCenter Limited
-  General

**Residential Districts**

-  Public Facility Uses
-  Institutional Uses
-  Below Market Rate Housing
-  Multi-family
-  Single Family
-  Common Area/Open Space

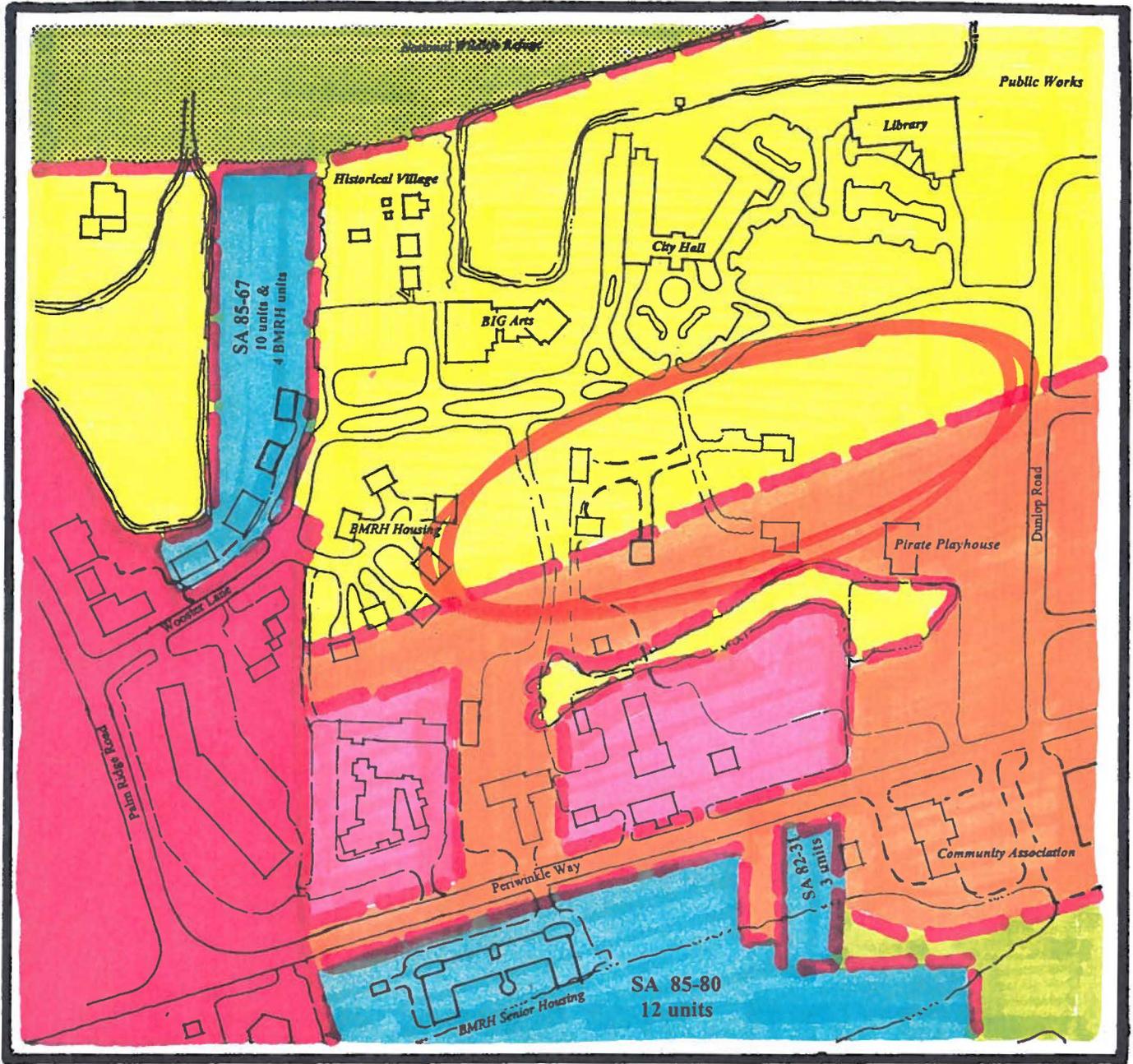
**Conservation Districts**

-  Environmentally-Sensitive Lands

**EXISTING ZONING**

w/ conditional uses identified  
**Sanibel Town Center**

Informational – Non-regulatory Graphic  
 by the Planning Department 7-28-00



**DEVELOPMENT INTENSITY**

|   |             |                             |
|---|-------------|-----------------------------|
|  | <i>OS</i>   | <i>Open Space</i>           |
|  | <i>0.05</i> | <i>1 DU per 20.0 Acres</i>  |
|  | <i>0.3</i>  | <i>1 DU per 3.34 Acres</i>  |
|  | <i>2.2</i>  | <i>1 DU per 0.45 Acres</i>  |
|  | <i>4.0</i>  | <i>1 DU per 0.25 Acres</i>  |
|  | <i>6.0</i>  | <i>1 DU per 0.188 Acres</i> |
|  | <i>SA</i>   | <i>Specific Amendment</i>   |



**RESIDENTIAL DENSITY**

**Permitted Intensity of Use  
Sanibel Town Center**

# 2000

*July 31, 2000* Plan for Community Design; Planning Department

*August 30, 2000* Town Center Concept

*October 10, 2000* Town Center Concept

*November 6, 2000* Town Center Materials; Planning Department

AGENDA ITEM NO. 5  
PC MEETING 10/10/00

TOWN CENTER CONCEPT

August 30, 2000

Thoughts on a Sanibel Town Centre

As you know I am not sold on the concept or need of a town centre for Sanibel. In fact I question whether the citizens of Sanibel want or would use such a place. I had several phone calls after our meeting appeared in the local paper and they were adamantly against any plans for such a use, particularly if it involved any commercialism. I encouraged the callers to attend the October 10th meeting and hopefully the commission will hear from them at that time. I would strongly encourage some type of survey that might better tell us how our citizens, on a broad scale, feel about this issue.

My personal concept of a town center for the island would be of a rural, New England small town type, where people might gather at a gazebo or bandstand to hear music or listen and debate town issues. There would be little or no commercialism involved. I think this is the concept put forth in the Sanibel plan (consider development of town center/town square in the area of city hall to serve as a focal point for community activity, special events and informal assembly.) It might be nice to have such an area when there are overflow crowds at city council meetings. Therefore I feel, that any land acquired for the development of a town centre, of the type I have outlined, should be in close proximity to city hall. It might be necessary to redesign roadways and parking to accommodate such a plan.

Sanibel IS a unique place. It is low key and very environmentally oriented. Please, let us not get carried away with grandiose plans and expensive concepts and especially with ideas that will in any way increase density of use and encourage off island participation. The planning commission has a lot of good minds and good ideas and even if we differ in those ideas we can put our heads together and come up with a concept we all agree on and that will be of benefit to the people we serve.

planning commissioner

John C. Veenschoten

# 2000

*July 31, 2000* Plan for Community Design; Planning Department

*August 30, 2000* Town Center Concept

*October 10, 2000* Town Center Concept

*November 6, 2000* Town Center Materials; Planning Department

TOWN CENTER CONCEPT

MEMO

TO: PLANNING COMMISSION

FROM: JUDY WORKMAN 

DATE: OCTOBER 2, 2000

TOWN CENTER

I believe the area from City Hall on the North to The SCA on the South, and from St. Michael's Church on the West to Dunlop on the East, presents a unique opportunity through planning to direct the future development of a sizable parcel of land in the middle of the island. We have two choices.

We can do nothing and watch as this underdeveloped commercial parcel is redeveloped with one or more large commercial projects. Imagine a restaurant like Dolce Vita in the spot where Dr. Gentry's office is now. East of that, we might see another Winds, and an office complex on pilings, with parking underneath. In the rear a large condominium complex could materialize, with amenities.

In the alternative, we can acquire or rezone the property, assess the community needs and desires, and we can provide for these needs and desires in a central location before all the central locations are used up.

If we were to do a survey of island residents, I'm confident we would find that, given the two choices stated above, they would overwhelmingly select the community needs option over the commercial project. Why not at least investigate the possibilities before the chance is gone?

We have a stated need for more recreation areas on Sanibel. We have an observable need for a place for special community events. In recent years we have held the 25<sup>th</sup> Birthday Picnic and the CROW Taste of the Islands at the Algiers Beach. This is a lovely spot, but it is also environmentally sensitive and could quickly be destroyed or damaged from overuse. Why not provide a centrally located spot for these events in a less fragile location?

My personal vision has room for two different proposals. Both would require the acquisition of the Nave property by the City. The first would see the entire area within the above-described boundaries returned to its natural condition. There would be no further development in the area, and over time, the existing structures would be removed. The land would be re-vegetated and returned to the wildlife. A nature trail by boardwalk *might* be included.

I could also support a plan more recreational in nature. It would involve a large open space area with vegetation around the perimeter. It might resemble Gulfside City Park in that it would be a gathering place for community events, parades, picnics and festivities, a Fourth of July picnic and other community events for islanders to get together and enjoy each other's company. This plan could conceivably contain some limited

**Town Center Memo  
Workman to Planning Commission  
October 2, 2000**

commercial development, containing food concessions with outdoor eating facilities - such as a coffee and sandwich shop or a French café - a branch of the Post Office, a stationery and card shop, etc. There might be a playground for children, or at least an area for an informal game of soccer or frisbee.

I haven't ruled out the rotary arrangement of the roadway, although I'm less than enthusiastic about it. I think we should look at it as a possible way to connect the various aspects of the town centre area so that it is easier to drive or walk from one to another, but there may also be other ways to accomplish the same thing - with winding roads or boardwalks and paths - or conveyor belts. (Who said to think outside the box?)

In conclusion, we have a need for a gathering place. The need is currently being filled at Algiers Park - not the best place for the activity. We need to find a better place because until we do, the need will continue to be filled at the wrong places. The area between City Hall and Periwinkle may be a better place, and we should make an effort to give the citizens of Sanibel all the facts available and get a consensus of what's in the community's best interest.

## MEMORANDUM

TO: Planning Commission

FROM: Richard H. Downes

SUBJECT: CONCEPT-Town Center

DATE: 8/15/00

This document is intended to outline discussion possibilities inherent in any attempt to plan for a Town Center district on Sanibel. It is not intended to be an out line, necessarily, for what could be in such a district and certainly is not intended to be "draft ordinance".

For planning purposes, the district would commence at the easterly edge of Tarpon Bay Rd. and extend to the westerly edge of Dunlop Rd. To the south it includes the Community Center and the City owned property adjoining it and extend northerly to the end of the municipally owned property across Dunlop Rd, behind City Hall.

This is an extremely large parcel and, in my opinion, too large to contemplate and discuss at one time. Therefore, this memo will deal only with that section of the "Town Center" south and west of Dunlop to Periwinkle Way.

This area would contemplate a multi-use district with open space. The intent would be a large contiguous open space the could be used for passive recreation. The area would be similar to the center area at Periwinkle Place but, hopefully, larger.

In order to achieve such open space, the concept of "clustering" might provide the impetus for the property owner to donate the open space lands to the City. Other zoning incentives would probably be necessary such as, but not limited to increase FAR for the commercial uses permitted. Although attractive in concept, it might be necessary to restrict bike riding and roller-blading in order to encourage strolling and just plain sitting in the area, a pedestrian mall.

The uses permitted would be commercial on the first level with residence use on the second level. The residence use has many advantages. First (and perhaps foremost) it prevents the area from being "abandoned" when the businesses are closed. It also would be a good source of moderate priced housing in a rental market,

The present Town Center zone and particularly its lack of success illustrates the type of incentives that may be necessary but, none the less, does provide an outline of how to proceed.

Parking is necessary! There are two basic approaches, a large centrally located lot or smaller lots throughout. The latter is probably more desirable and perhaps easier to implement. Provision should be made for shared parking and, where possible, access from one parking area to another without going out on to the roadway.

Sufficient parking will be needed in order to provide adequate parking for the commercial uses but also to attract citizens to the promenade area. The whole purpose of the concept fails without adequate parking.

Uses in this multi-use, should be broad and varied but compatible. Restaurants should be permitted, both sit-down and fast-food. It may be that this use should be by conditional use approval. Public facilities, as defined by the LDC should be permitted. However, I do not see any advantage to permitting single family, duplex, residential cluster or other residential use in the district.

Other "entertainment" uses could be considered and certainly the J. Howard Wood theater should be permitted. There is no point in making this a non-conforming use.

Other tools to make development attractive are small setbacks internal of bordering road and setbacks between structures in consideration of clustering. Normal height restrictions should apply.

Others issues will develop during discussion but this memo should get the discussion started.

TOWN CENTER CONCEPT

DATE: October 1, 2000

FROM: Steve Greenstein *SG*

TO: Planning Commission

RE: Town Center

Throughout our discussions of the Town Center concept, we have seen many different examples of Town Centers located elsewhere. Whether it be Times Square in New York, Jackson Square in New Orleans, or even the small New England village square, the one thing they all have in common is the fact that they wouldn't work on Sanibel.

Town Center characteristics generally include higher levels of human activity in a higher intensity mixed use setting, pedestrian oriented activities encouraged by such conveniences as shared parking and outdoor dining, and a general sense of urbanization, caused by the need to aggregate rather than separate the various uses. The need to minimize walking distances triggers a lessening of standards for front and side setbacks and for development intensity. Town Centers also are generally unified in a theme by some architectural or indigenous design element such as the flashing neon of Times Square or the Mediterranean flavor of Palm Beach.

Given these general characteristics of a Town Center, it should come as no surprise that Sanibel is lacking such a place. It should come as even less of a surprise that there is little community demand for or endorsement of plans for such a project.

Our shared goals, values and concerns as a community seem to require that any Town Center project must protect our environment, be economically sustainable, create only internal demand for retail space without triggering off-island activity, reduce automobile traffic, serve residents, and maintain property values. It must minimize harm to both our natural environment and to our community character and adhere to development regulations and performance standards which safeguard our unique small-town identity. It is a challenge which has not been met by any of the design concepts put forth to date and one that seems unable to be met by any traditional application of Town Center characteristics.

I believe the time has come to abandon the Town Center project as we know it. It is time to throw away the outdated drawings and it is time to abandon urban planning principles which have little relevance to Sanibel. But I don't believe we should turn our backs on planning for our future. We should ask the professionals to take a fresh look, with fresh ideas, at what can be done to develop that area in accordance with our unique community standards in a manner that meets identified community needs and attains common community goals.

Otherwise, we are just trying to fit a town square into a round hole!

TOWN CENTER CONCEPT

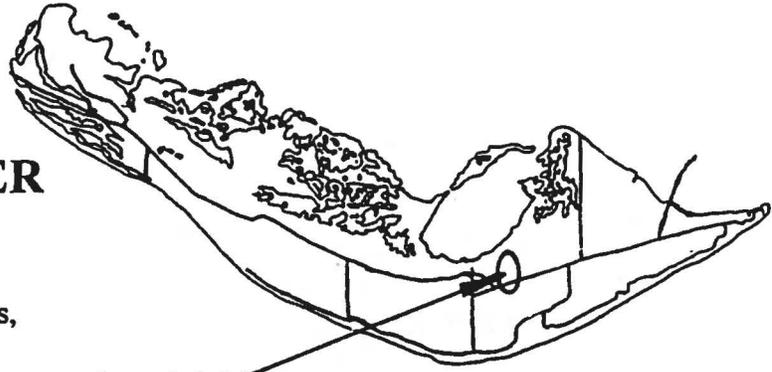
MEMORANDUM

To: Planning Commission

From: Ken Pfalzer

Date: October 4, 2000

RE: TOWNCENTER



Maybe we don't know what it is,

but I think that we do know where it is?

Its from City Hall to the Community House,  
from the Library to BIG Arts.

The *Sanibel Plan* says:

*"Consider development of a Town center/ Town Square in the area of City Hall to serve as a focal point for community activity, special events and informal assembly."*

Any future development occurring in this area will help to integrate these uses or it will not. But really, is there sufficient benefit from the integration of this association of civic uses for the City to explore development of a Town Center/Town Square

The Planning Commission has undertaken a difficult task –

determining if there is a place for an active community design program (buying? building? facilitating? preserving?) in association with the current growth management program (zoning and regulations) in directing the future development that will occur in this area.

As the water carrier for the evaluation and appraisal of the *Sanibel Plan*, I appreciate the Planning Commission's efforts in this matter.

**Considerations of a Sanibel Town Center**  
**10-5-00**

If this were a 200 year old town or village, laid out by the engineers and planners of that day, who preferred the north/south and east/west grid-type arrangement with all roads leading to a central core where the courthouse, churches and town leaders' homes and businesses were located, then Sanibel, too, could have a true, old-fashioned "town center" that we could all picture in our minds.

Also, if our citizens had been banging down the door to get the City to begin planning for a town center or had the burning desire for such a central area, it would be wonderful. However, in my opinion, we have neither.

With that said, the planning responsibility of the Commission and the Planning Department suggests that we at least do our homework to see what the possibilities might be for Sanibel.

Probably the best location for the town center would be in the City Hall/Library/ BIGArts/Pirate Playhouse area. The only other location that would make sense would be the "Grand Piano" area of Periwinkle/Tarpon Bay/Palm Ridge. However, this location has only two small vacant parcels of land and little, or no, existing institutional presence (except the old library) which would lend itself to being the core around which a center could be developed (and, I hesitate to use the word "developed" in any context at this point in time!).

Therefore, back to the Dunlop Road area. It would be nice to draw the conceptual plan to include the adjoining "Nave and single family home" properties, but let's be practical. Those properties are not now available. I would also be hard pressed to rezone those properties, which would probably adversely impact their market value and also could be a psychological burden on the current owners - even with the advice of our planners concerning future defensibility of the current zoning in mind.

Let's take what we do have - from the Historical Village around to the Pirate Playhouse /Periwinkle Way area (and, the City doesn't own the Pirate Playhouse or its parking lot, but let's try to include it anyway since we would be dealing with not-for-profit organizations). Move the cathouse and the recycle lot, redesign the streets and all the parking areas and try to build a mini-town center concept that could stand half a chance of being implemented over the next 5 to 10 years. This could include a small gazebo/bandstand, walkways, benches - nothing commercial. It would simply be a passive area for residents and employees to enjoy pleasant surroundings. That is, if the citizens are interested after the conceptual plans are designed and presented for public review, consideration and response.

Respectfully submitted:

Jack Samler

Planning Commissioner

October 1, 2000

To: Planning Commissioners  
Re: Town /Center Concept

## TOWN CENTER CONCEPT

I have read John Veenschoten's thoughts and concur with his concept of a rural, small town center where people can gather for community events. I come from near a small town in New Jersey where the center is a park with the County Court House fronting one side of the park. Three churches front the other 3 sides of the park.

The park is the center of numerous community activities. The biggest is the annual "Belvidere Victorian Days" when a multitude of charming, 150-200 year old Victorian homes open for touring. For 2 days, the residents dress in period costume and conduct activities typical of this by-gone era. (See the newspaper article attached).

I think there is tremendous merit in examining the proposals developed by Wallace, Roberts & Todd. We can pull from the proposals those ideas that we like and ask the Planning Department to consolidate them into one or two "hybrid" proposals. At that point we would have something to show Sanibel residents at a public workshop.

Additionally, I think we need to develop the advantages and disadvantages of proceeding with the town Center concept. As someone said at the last PC meeting, people resist change. At the same time, as Ken Pfalzer has so adequately pointed out, one VERY SIGNIFICANT advantage of moving forward with the concept is that the CITY can control what happens on the land immediately across from City Hall's front door. We now have the choice of creating a future lovely community park.

Or we can maintain the status quo (do nothing) and assume considerable risks:

1. The Nave property is sold to a developer(s).
2. The developer(s) challenges the current low density zoning on the basis that higher density zoning exists close to the Nave property.
3. The City loses the legal challenge.
4. High-density development is built immediately across from City Hall.

Obviously the above is a "worst case scenario, but nonetheless a possibility. As Bruce Rogers appropriately points out about the Town Center concept, "there will never be a better time to do this than right now".

As Dick Downs said, the Federal Government acquired hundreds of thousands of acres in NJ and Pa. in the 1960s that is now the Delaware Water Gap National Recreation area. My understanding is this was accomplished by paying property owners close to fair market value, yet allowing them to reside in the houses on the properties for their lifetime. Then it reverted to public land use. I can support this concept.

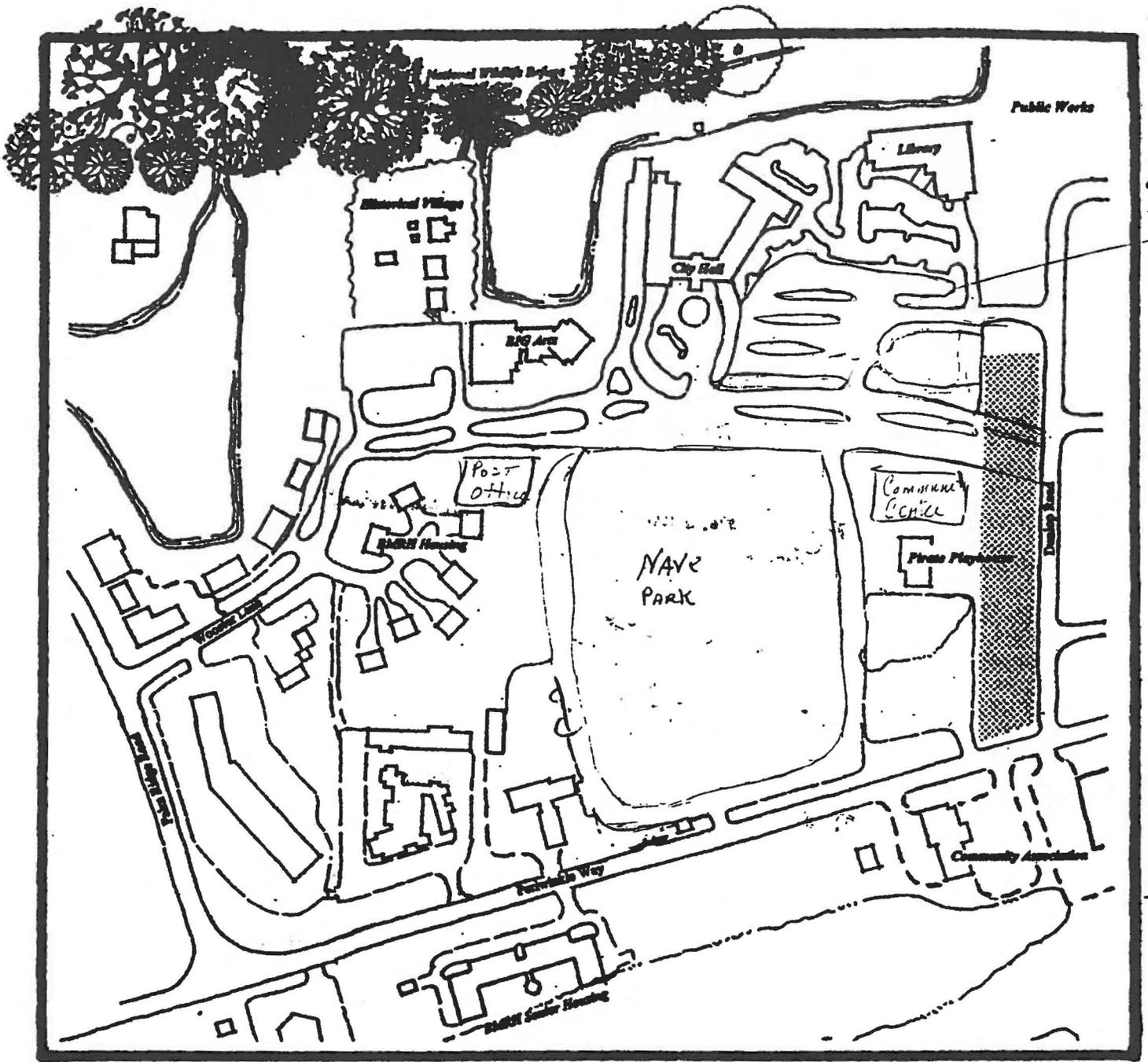
I think that we need to move ahead with developing the Town Center concept, mindful of the fact that this is a slow process, needing a thorough airing of all the pros and cons with Sanibel residents. Then a method used to gauge public sentiment. And proceeding accordingly.

My personal concern is that WE as a Planning Commission do nothing and allow the Town Center concept to die. Granted, it may be hard work to win converts to even exploring the idea of a TC concept. I honestly think that to back away is a dereliction of our duty.

I have some thoughts on things to incorporate in sketches of our "hybrid" plans. In no particular order:

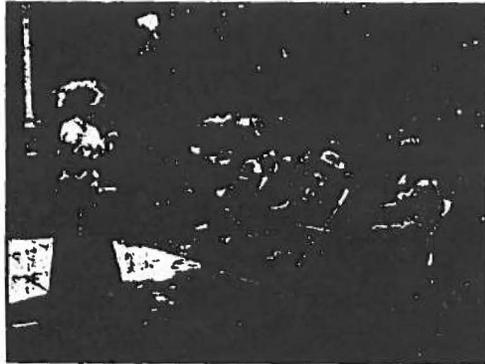
1. Re-align Dunlop Road to eliminate "blind spots" that are traffic hazards.
2. Include space for a new Community Center and a new post Office.
3. Create a large, shell-based parking area that can be shared with the library, City Hall and new Community Center.
4. Acquire the entire parcel between exists between Periwinkle, Dunlop, Pirate Playhouse, EMRH and the church.
5. Locate a new "satellite" Post Office to the site.
6. The Post Office must be a Florida-style structure and not just a nondescript "box".

Marie Gargano

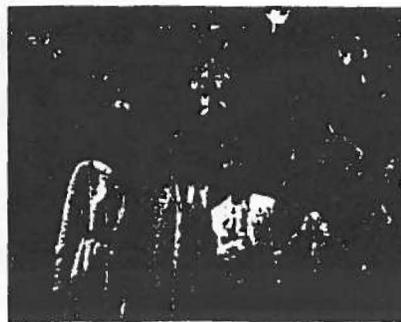
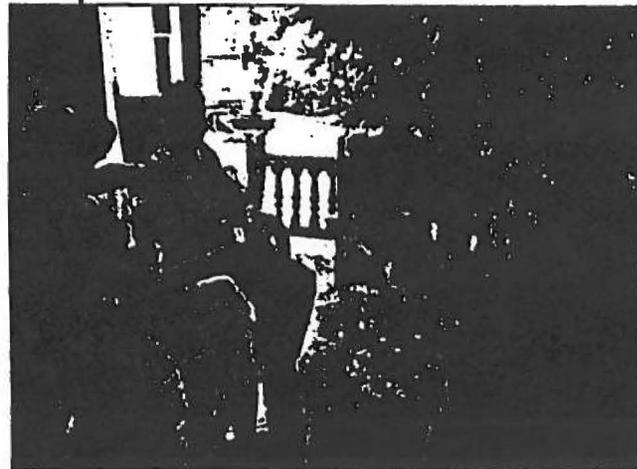
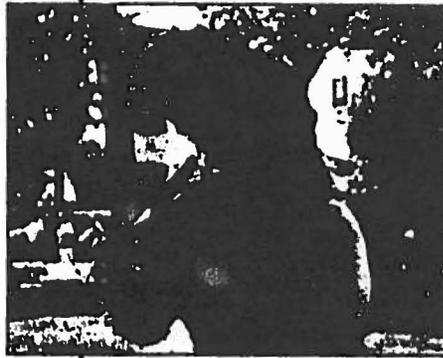


• Realign DUNLOP Rd to eliminate "blind spots"

# Belvidere's Victorian Days ~



This past weekend Belvidere Community members opened their doors to visitors from far and wide to celebrate the 13th annual Belvidere Victorian Days. The two day event gave visitors a glimpse of an era gone by. Clockwise from right, White Township resident Maria Dillenkofer takes a stroll through the park in her finery; Victorian Day committee members Natalie Goodman, left, Marianne Garcia, Earline Zeick and Becky Lucas participating in the event; lounging on the porch of one of the towns many Victorian homes Andrea Grabowski, left, Judie Burke, Connie Robinson and Kathy DeMarco sip tea together; Ladies Tea and Redoric Society founder Shenlei Winkler prepares to play a 'proper game of crochet'; Councilman John Leonardis, dressed in a period tux, made the announcements during the event; visitors attend a lecture on Victorian garb.



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Staff Photos By  
*Jacqueline Lindsay*

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**Sanibel Town Center**

October 1, 2000

The WRT Concept E<sub>1</sub> embodies to a large extent my vision of a Town Center for Sanibel. I think it is workable and well-conceived. In my opinion, their proposed parking pattern around the circle is excellent, however, I think it should be modified by Bruce's proposal to move the new/major portion of Community Association across Periwinkle to the parking lot shared with the theater and to expand somewhat the 200 space lot behind the theater near the traffic circle, eliminating the WRT proposed Community Association building. Parking would include spaces for vehicles & bicycles. The 2 smaller proposed buildings would serve as a possible civic building, a post office adjunct, & also offer accessible rest room facilities for the general public.

I'm particularly taken with the concept of the PARK fronting on Periwinkle, providing walking paths & benches & open space areas for public relaxation & recreation. The tree-lined walkways would provide ingress/egress from Periwinkle to the library, City Hall, BIG Arts & the Historic Village Museum. All parking areas would be greatly enhanced with vegetation. The Nave Park might feature some artwork with a statue of Bruce Rogers & Dick Downs shaking hands as the Saviors of Sanibel: Planners Who Led Sanibel Through the Greatest Periods of Development & Stress.

I would not encourage commercial development on the western, commercial border of the park except for several family-oriented restaurants similar to The Bean with expanded outdoor dining. I would prevent any other type of commercial or residential development. Some plan should be devised to extend walkways to permit pedestrians to utilize the shops on Palm Ridge Road, at The Village, etc.

I am not concerned with what Dick describes as "commercial sprawl" on Periwinkle. The clusters of shops, in large part, serve residents in different areas of the island. For example, the east end is served by The Lighthouse Center's convenience store(s), etc. As you move west the centers like Jerry's & The Heart of the Islands serve the many residences in that segment of the island, and there's Bailey's & Palm Ridge shops to serve the

west end of the island & Captiva. Periwinkle Place & Tahitian Gardens have a life of their own. Essentially we must prevent further commercial development along that corridor & utilize effectively all existing space which, in my opinion, is adequate to serve the needs of this small island. Lee County offers an example of excessive commercial development with many vacant mall/stores becoming community eyesores.

I feel compelled to add that I'm not convinced that the result will justify the expense & the effort to get community support, if indeed the required level of support can be achieved.

Phyllis Bogen

# 2000

*July 31, 2000* Plan for Community Design; Planning Department

*August 30, 2000* Town Center Concept

*October 10, 2000* Town Center Concept

*November 6, 2000* Town Center Materials; Planning Department

**PC MEETING 11/14/00  
AGENDA ITEM NO. 9**

**MEMORANDUM**

**To: Planning Commission**

**From: Planning Department**

**Date: November 6, 2000**

**RE: TOWN CENTER MATERIALS**

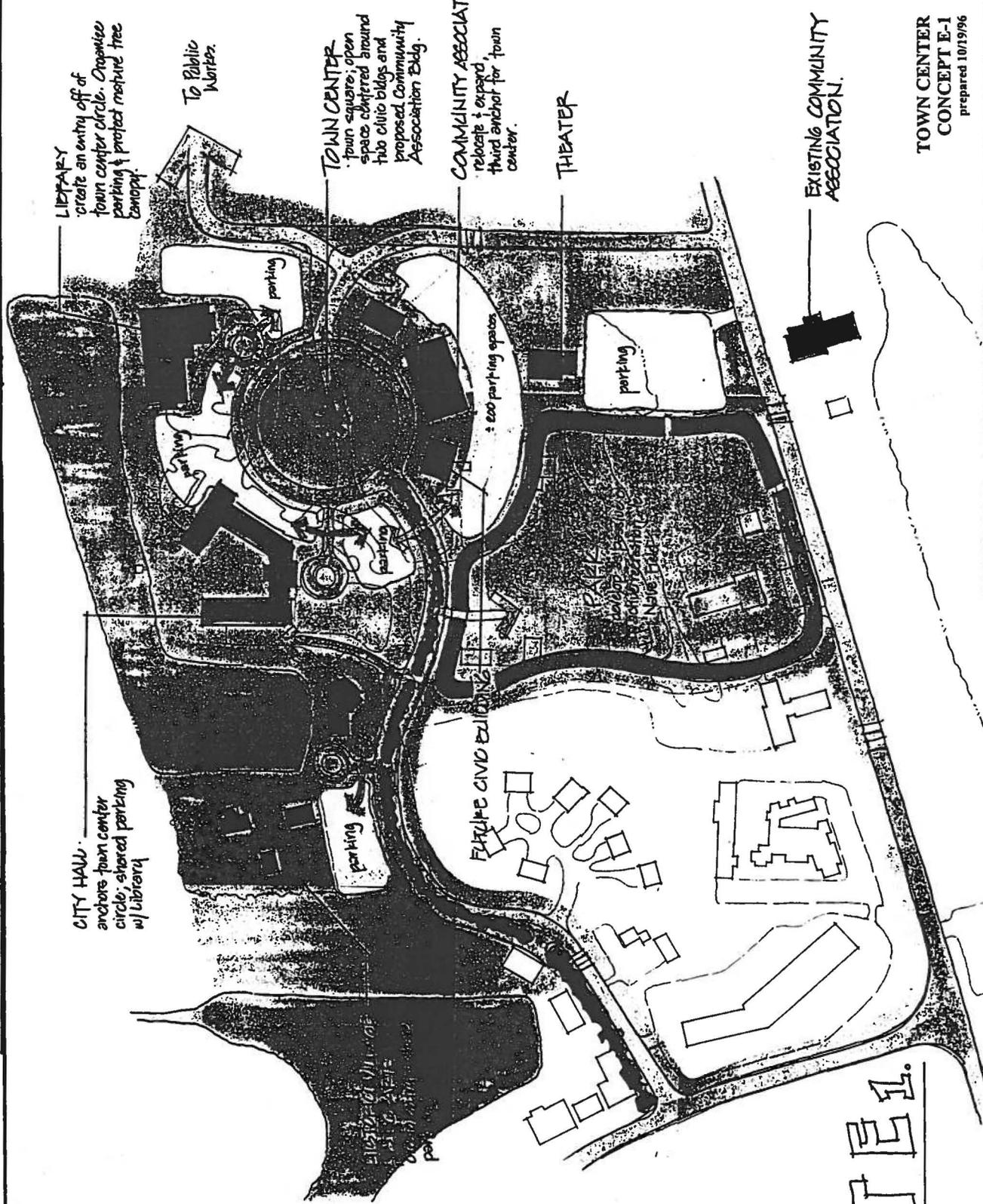
The following materials were prepared at the request of the Planning Commission:

- CONCEPT E1 – SANIBEL TOWN CENTER
- CONCEPT E1 – SANIBEL TOWN CENTER Showing PROPERTY LINES
- TOWN CENTER AREA Showing PROPERTY LINES
- TOWN CENTER AREA, including Town Center Commercial Districts Showing PROPERTY LINES

# SANIBEL TOWN CENTER

WRT  
 Wallace Roberts & Todd  
 Architects, Landscape Architects, Planners  
 9/26/96

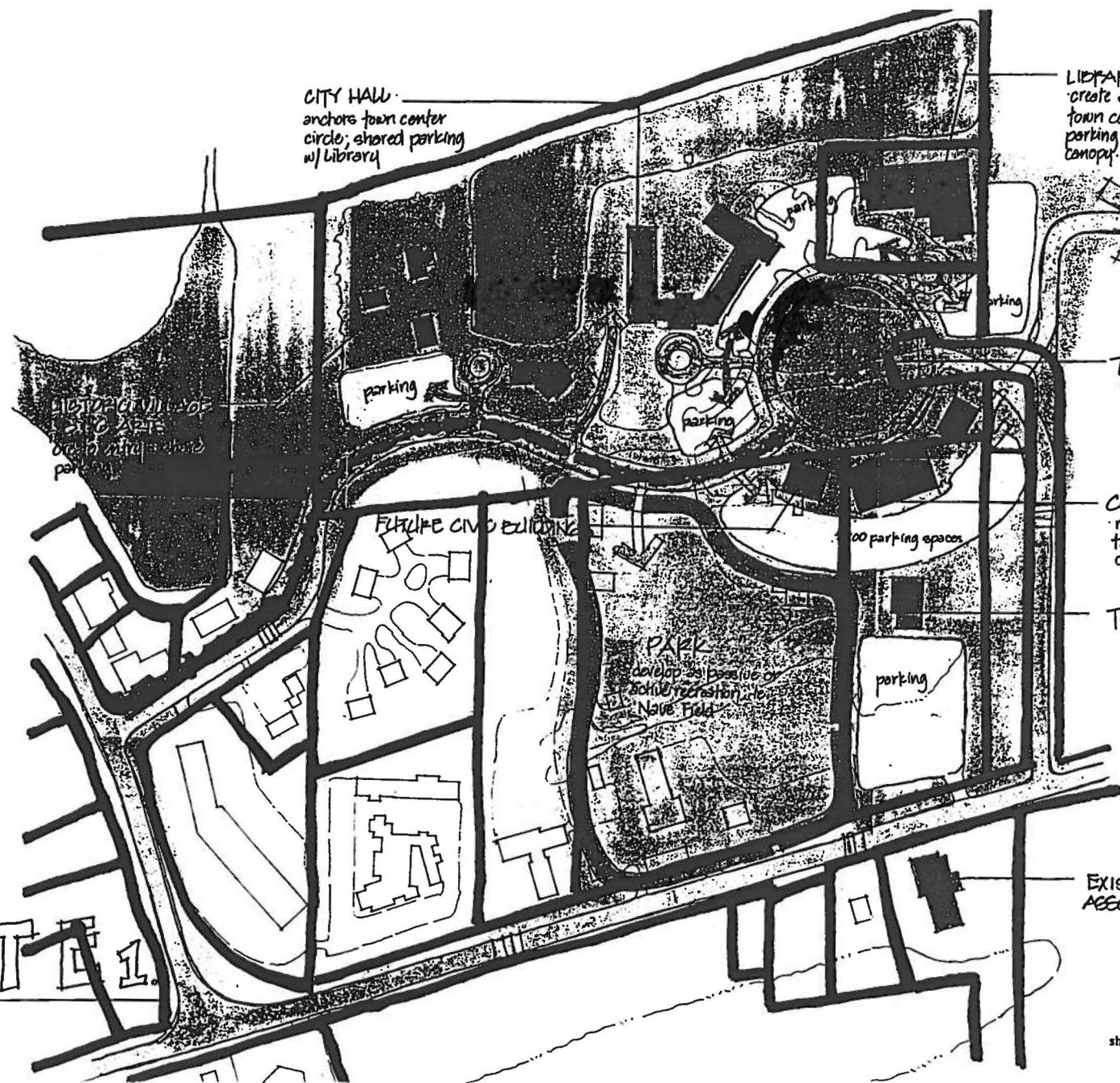
1" = 300'  
 9/26/96  
 Concept E-1



# CONCEPT E-1

TOWN CENTER  
 CONCEPT E-1  
 prepared 10/19/96

# SANIBEL TOWN CENTER



**CITY HALL**  
anchors town center circle; shared parking w/ library

**LIBRARY**  
create an entry off of town center circle. Organize parking & protect mature tree canopy.

To Public Works.

**TOWN CENTER**  
town square; open space centered around two civic bldgs and proposed Community Association Bldg.

**COMMUNITY ASSOCIATION**  
relocate & expand, third anchor for town center.

**THEATER**

**PARK**  
develop as passive or active recreation - Native Field

**HISTORIC VILLAGE**  
2500 APFS  
open to public - shared parking

**Future Civic Buildings**

100 parking spaces

parking

**EXISTING COMMUNITY ASSOCIATION**

CONCEPT E-1

**TOWN CENTER CONCEPT E-1**  
showing PROPERTY LINES

WRT  
Wallace Roberts & Todd  
Architects, Landscape Architects, Urban & Environmental Planners

DATE: 9/26/96  
12/19/96

1" = 300'

|             |  |
|-------------|--|
| Sheet No.   |  |
| Scale       |  |
| Author      |  |
| Check       |  |
| Drawn       |  |
| Project No. |  |







# City of Sanibel

Planning Department

**DRAFT**

## **PERIWINKLE WAY WEST COMMERCIAL DISTRICT**

**INFORMATIONAL MEETINGS  
July 16, 17, 18, 2007**

**Tentative Location – Sanibel Library**

1. City Council
  - July 17, 2007 Immediately after Council meeting lunch break
2. Planning Commission
  - July 16, 2007 or July 17, 2007 Morning or Lunch Workshop
3. Citizen, Property Owner and Business Owner Forums, Open House, Meetings
  - Businesses listed on Commercial Land Use Inventory
  - Work with Merribeth Farnham to provide notice to Sanibel residents and property owners
  - Individual meetings with owners of large properties
    - Bailey's Center (Richard Johnson, Sam Bailey, Frances Bailey)
    - Big Arts (Chuck Ketteman)
    - CHR (Scott Marcelais, Michael Cuscaden)
    - Post Office (Ken Rufo)
    - RLR Investments (Donald DeLuca, Lisa Bram)
    - Sanibel Community Association (Gloria Baker)
    - School House Theater (Art Cassell)
    - Sanibel Chamber of Commerce (Ric Base)
4. Interdepartmental Planning Team Meeting with WRT Consultant Team
  - July 16, 2007 – Directors and staff of the Planning Department, Public Works, Natural Resources, Police Department and CTR/REC/Seniors
5. Tours of Commercial District Planning Area
  - Representatives from WRT and the Planning Department
6. Briefing with the City Manager
7. Series of Meetings with Property Owners Within Focus Areas
  - Bailey Tract
  - Nave Property

**DRAFT**

**PERIWINKLE WAY WEST  
COMMERCIAL DISTRICT**

**INFORMATIONAL MEETINGS  
July 16, 17, 18, 2007**

| <b><u>JULY 16, 2007</u></b>                                       | <b><u>JULY 17, 2007</u></b>                                       | <b><u>JULY 18, 2007</u></b>                                       |
|---|---|---|
|   |   |   |
| Planning Commission – AM or Lunch Mtg.<br>or                      | City Council – After lunch break                                  |   |
|   | → Planning Commission – AM or Lunch Mtg.                          |   |
| Citizen, Property Owner and Business<br>Owner Forum or Open House | Citizen, Property Owner and Business<br>Owner Forum or Open House | Citizen, Property Owner and Business<br>Owner Forum or Open House |
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|   |   |   |
| Meetings with Property Owners Within<br>Focus Areas               | Meetings with Property Owners Within<br>Focus Areas               | Meetings with Property Owners Within<br>Focus Areas               |



[draft]  
**KEY STAKEHOLDERS  
FOR THE  
PERIWINKLE WAY WEST  
COMMERCIAL DISTRICT PLAN**

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**Bailey's PUD Focus Area**

Bailey's General Store – Richard Johnson, Sam Bailey, Francis Bailey  
RLR Investments – Donald DeLuca, Lisa Bramm  
Island Cinema – Shelly Kaplan  
Lily & Co. – Karen Bell  
Sanibel Post Office – Ken Rufo  
Timbers Center – Matt Asen

**Sanibel Square/Nave Property Focus Area**

Sanibel Square – Chuck & Goldie Nave, Roger Tabor  
Sanibel Community Association  
The Schoolhouse Theater – Art Cassell  
Sanibel Public Library – Pat Allen  
BIG Arts – Chuck Ketteyman

**Other**

CHR – Scott Marcelais; Michael Cuscaden  
Sanibel Captiva Chamber of Commerce – Ric Base  
Forever Green Center – Joe Cimato  
Periwinkle Place – Ben Dahlmann  
SWF Land Management, Inc.  
TEG Florida Investments, LLC.

**City of Sanibel**

Judie Zamora, City Manager  
Robert Duffy, Planning Director  
Gates Castle, Public Works  
Rob Loflin, Natural Resources  
Helene Phillips, Parks & Recreation  
Bill Tomlinson, Police



# City of Sanibel

Planning Department

**DRAFT**

## **PERIWINKLE WAY WEST COMMERCIAL DISTRICT**

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**DRAFT**

**PERIWINKLE WAY WEST  
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City of Sanibel

# *Commercial District Plan*



# Wallace Roberts & Todd

*Urban Design*



# *Wallace Roberts & Todd*

*Architecture*



# *Wallace Roberts & Todd*

*Landscape Architecture*



# *Wallace Roberts & Todd*

*Environmental &  
Urban Planning*



RERC

**Celebrating 20+ years  
of building community**

*Community Economic Development Services*

*Community Redevelopment and Planning Services*

*Market Research and Feasibility Studies*

*Residential Development Services*

# WRT Team



*Alyn Pruett AIA  
Principal in charge*



*Michael DelGiudice ASLA  
Project Manager*

# WRT Team



*Silvia Vargas AICP  
Planner*



*John Fernsler AIA  
Senior Planner*



*Carrie Steinbaum ASLA  
Landscape Architect*



*Gerald Marston FASLA  
Senior Landscape  
Architect*

## *Agenda*

*Understanding the Sanibel Plan and Vision*

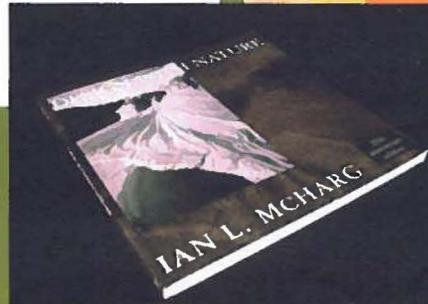
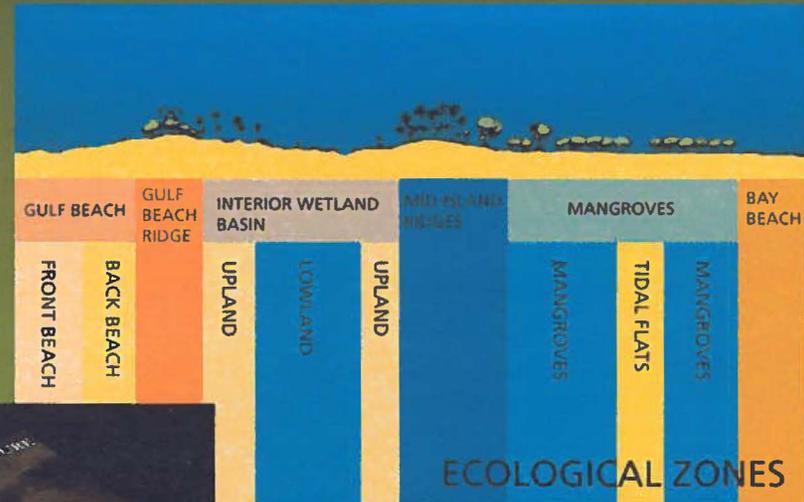
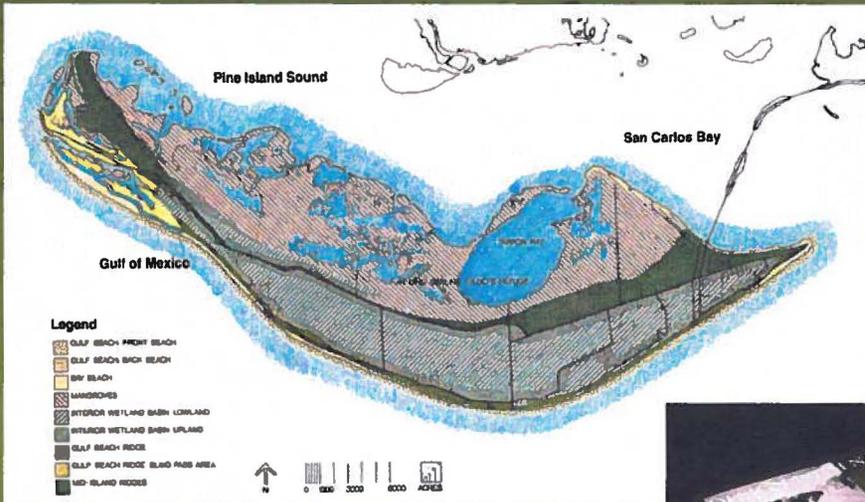
*Understanding District Objectives and New Regulations*

*Relevant Experience*

*Community Participation*

*Work Program and Schedule*

# Sanibel Plan



**The Sanibel Plan: Alive And Well At The Age Of 30**

**Sanibel Island** — The set of challenges, under our guidance, has the third anniversary this day — again in the anniversary year (March 15, 1982) — the Sanibel Plan. It is the anniversary of the day that the Sanibel Plan was adopted by the Sanibel Island Commission. It is the anniversary of the day that the Sanibel Plan was adopted by the Sanibel Island Commission. It is the anniversary of the day that the Sanibel Plan was adopted by the Sanibel Island Commission.

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# *Sanibel Vision Statement*

*Barrier Island Sanctuary*

*Small Town Community*

*Diversity      Beauty  
Uniqueness    Character  
Stewardship*

*Resist pressure to accommodate visitor attractions*



# District Objectives

## *Overarching Objectives*

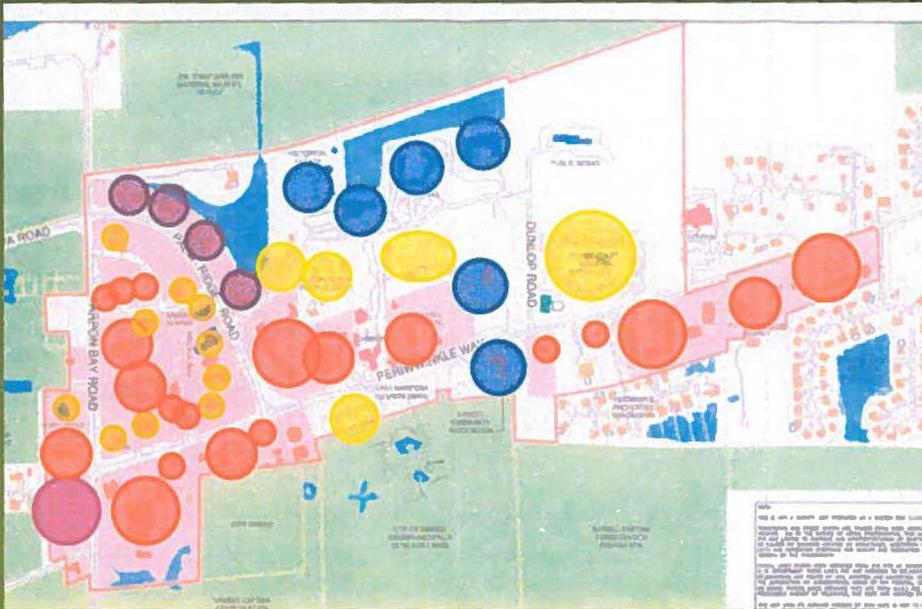


*"Provide a specific, . . . sustainable plan that will guide and support short and long term preservation, improvement and redevelopment of commercial properties consistent with the Sanibel Plan."*

*"Provide a clear and illustrated vision. . . ."*

# District Objectives

## Land Use



"Define specific opportunities for alternative land uses, including medical and other professional and related services necessary to serve Sanibel's residents and seasonal population."

"Resist the accommodation of "visitor attractions and activities that compromise the the Island's unique sanctuary"

"Provide opportunities for a wide range of Sanibel based cultural and art facilities"

"Define plan to guide governmental, civic, arts and cultural use improvements"

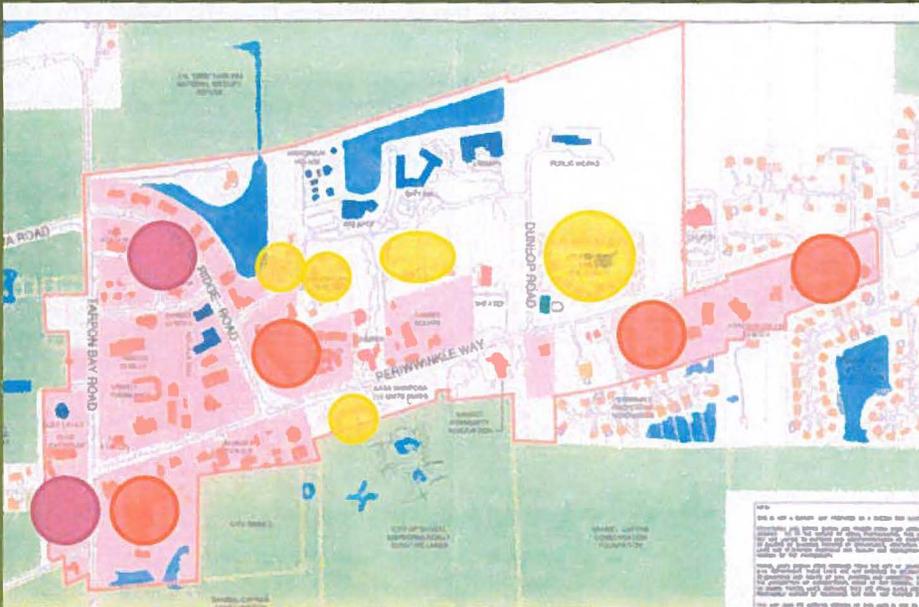
# District Objectives

## Redevelopment

"Introduce opportunities for mixed use"

"Include opportunities for market rate and below market rate housing"

"Define specific priority redevelopment opportunity areas"



# District Objectives



## Character and Quality

"Maintain and enhance the Island's 'small town community' character"

"Provide a unified open space and native landscape environment that will improve and expand greenways and habitat connectors – reinforce Periwinkle Way Corridor Restoration Master Plan"



Create design guidelines – pattern book, parking, special events, site design, landscape

# District Objectives



## *Access and Circulation*

*"Create a true pedestrian and bicycle oriented environment consistent with the sanctuary and barrier island characteristics of Sanibel!"*

*Create a plan for improved pedestrian and bicycle circulation*

*Opportunities for alternative forms of transportation to reduce auto trips*



# District Objectives

## *Economic*



*"Define specific economic and regulatory strategies that will enable the retention of locally-owned small businesses."*

*"Reinforce the Island's environmentally based commercial market and economic base."*

# *New Regulations*

## *Amendments to Commercial District Zoning Town Center General Commercial District*

*"... provide for commercial and mixed - use development in the geographic center of the City."*

*"preferred location for retail and mixed use development and therefore higher floor area ratios are permitted."*

*12 % vs. 10 %*

*Maximum height of 45 feet*

*Total floor area of all permitted formula retail = 50,000 sf*

*Maximum size of commercial / retail buildings = 6,000/2,000 sf*

*Commercial units shall not exceed 50 linear feet in width*

# Regulations

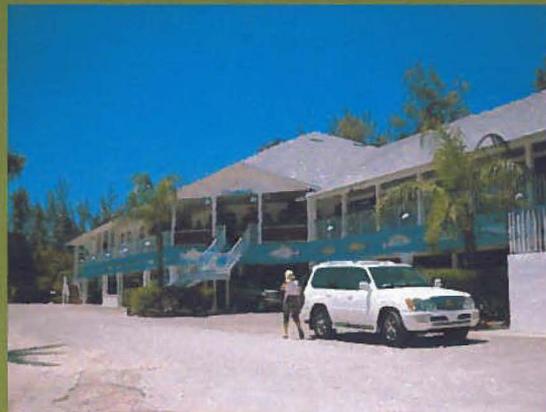
## *Architectural Standards for Commercial Buildings*

*Reduce apparent scale of large buildings*

*No monolithic appearance*

*Provide Visual Interest*

*Break up large facades*



# Regulations

## Architectural Standards for Commercial Buildings Additional Guidance?

Roof form, material and color – gable, hip and gable

Column form and materials

Railings

Exterior wall materials and colors

Awnings, canopies

Signs



# Regulations

## Site Planning Standards for Commercial Buildings

Location and design of off-street parking  
Off street loading location, screening  
Site access and internal circulation  
Landscaping, buffering and screening



# Regulations

*Site Planning Standards for Commercial Buildings*  
*Additional Guidance?*  
*Stormwater management*  
*Shape and character of parking areas*

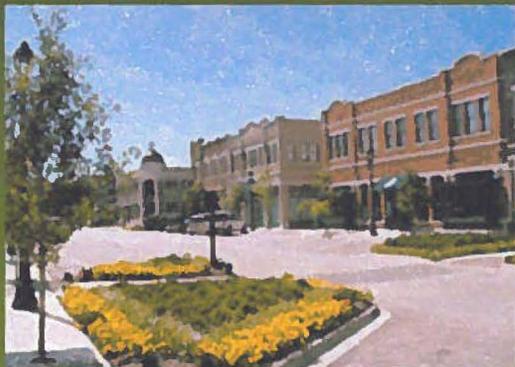


# Regulations



# WRT Strengths

## *Planning for Exceptional Communities*



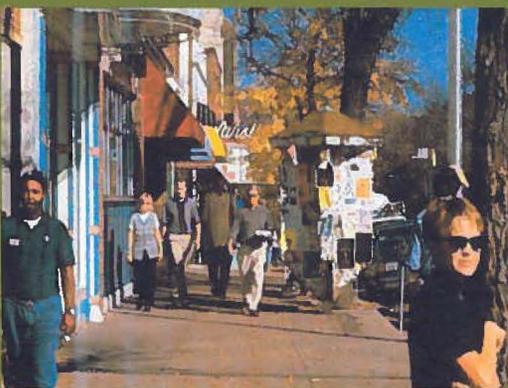
Flower Mound, TX



Village of East Hampton, NY



Sanibel Island, FL



Town of Chapel Hill, NC



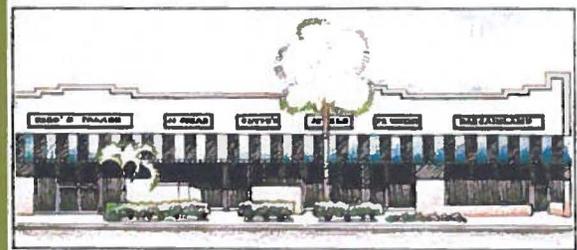
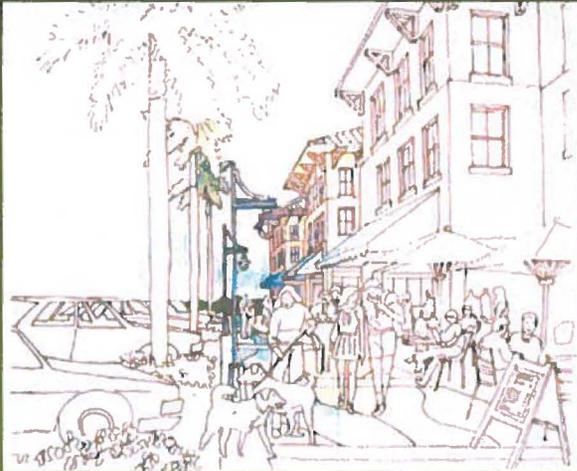
Palm Beach, FL



Annapolis, MD

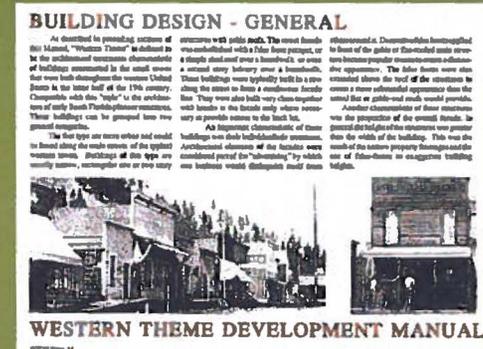


# WRT strengths



## Design Guidelines

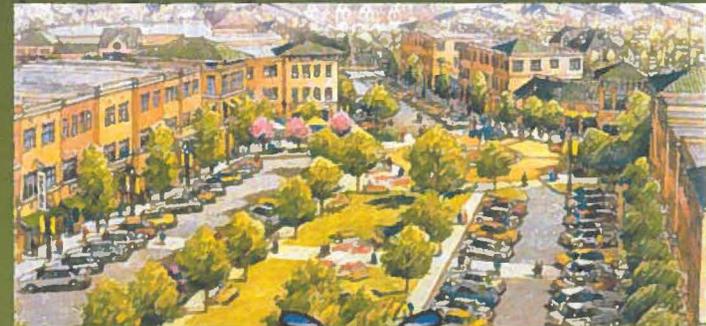
- City of Hollywood Commercial Renovation Design Guidelines
- Town of Davie Western Theme Design Guidelines
- City of Parkland Commercial Design Guidelines
- Town of Manalapan Residential Design Guidelines
- Estero Island Redevelopment Area
- Saint Augustine Corridors



# Design Guidelines

## Village of East Hampton Village Center Commercial Design Guidelines

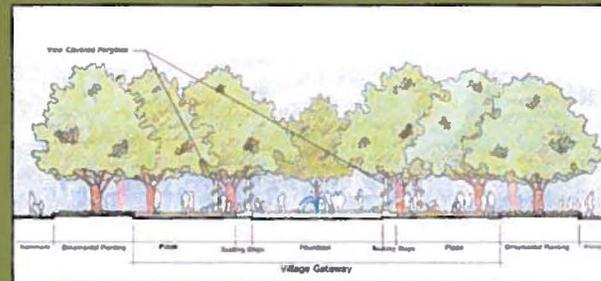
- Mixed use
- Wider choice of (affordable) housing types
- Higher design / quality standards
- Sustainable development (green design, walkable, land use / transportation interface)



# Design Guidelines

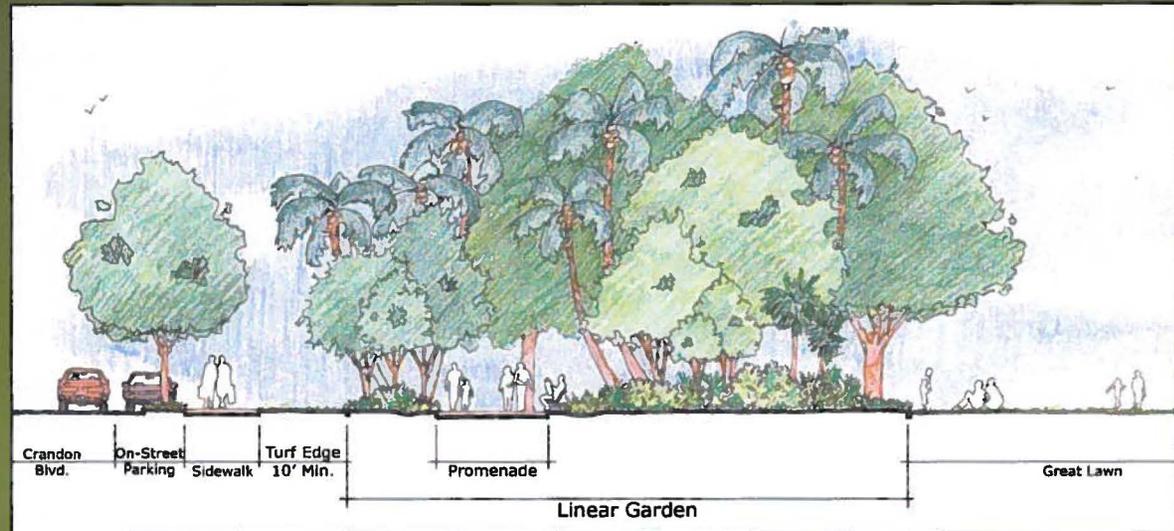
*Village of Key Biscayne*

*Village Gateway creates strong visual gateway to Village Main Street*

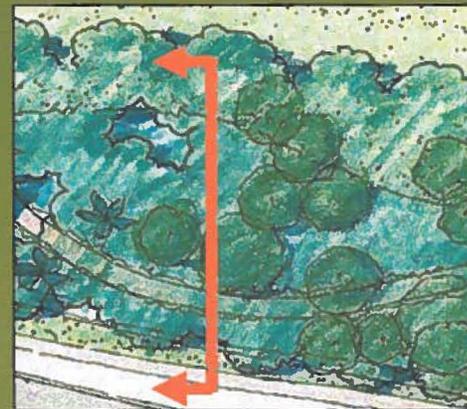


# Design Guidelines

Village of Key Biscayne



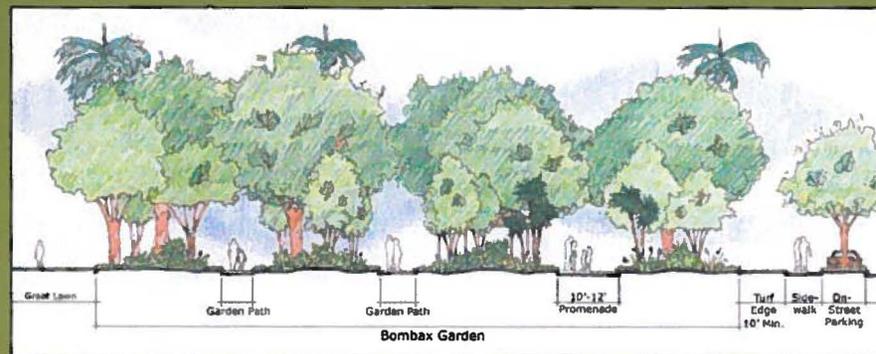
Promenade and Linear Garden



# Design Guidelines

Village of Key Biscayne

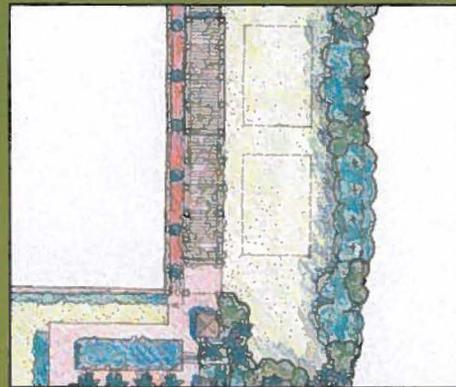
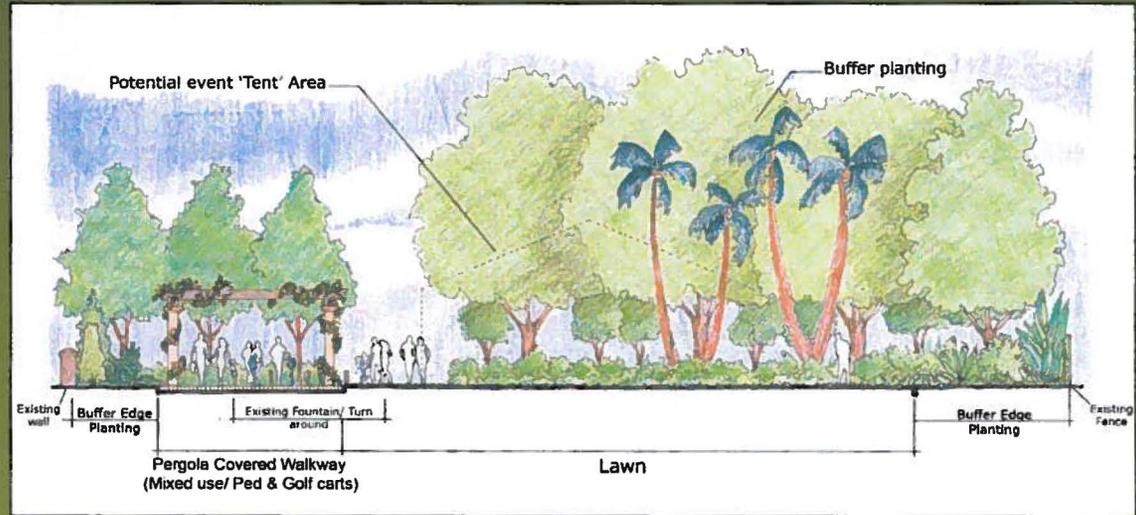
Sanctuary Garden



# Design Guidelines

Village of Key Biscayne

*Access walk and event lawn*



# Design Guidelines

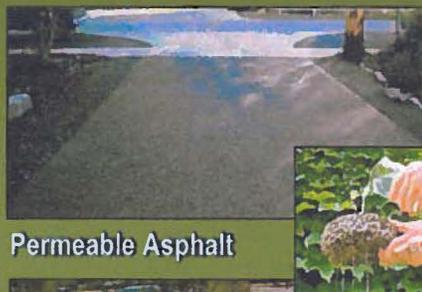
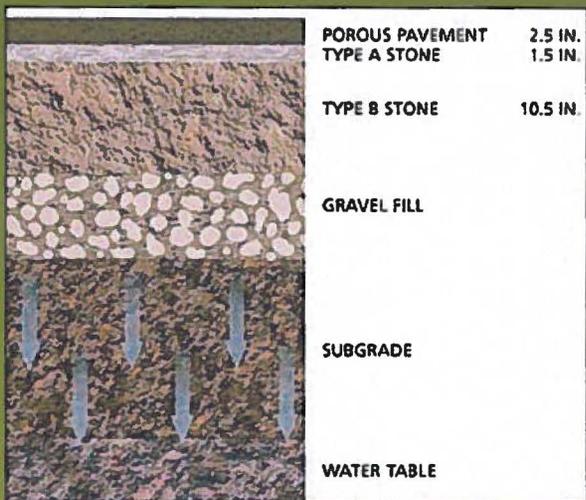
## Village of Key Biscayne Stormwater management



Turf Pavers



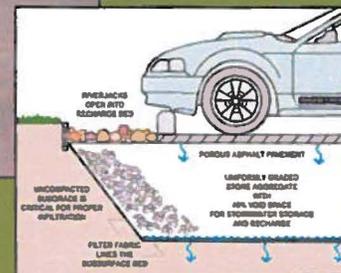
Uni Eco-Stone  
Pavers



Permeable Asphalt



Permeable  
Pavers



# Design Guidelines

## Village of Key Biscayne

## Plant Palette

| VILLAGE OF KEY BISCAYNE LANDSCAPE MASTER PLAN - DRAFT |   |            |                   |                |                   |             |             |                  |               |               |                |                            | LANDSCAPE TYPES |                           |                      |       |                  |                     |     |                     |             |     |       |
|---|---|------------|-------------------|----------------|-------------------|-------------|-------------|------------------|---------------|---------------|----------------|----------------------------|-----------------|---------------------------|----------------------|-------|------------------|---------------------|-----|---------------------|-------------|-----|-------|
| PRELIMINARY SUGGESTED PLANT SPECIES                   |   |            |                   |                |                   |             |             |                  |               |               |                |                            | Village Green   |                           | Village Civic Center |       |                  | Parks & Vista Parks |     | Medians & Corridors |             |     |       |
| LARGE HARDWOOD TREE PLANT SCHEDULE                    |   |            |                   |                |                   |             |             |                  |               |               |                |                            | Village Green   | Special Garden/Paved Area | Sun                  | Shade | Community School | Village Beach Park  | Sun | Shade               | Streetscape | Sun | Shade |
| PLANT SPECIES   |   | PLANT DATA |                   |                |                   |             |             |                  |               |               |                |                            | 1               | 2                         | 3                    | 4     | 5                | 6                   | 7   | 8                   | 9           | 10  | 11    |
| Common Name   | Botanical Name                                    | Native     | Drought Tolerance | Salt Tolerance | Light Requirement | Growth Rate | Mature Size | Flowering Season | Flower        | Fragrance     | Plant Type     | Additional Characteristics |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Verwood   | <i>Bulnesia arborea</i>                           | No         | High              | Low            | High              | Medium      | 30'         | Sp, S, F         | Yellow-orange | Insignificant | Evergreen      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Dumbo Limbo   | <i>Suriana surarobe</i>                           | Yes        | High              | High           | Medium            | Fast        | 40' x 30'   | Sp               | Green         | Insignificant | Semi-Deciduous | Attractive Bark            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Golden Shower Tree                                    | <i>Cassia fistula</i>                             | No         | Medium            | Medium         | High              | Fast        | 35'         | S                | Yellow        | Insignificant | Deciduous      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Flora Silk Tree                                       | <i>Chorisia speciosa</i>                          | No         | High              | Medium         | High              | Fast        | 45'         | F                | Pink          | Insignificant | Deciduous      | Spony                      |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Redbreast   | <i>Chrysophyllum oliviforme</i>                   | Yes        | High              | Medium         | High              | Slow        | 30' x 20'   | F                | Yellow        | Insignificant | Evergreen      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Albograph Tree  | <i>Citrus rosea</i>                               | No         | High              | High           | High              | Slow        | 30' x 25'   | S                | Pink-White    | Insignificant | Evergreen      | (Potential Aerial Roots)   |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Seagrape  | <i>Coccoloba uvifera</i>                          | Yes        | High              | High           | Medium            | Medium      | 30' x 25'   | S                | White         | Insignificant | Evergreen      | Attractive Bark, Fruit     |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Butterwood, Silver                                    | <i>Conocarpus erectus</i> var. <i>serotinus</i>   | Yes        | High              | High           | High              | Medium      | 35' x 25'   | Sp, S, F, W      | White         | Insignificant | Evergreen      | Shiver Foliage             |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Butterwood, Green                                     | <i>Conocarpus erectus</i>                         | Yes        | High              | High           | High              | Medium      | 35' x 25'   | Sp, S, F, W      | White         | Insignificant | Evergreen      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Royal Poinciana                                       | <i>Delonix regia</i>                              | No         | High              | Medium         | High              | Fast        | 40' x 60'   | Sp, S            | Red-Orange    | Insignificant | Deciduous      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Coral Tree  | <i>Erythrina variegata</i> var. <i>orientalis</i> | No         | High              | Medium         | High              | Fast        | 60'         | Sp               | Red           | Insignificant | Deciduous      | Spony                      |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Short-Leaf Fig  | <i>Ficus citrifolia</i>                           | Yes        | High              | Medium         | High              | Fast        | 45'         | Na               | Na            | Na            | Evergreen      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Billy   | <i>Guajacum discolor</i>                          | Yes        | High              | High           | High              | Medium      | 30' x 40'   | Sp, S            | Green-Yellow  | Insignificant | Evergreen      | Attractive Bark            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Wild Tamarind   | <i>Lydenia latifolia</i>                          | Yes        | High              | High           | High              | Medium      | 50' x 40'   | Sp, S            | White         | Strong        | Evergreen      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Screw Pine  | <i>Pandanus utilis</i>                            | No         | High              | High           | High              | Slow        | 25'         | Sp, S, F, W      | Yellow        | Insignificant | Evergreen      | Specimen                   |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Jamaica Dogwood                                       | <i>Piscidia piscipia</i>                          | Yes        | High              | High           | Medium            | Fast        | 40' x 25'   | Sp               | Purple-White  | Mild          | Deciduous      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Live Oak  | <i>Quercus virginiana</i>                         | Yes        | High              | High           | High              | Medium      | 60' x 40'   | Sp               | Green         | Insignificant | Evergreen      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Mastic  | <i>Stenoxylon foetidissimum</i>                   | Yes        | High              | Medium         | Medium            | Medium      | 45' x 30'   | Sp, S, F, W      | Yellow-Green  | Medium        | Evergreen      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Paradise Tree   | <i>Stenochlaena glauca</i>                        | Yes        | High              | Medium         | Medium            | Medium      | 60' x 30'   | Sp               | Yellow        | Insignificant | Evergreen      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Bluhogony   | <i>Syzygium smayoni</i>                           | Yes        | High              | Medium         | Medium-High       | Fast        | 50' x 40'   | Sp               | Green-Yellow  | Insignificant | Evergreen      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Pink Trumpet Tree                                     | <i>Tapebaea heterophylla</i>                      | No         | High              | Medium         | High              | Medium      | 50' x 40'   | Sp               | Pink-Purple   | Insignificant | Evergreen      |                            |                 |                           |                      |       |                  |                     |     |                     |             |     |       |
| Cypress, Bald   | <i>Taxodium distichum</i>                         | Yes        | High              | Medium         | Medium-High       | Medium-Fast | 80' x 25'   | Sp               | Na            | Na            | Deciduous      | Conifer                    |                 |                           |                      |       |                  |                     |     |                     |             |     |       |

# VEGETATION: Large Trees

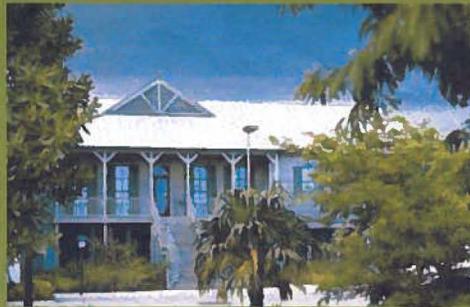
# Implementation

## *Estero Island Redevelopment Plan and Times Square Design*



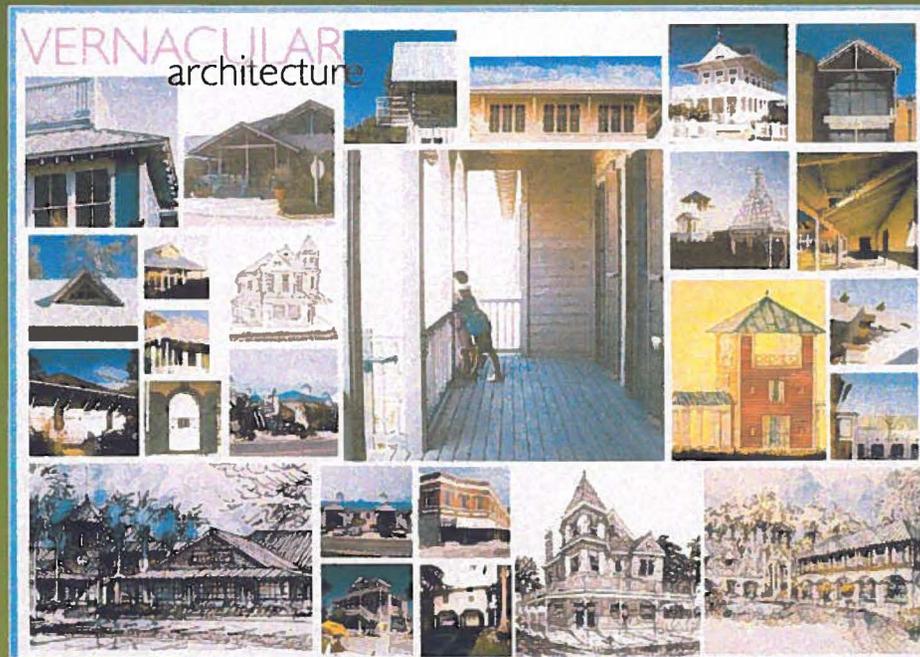
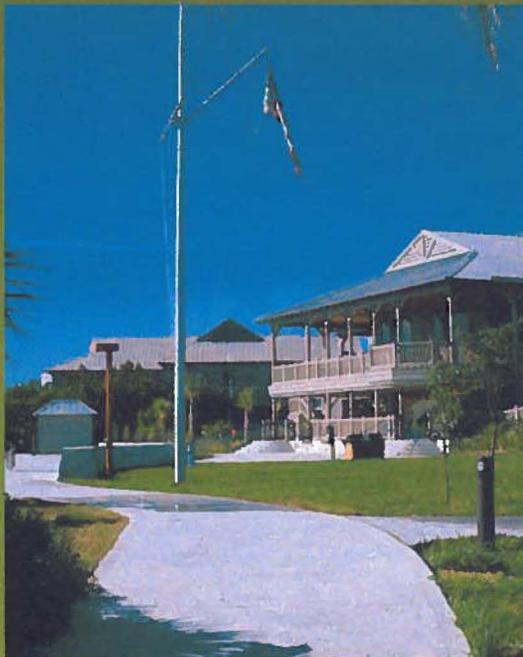
# Implementation

## Architectural Design Biscayne National Park



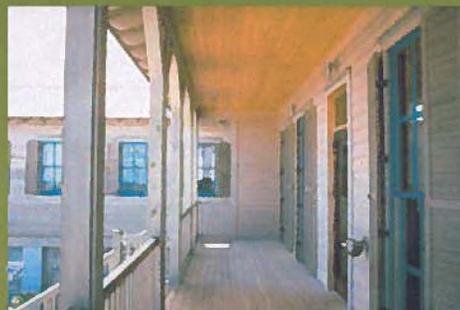
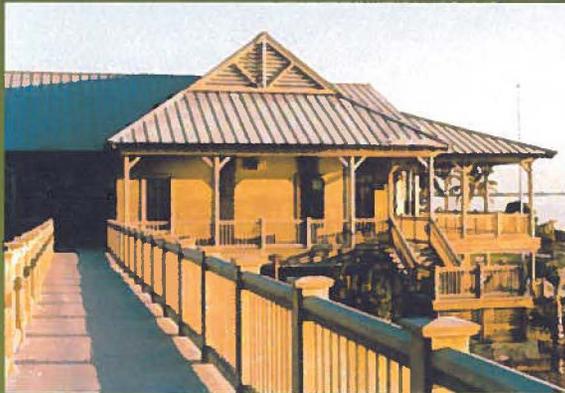
# Implementation

## Vernacular Architecture Biscayne National Park



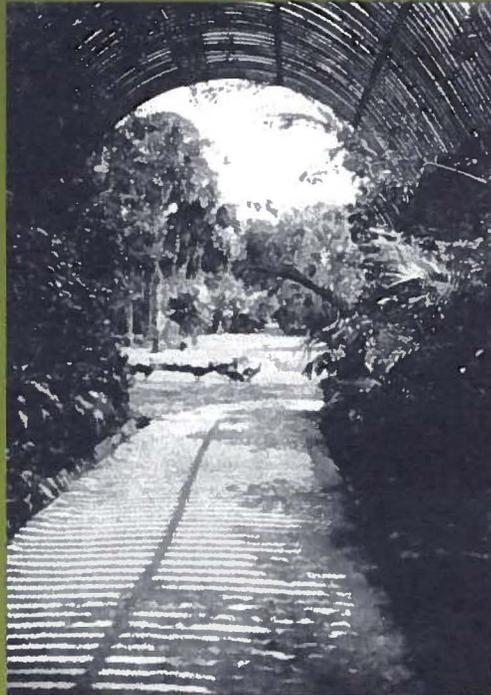
# Implementation

## Architectural Design Biscayne National Park



# Implementation

*Architecture and Landscape Architectural Design  
McKee Botanical Garden*



# Implementation

## McKee Botanical Garden



# Public Participation Process

## Phase 1:

City Council Orientation Meeting  
Stakeholder Interviews



## Phase 2:

Community Forum 1 - Vision  
Community Forum 2 - Alternative Concepts  
City Council/ Planning Commission Workshop (s)

## Phase 3:

Community Forum 3 - Preliminary Plan  
Planning Commission and City Council Presentations  
Other  
Internet                      Mailings                      Surveys

# *Preliminary Schedule*

*Phase 1: Project Parameters Definition  
May – October 2007*

*Phase 2: Vision, Concepts and Strategy  
November 2007 – February 2008*

*Phase 3: Plan Documentation  
February – May 2008*

*Adoption Process  
Late Spring / Summer 2008*

*End*



# City of Sanibel

Planning Department

Preliminary – For Discussion Only

**Periwinkle Way West District Plan  
Focus Area A (Nave Property)  
2240 Periwinkle Way (Tax Parcel No. 26-46-22-T2-00009.0000)**

Source: Planning Department  
October 2007

## A. EXISTING CONDITIONS:

- |  |   |
|--|---|
| <b>1. Parcel Size</b>  | 9.6 Acres   |
| <b>2. Ecological Zones</b>   | Lowland Wetlands<br>Upland Wetlands<br>Mid Island Ridge   |
| <b>3. Development Intensity</b><br><i>(See LDC Section 126-976 Applicability of regulations to parcels ... with varying residential densities)</i> | 4.0 DUs/Ac or 1 DUs/.25 Acres<br>2.2 Dus/Ac or 1 DUs/.45 Acres<br>0.3 Dus/Ac or 1 DUs/3.34 Acres  |
| <b>4. Existing Land Uses</b><br>Residential<br>Commercial  | 3 Single Family Residential Units<br>17,100 Square Feet Commercial Floor Area<br>Sanibel Square Center  |
| <b>5. Commercial Zones</b>   | Town Center General (TCG)<br>- 5.4 Acres<br>- 12% Floor Area Ratio  |
| <b>6. Permitted Land Uses</b><br>Residential<br><br>Commercial   | Single Family and Two Family<br>Multi-Family (within 400' of Periwinkle Way and not in Lowland Wetlands Zone)<br>Cluster Housing (See LDC Section 86; Art III; Div 3)<br>Below Market Rate Housing<br>All Permitted Commercial Uses (See LDC Ch 126; Art VIII Permitted & Conditional Uses) |

## B. PERMITTED DEVELOPMENT

- |   |  |
|---|--|
| <b>1. Residential</b><br>5.4 Acres @ 4.0 Dus/Acre<br><br>4.2 Acres @ 0.3 DUs/Ac & 2.2 DUs/Ac<br>Total (See LDC Section 126-976) | 20 - 21 DUs<br><br>7 - 8 Dus<br>27 - 29 Dwelling Units                               |
| <b>2. Commercial</b>  | 28,000 Sq. Ft.<br><i>(See LDC Ch 126; Art VIII Permitted &amp; Conditional Uses)</i> |
| <b>3. Combined Residential &amp; Commercial (Conditional Use)</b>   | <i>(See LDC Section 126.87)</i>  |



J.N. DING NATIONAL  
WILDLIFE REFUGE

City of Sanibel

# Periwinkle Way West Commercial District Plan

## Addendum I: Phase I: Existing Conditions and Opportunities and Constraints

prepared by:  
WRT, LLC

with:  
RERC

October 2007

CAPTIVA SANIBEL ROAD

LAMPON INN ROAD

PALM RIDGE ROAD

SANIBEL GARDENS  
PRESERVE

ISLAND INN ROAD

MARIE FISHER  
CHAIG TRACK

SANIBEL CAPTIVA CONSERVATION  
FOUNDATION LANDS

# **TABLE OF CONTENTS**

**Introduction and Context**

**Existing Conditions Analysis**

**Opportunities and Constraints**

**Focus Areas**

**Focus Area A**

**Focus Area B**

**Focus Area C**

**Focus Area D**

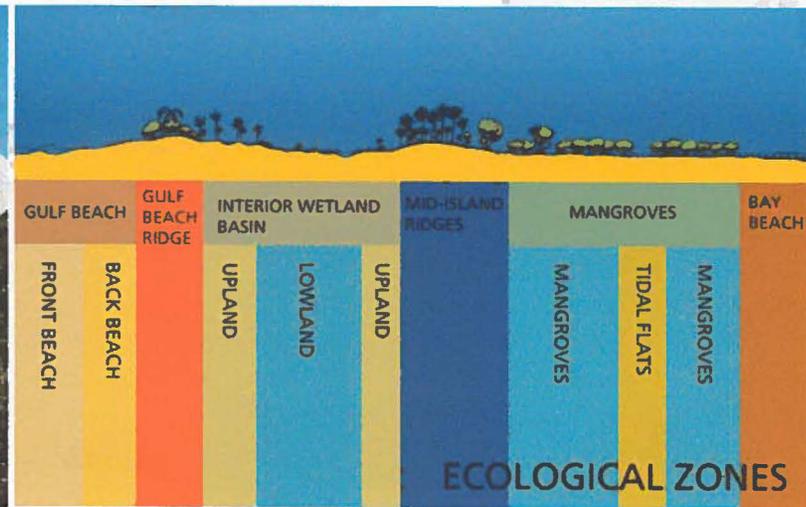
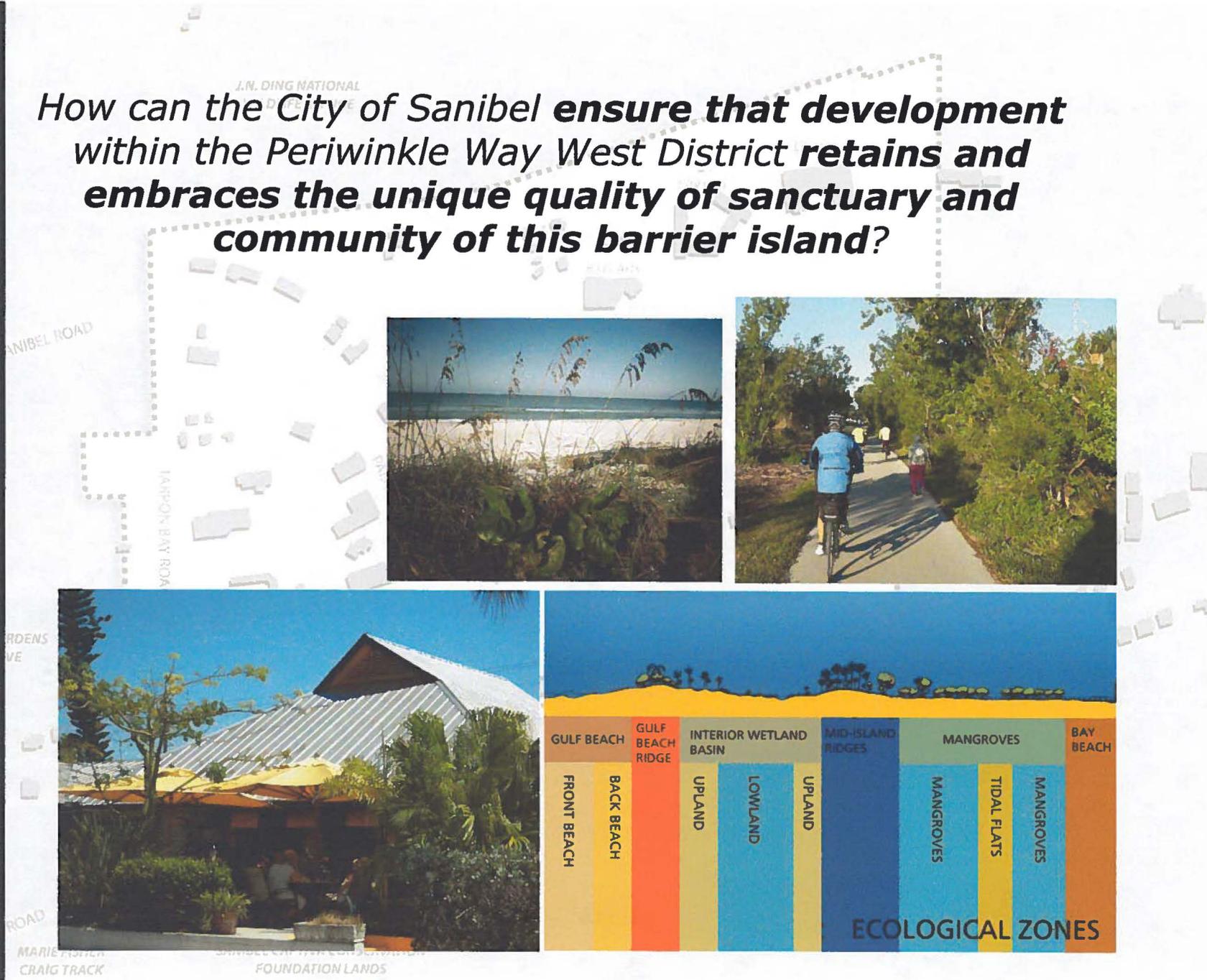
**Focus area A Organizational Options**



# INTRODUCTION AND CONTEXT

Introduction

*How can the City of Sanibel ensure that development within the Periwinkle Way West District retains and embraces the unique quality of sanctuary and community of this barrier island?*



*The primary purpose of the Periwinkle Way West District Plan is to:*

*Insure that the answer to the previous question is **consistent with the goals and objectives established in the City's***

**1976 Sanibel Comprehensive Plan**  
*and*  
**1997 Sanibel Vision Plan**

*Answer must represent a **broad-based community consensus** solution resulting from a highly engaged process*

## The Periwinkle Way West District Plan Phase I is comprised of four tasks:

- **Task One: Project Initiation.** *This task included a fine-tuning of the project scope and schedule, and the collection of relevant data, documents, and previous planning studies provided by the City of Sanibel.*
- **Task Two: Public Engagement.** *This task engaged the Sanibel Island community in a variety of forums to document the full breath of public issues and common concerns.*
- **Task Three: Existing Conditions Analysis and Opportunities and Constraints.** *This task included an examination of current District physical and regulatory conditions, a summary of district opportunities and constraints, and the development of organizational options for select focus areas.*
- **Task Four: Presentation of Findings to Community.** *This task will provide an opportunity for the community to review and comment on the summary findings.*

**Continuous and substantial community participation** is crucial to a successful outcome of this planning effort...

**City of Sanibel residents, cultural and institutional organizations, and business owners participated through the following opportunities:**

- Dialogue with the planning team during two full-day open house forums held on July 17-18, 2007;
- Responding to a questionnaire available at City Hall, the City's website, and in the local newspapers;
- Email of comments, suggestions and concerns; and
- In City Council and Planning Commission meeting 'public comment' periods.

**City of Sanibel City Council:** consultant team made a project kick-off presentation to the City Council on July 17, 2007.

**City Planning Commission:** consultant team presentation of project progress report to the City's Planning Commission on August 28, 2007.

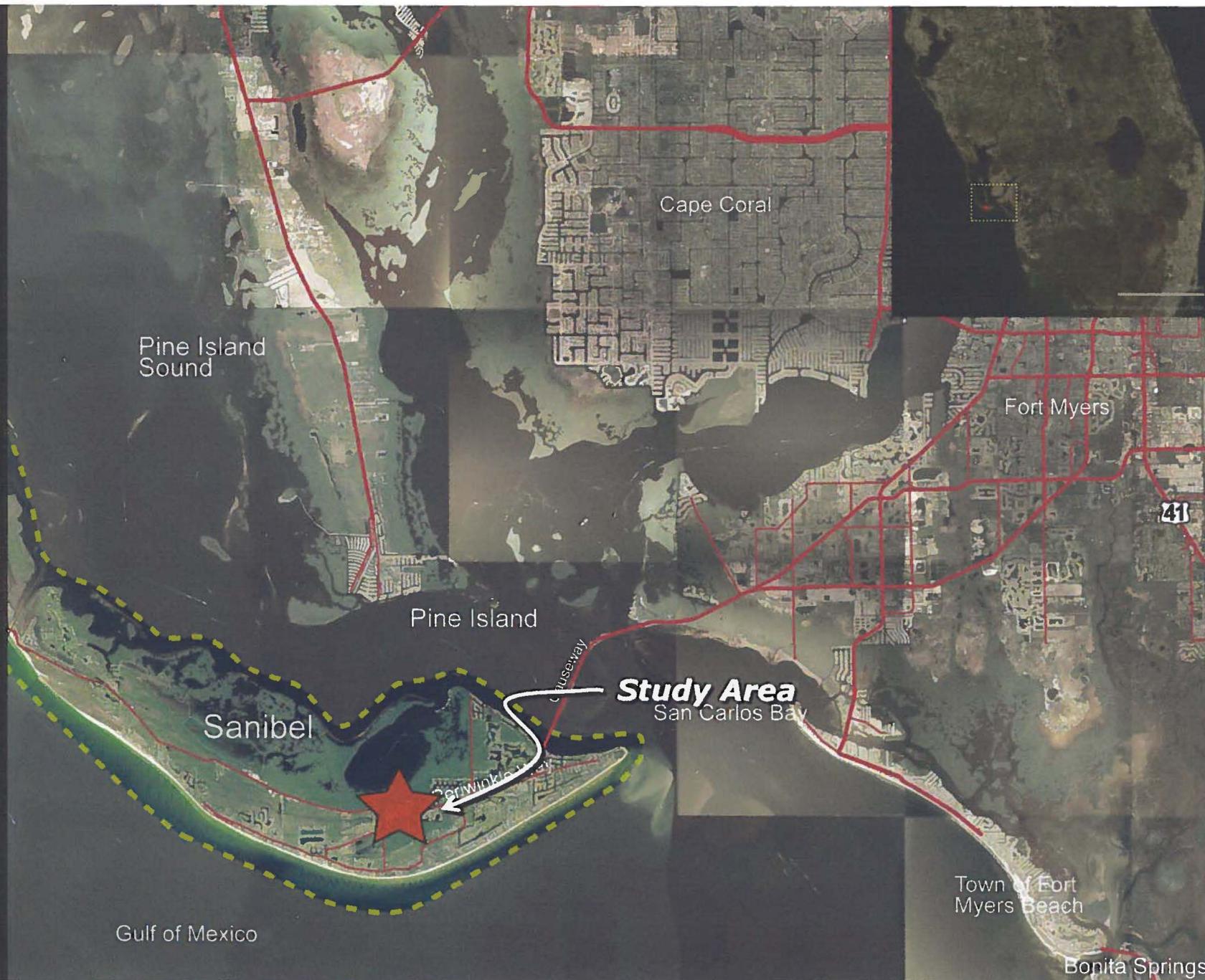
**Stakeholder Interviews:**

- Over the three day period of July 17, 18, and 19, 2007, the consultant team interviewed a wide range of community stakeholders, from City elected and appointed officials, to District property owners, to cultural and institutional directors.



# EXISTING CONDITIONS ANALYSIS

# REGIONAL CONTEXT



Pine Island Sound

Cape Coral

Fort Myers

41

Pine Island

**Study Area**  
San Carlos Bay

Sanibel

Periwinkle Bay

Closeway

Town of Fort  
Myers Beach

Bonita Springs

Gulf of Mexico

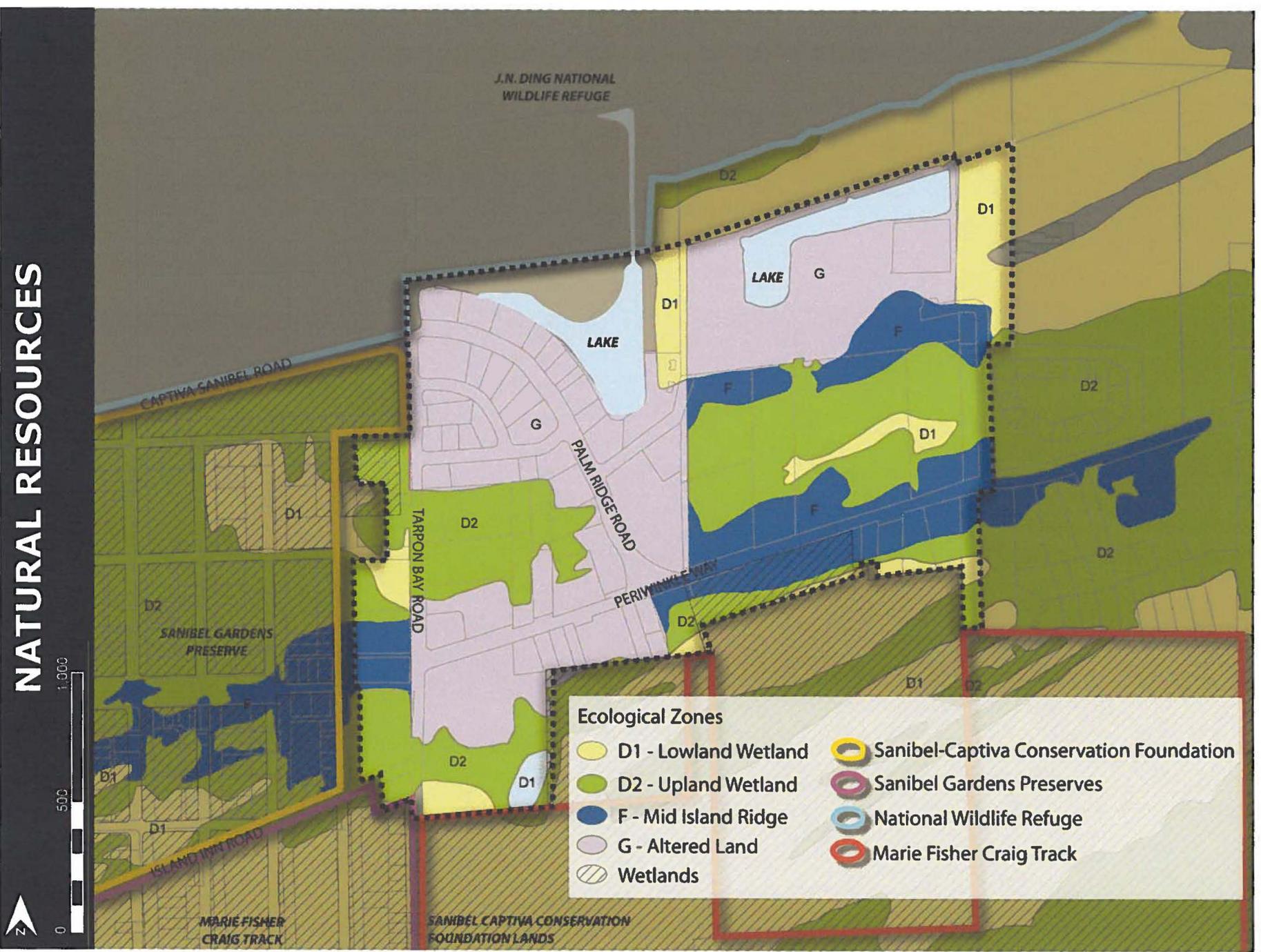
# Sanibel

*Periwinkle Way  
West District*

LOCAL CONTEXT



# NATURAL RESOURCES

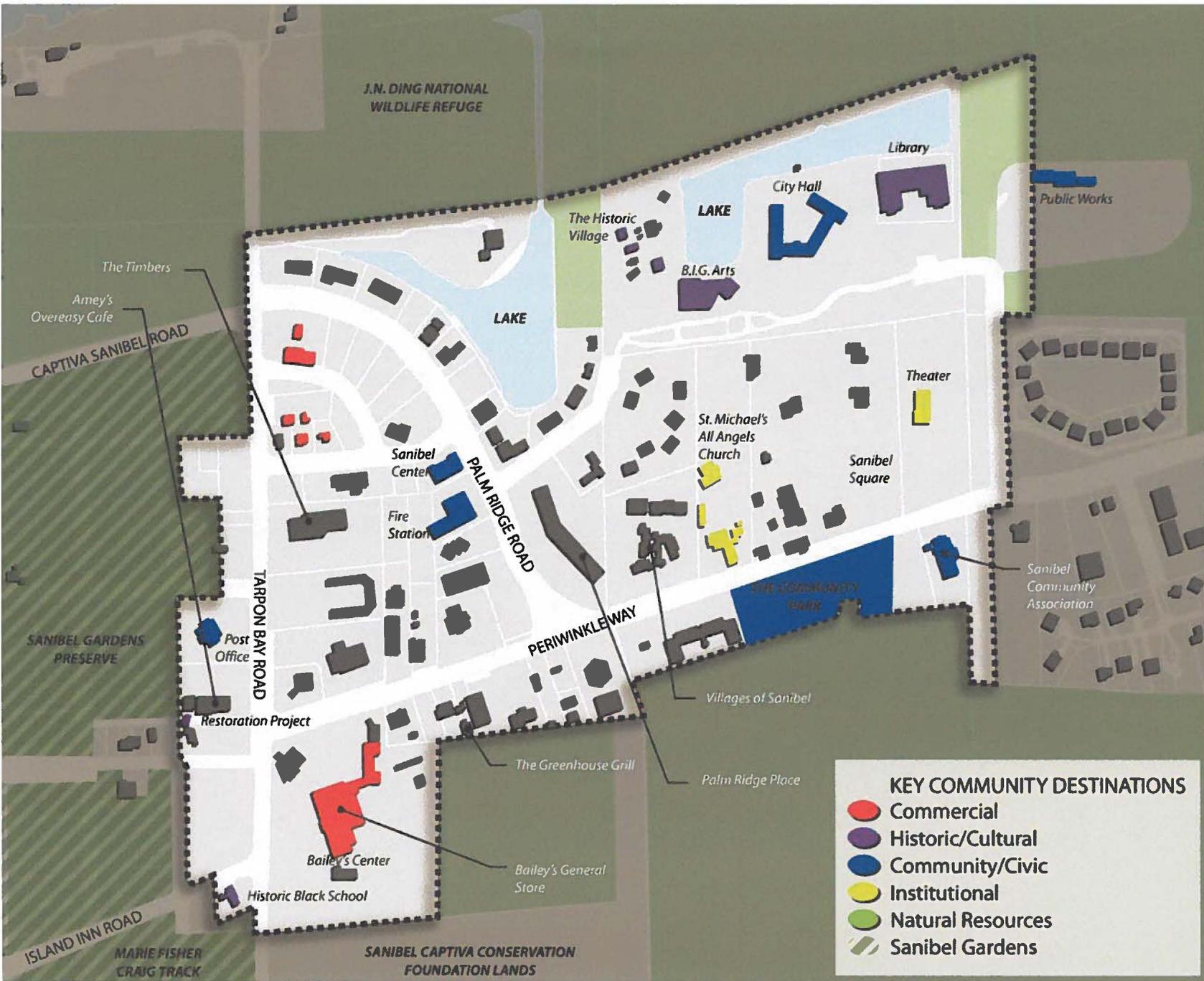


**Ecological Zones**

- D1 - Lowland Wetland
- D2 - Upland Wetland
- F - Mid Island Ridge
- G - Altered Land
- Wetlands

**Conservation Areas**

- Sanibel-Captiva Conservation Foundation
- Sanibel Gardens Preserves
- National Wildlife Refuge
- Marie Fisher Craig Track



# COMMUNITY FRAMEWORK

0 500 1,000

N

# COMMUNITY FRAMEWORK



ARCHITECTURAL STYLES



1 City Hall



2 Historical Village



3 B.I.G. Arts



4 Curves



5 Hess Gas Station



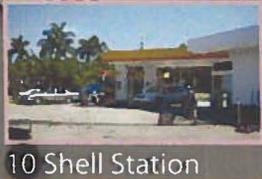
16 Theater



14 Casa Mariposa



12 Macintosh Books



10 Shell Station



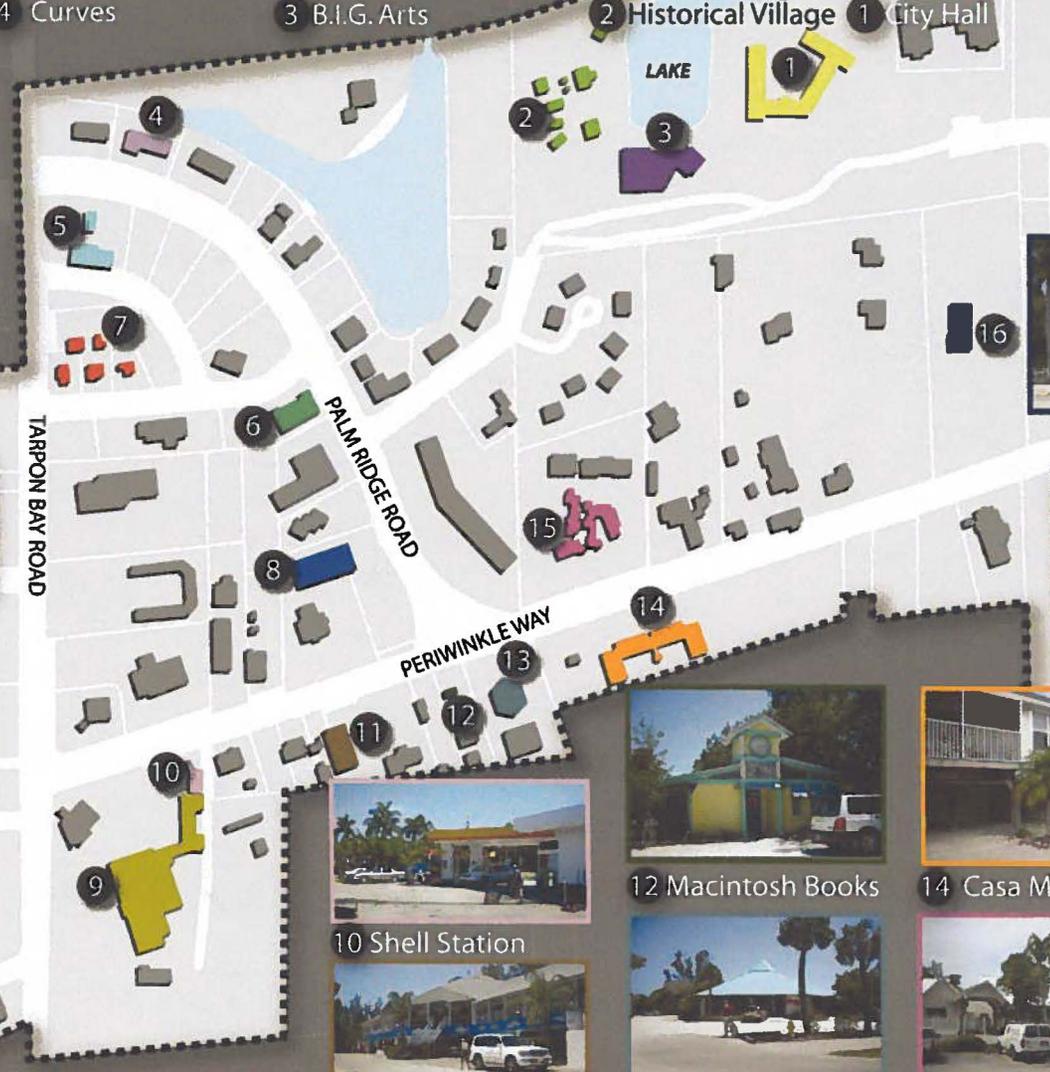
13 Wings



11 Greenhouse Grill



15 Villages of Sanibel



7 The Gallery Shops



8 CVS



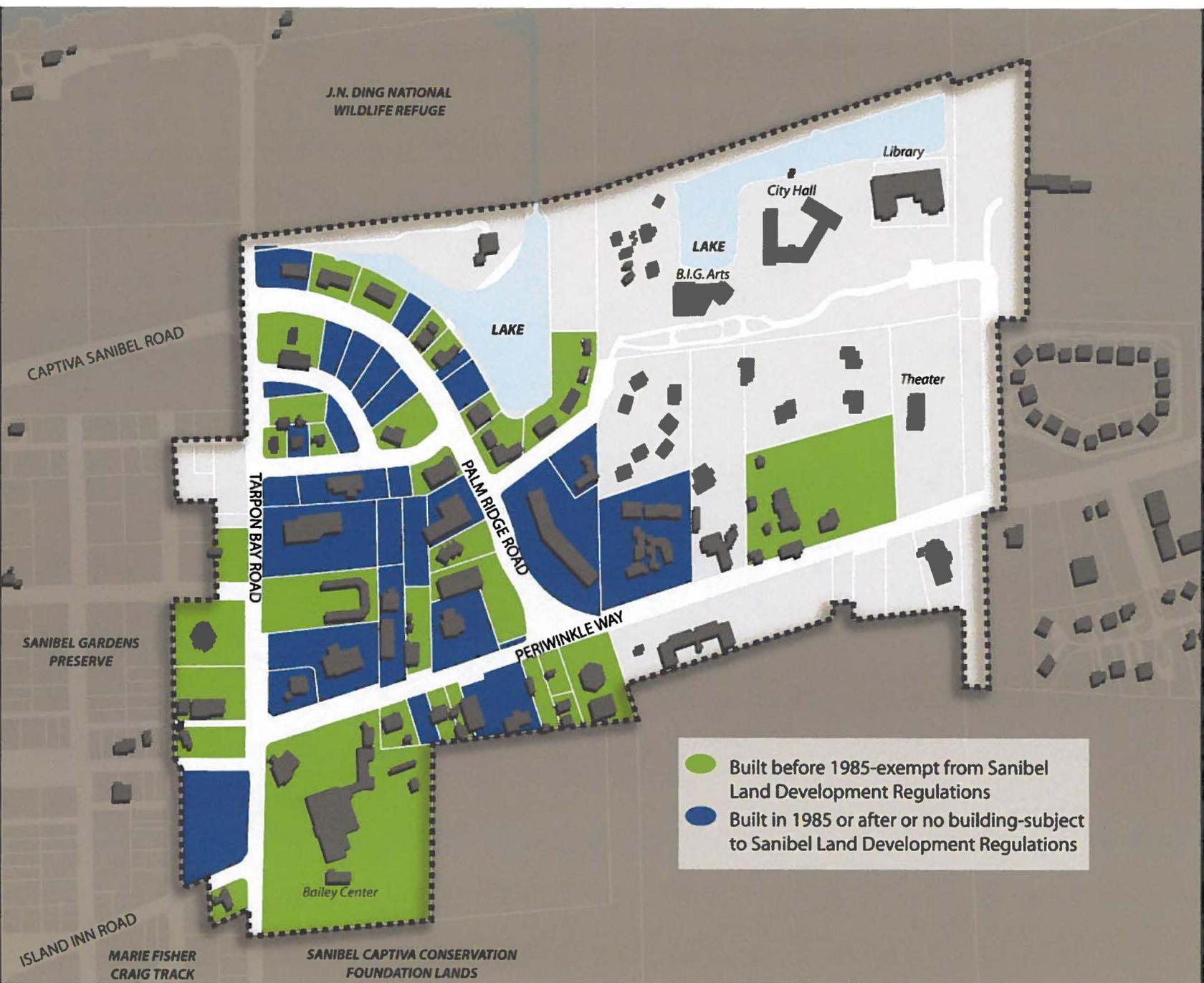
9 Bailey Center



6 Senior Center

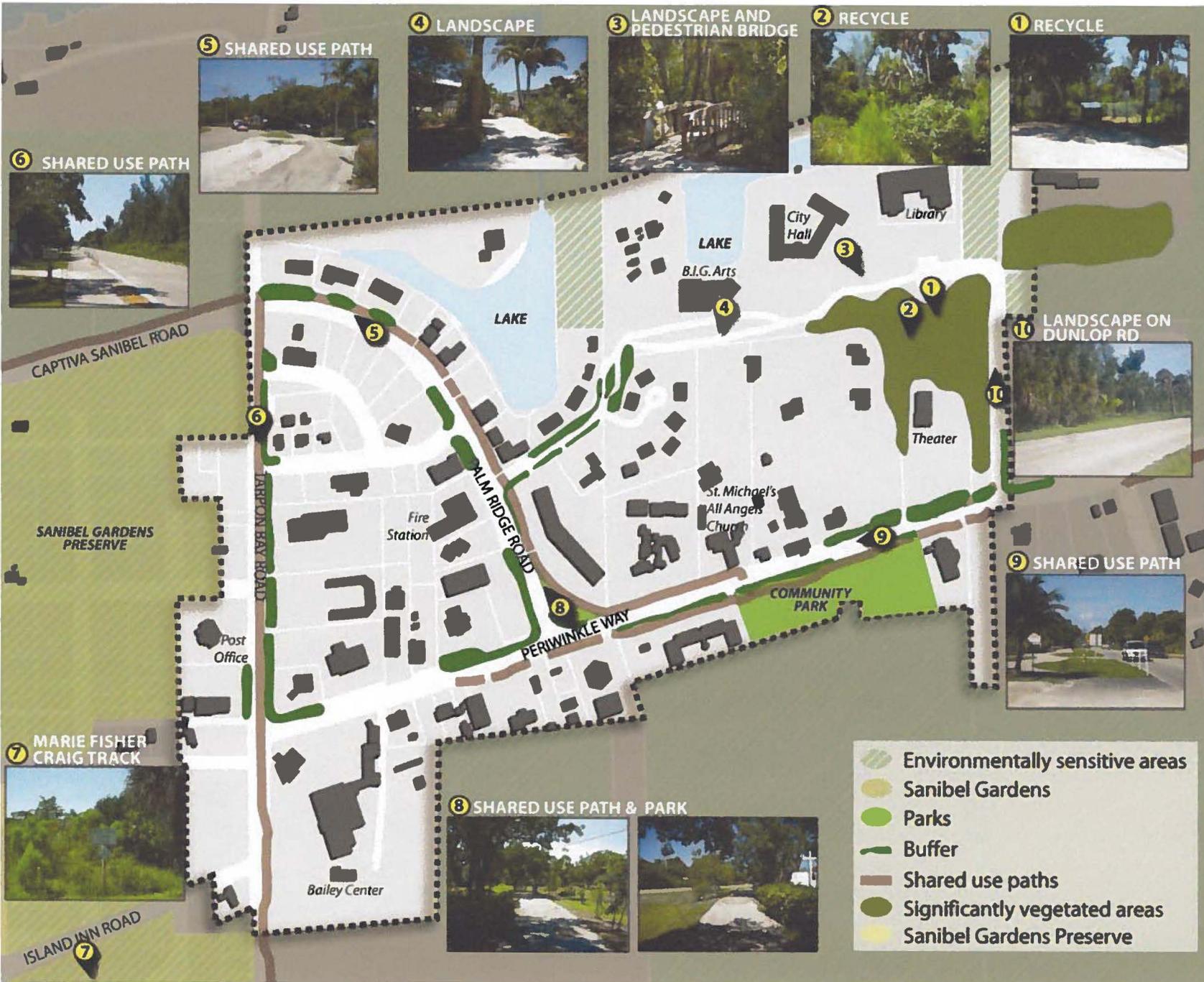


# AGE OF STRUCTURE



-  Built before 1985—exempt from Sanibel Land Development Regulations
-  Built in 1985 or after or no building—subject to Sanibel Land Development Regulations

# OPEN SPACE CHARACTER & QUALITY



# CIRCULATION & PARKING



PALM RIDGE ROAD



TARPON BAY ROAD



CAPTIVA SANIBEL ROAD

PARKING



ISLAND INN ROAD

SHARED USE PATHS



BICYCLE RACK FACILITIES



DUNLOP ROAD



TARPON BAY ROAD

PALM RIDGE ROAD

PERIWINKLE WAY

PERIWINKLE WAY



Bailey Center

LAKE

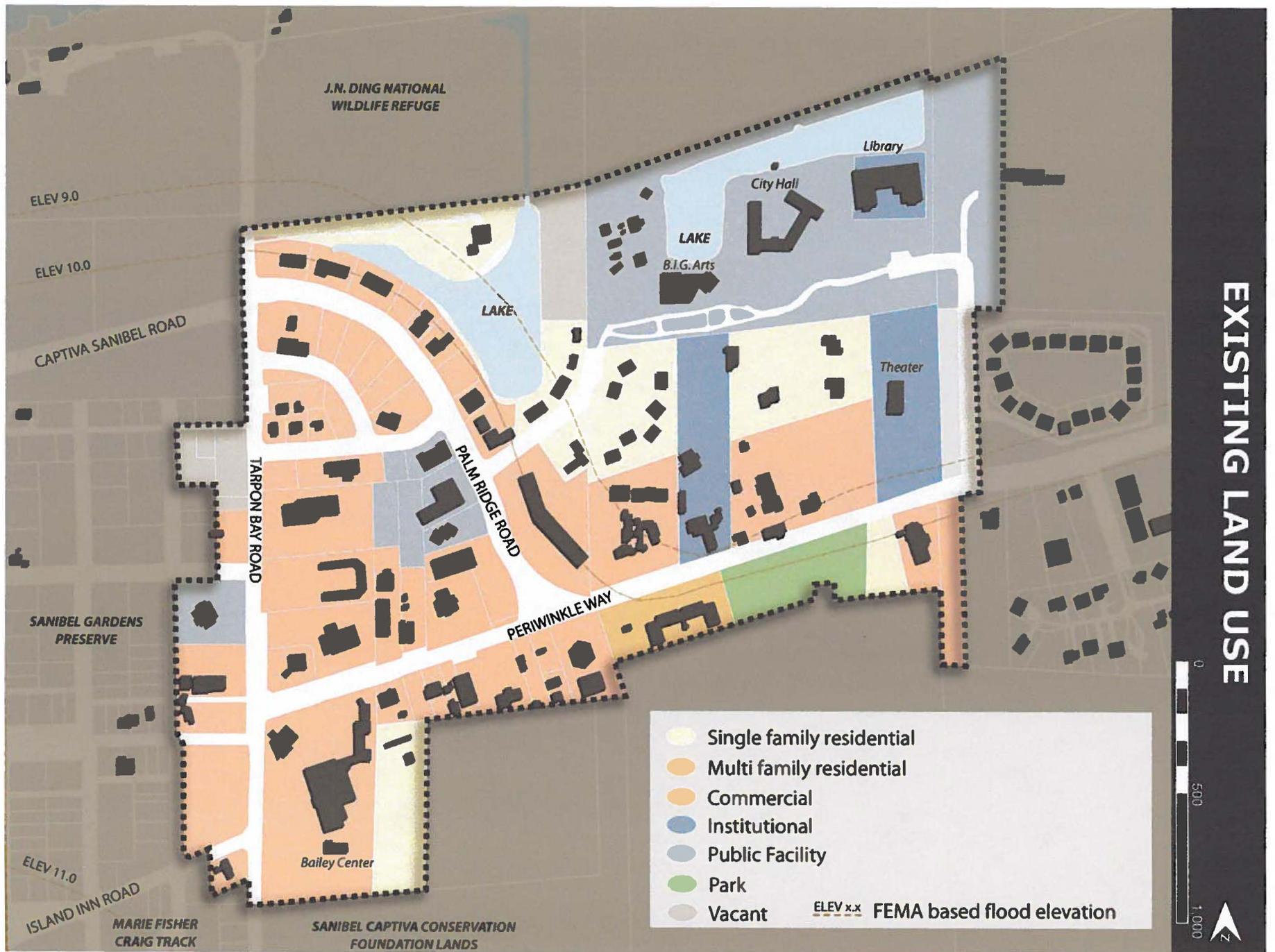
B.I.G. Arts

City Hall

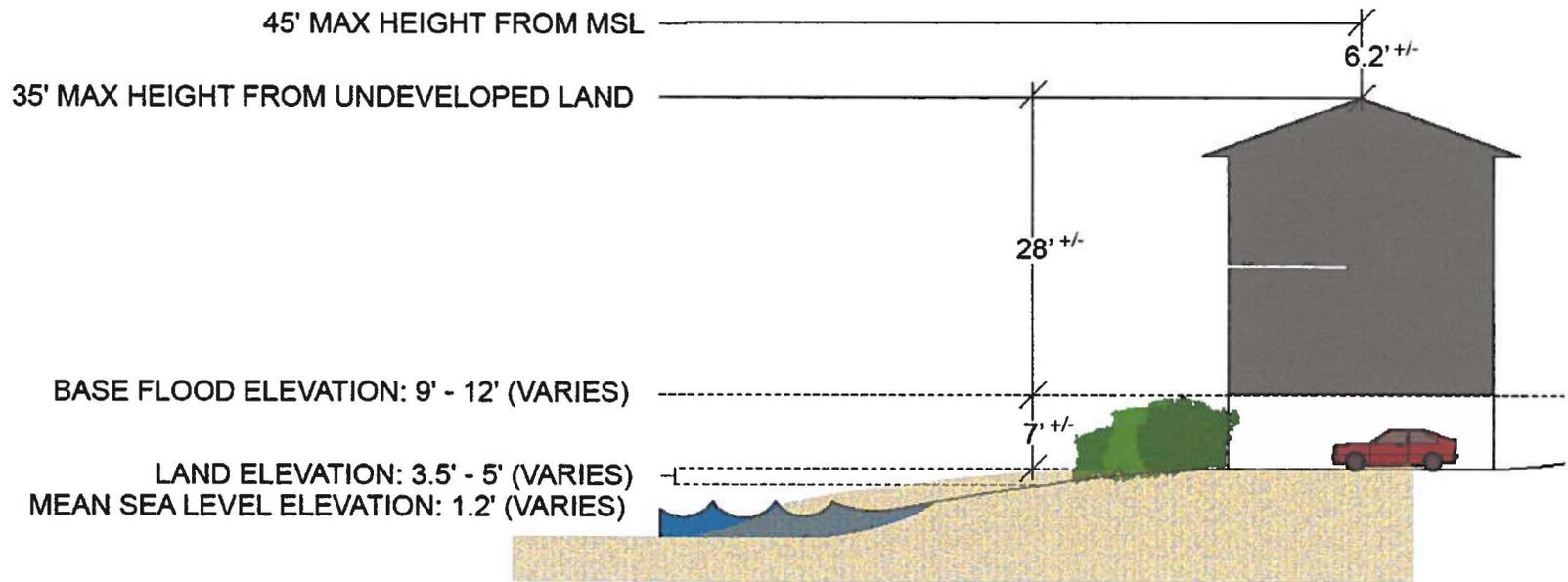
Library

Theater

- Primary roads
- Secondary roads
- Parking
- Existing Shared Use Path**
  - Adjacent to road
  - Separated from road by concrete swale
  - Away from road
- Proposed Shared Use Path

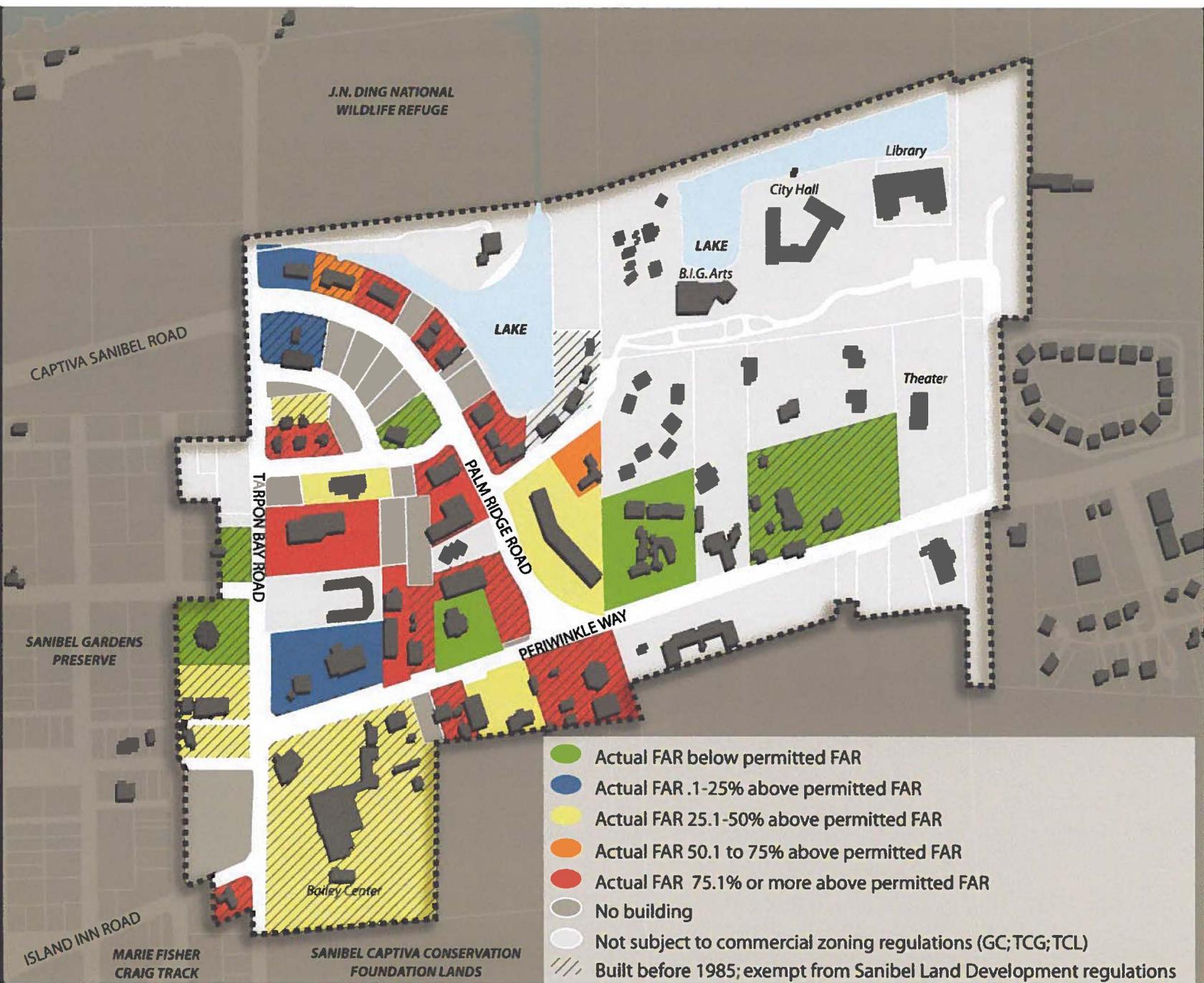


# BUILDING HEIGHT AND FLOOD REGULATIONS



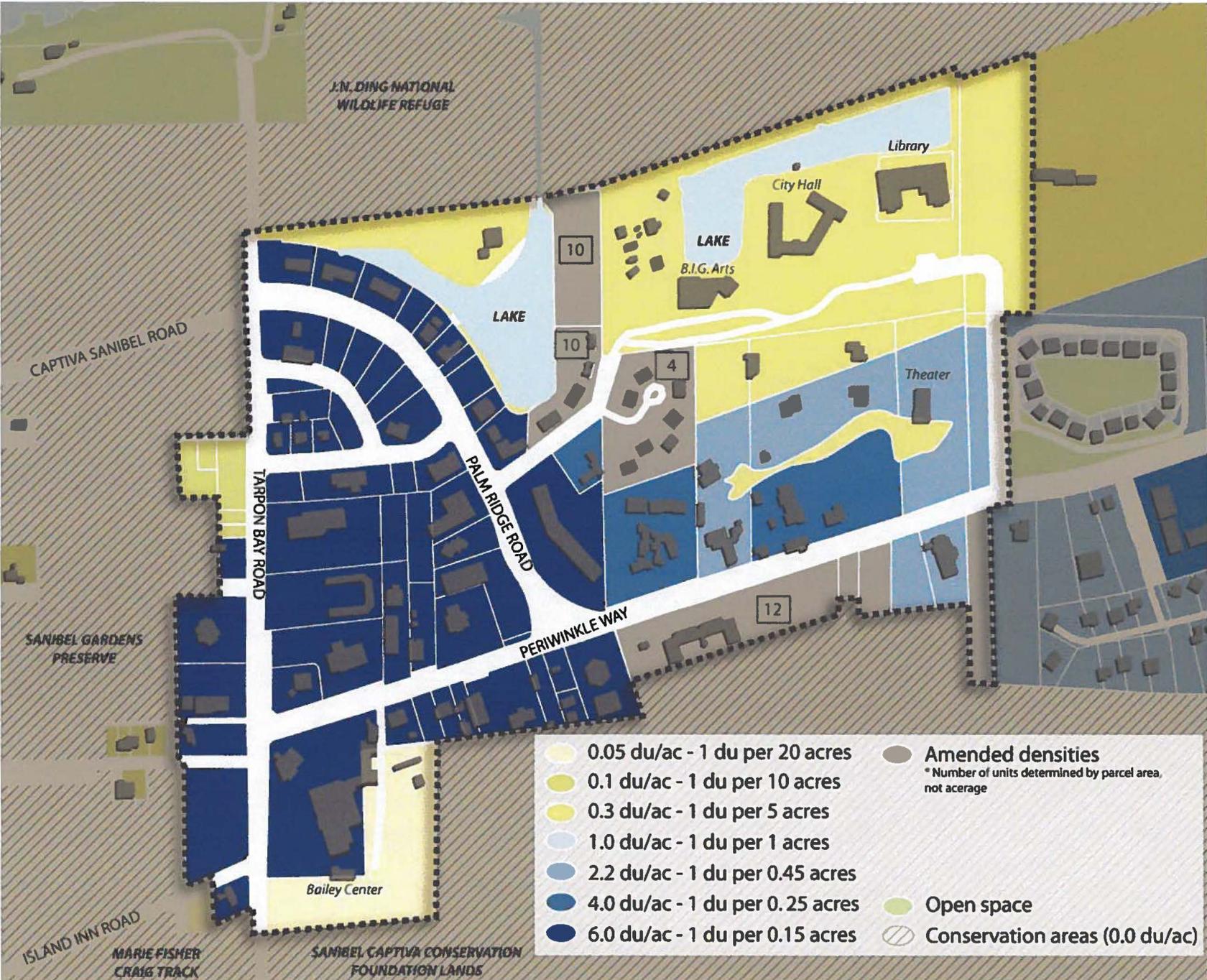


# PERMITTED VERSUS ACTUAL FAR



- Actual FAR below permitted FAR
- Actual FAR .1-25% above permitted FAR
- Actual FAR 25.1-50% above permitted FAR
- Actual FAR 50.1 to 75% above permitted FAR
- Actual FAR 75.1% or more above permitted FAR
- No building
- Not subject to commercial zoning regulations (GC;TCG;TCL)
- Built before 1985; exempt from Sanibel Land Development regulations

# PERMITTED DEVELOPMENT INTENSITY



- 0.05 du/ac - 1 du per 20 acres
- 0.1 du/ac - 1 du per 10 acres
- 0.3 du/ac - 1 du per 5 acres
- 1.0 du/ac - 1 du per 1 acres
- 2.2 du/ac - 1 du per 0.45 acres
- 4.0 du/ac - 1 du per 0.25 acres
- 6.0 du/ac - 1 du per 0.15 acres
- Amended densities  
\* Number of units determined by parcel area, not acreage
- Open space
- Conservation areas (0.0 du/ac)





# OPPORTUNITIES AND CONSTRAINTS

**Constraints:**

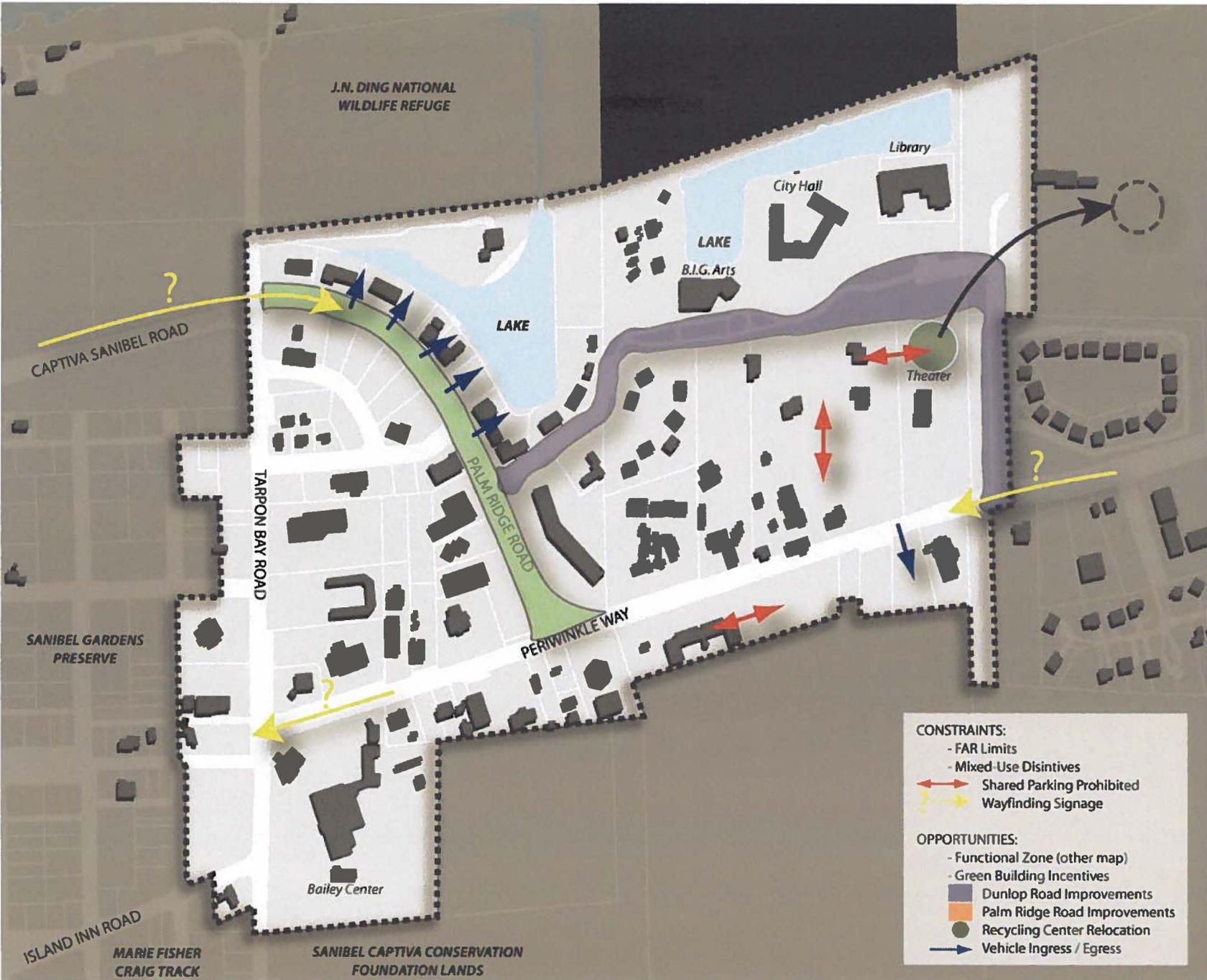
- **Floor Area Ratio**
- **Mixed-Use Limitations (1,000 sf reduction of FAR)**
- **Shared-Parking Limits**
- **Wayfinding & Signage**

**Opportunities:**

- **Potential New Functional Use Zones**
- **Dunlop Road Improvements**
- **Palm Ridge Road Improvements**
- **Relocation of Recycling Center**
- **Limits on Vehicular Egress/Ingress**
- **Green Building Incentives**
- **Architectural and Landscape Guidelines**
- **Sustainability Guidelines**



# District-Wide Opportunities & Constraints



# FUNCTIONAL AREAS OPPORTUNITIES

## ALTERNATIVE -1-

0 500 1,000



J.N. DING NATIONAL WILDLIFE REFUGE

CAPTIVA SANIBEL ROAD

VARPON BAY ROAD

SANIBEL GARDENS PRESERVE

ISLAND INN ROAD  
MARIE FISHER CRAIG TRACK

SANIBEL CAPTIVA CONSERVATION FOUNDATION LANDS

LAKE

B.L.G. Arts

City Hall

Library

Theater

PALM RIDGE ROAD

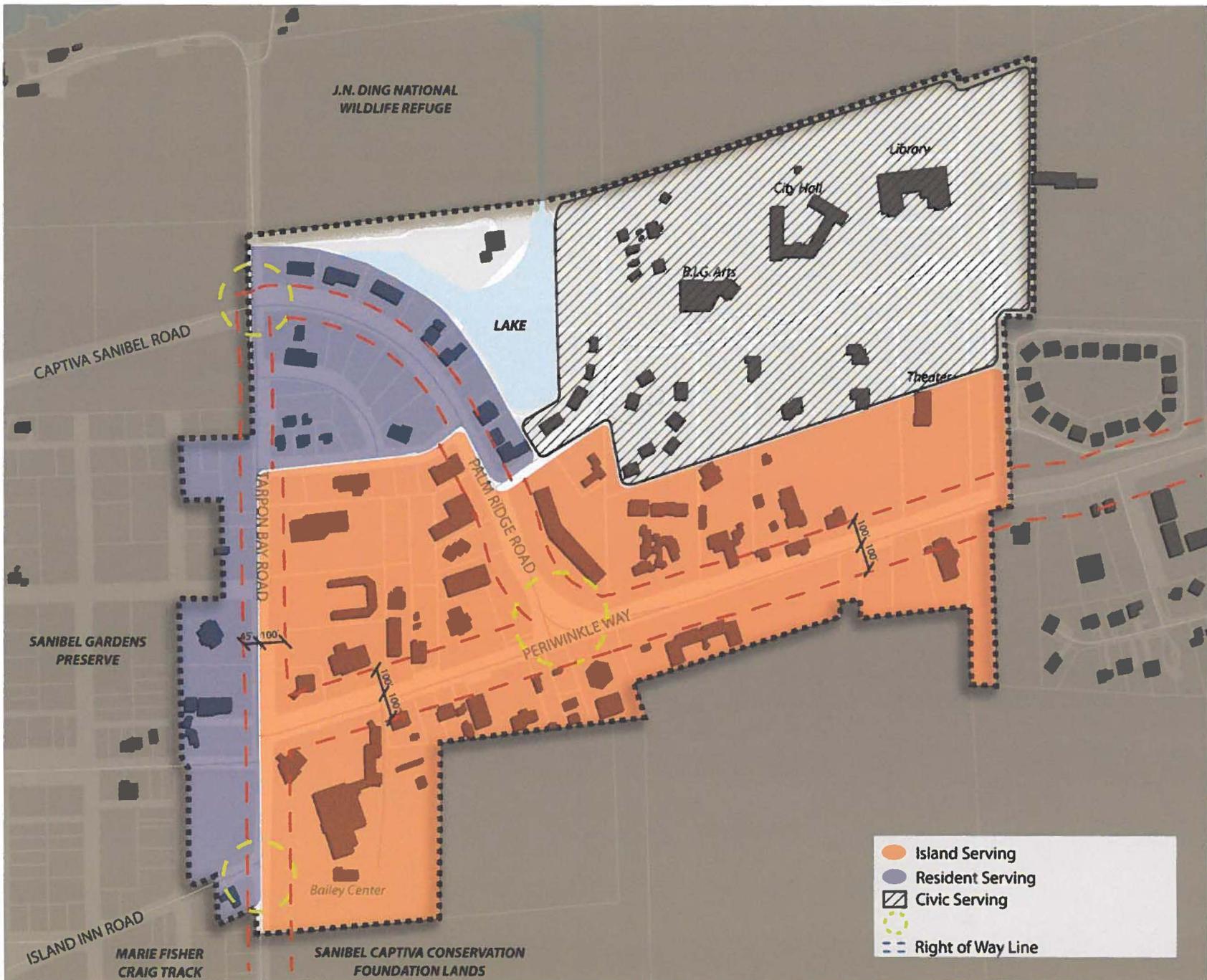
PERIWINKLE WAY

Bailey Center

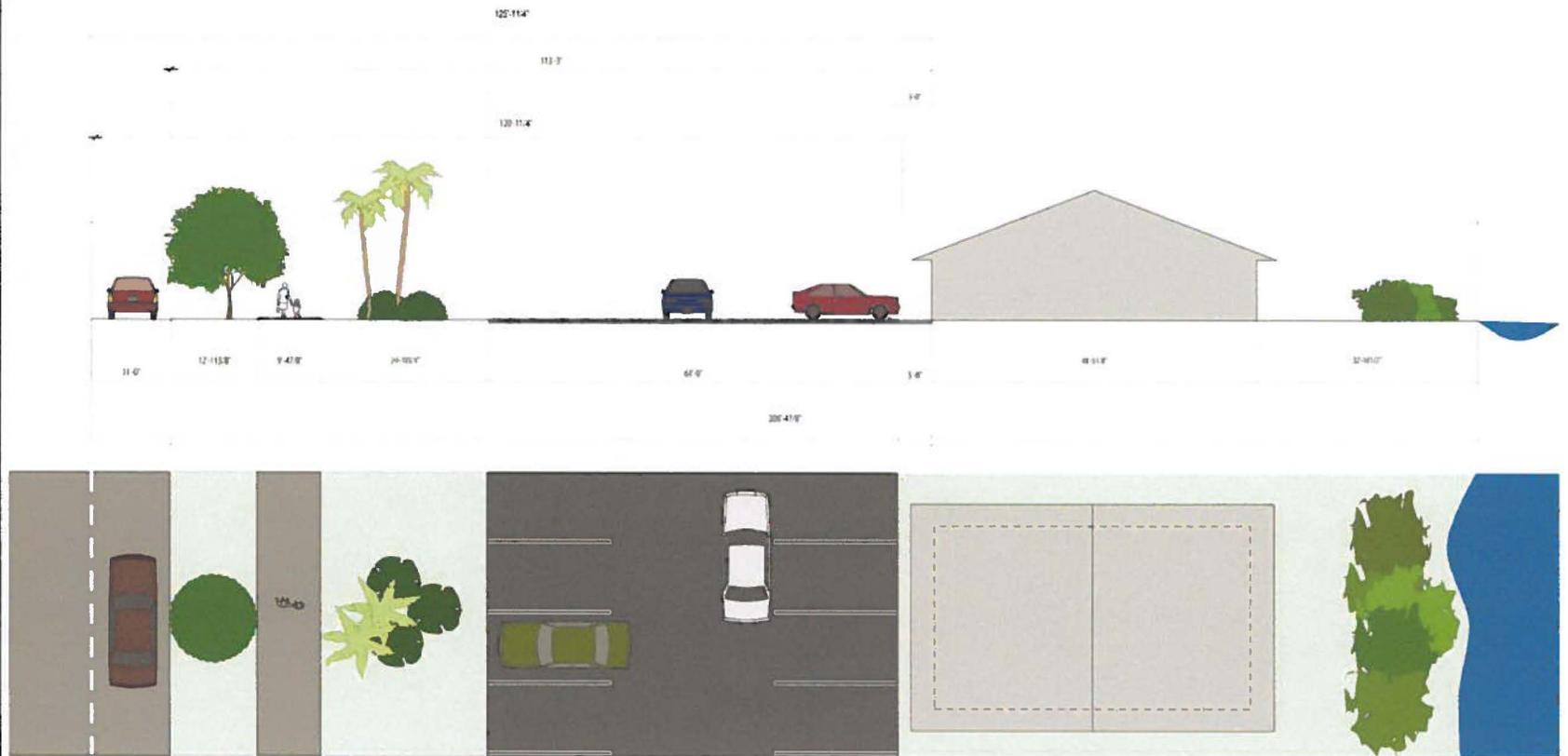
- Island Serving
- Resident Serving
- Civic Serving
- Right of Way Line

# FUNCTIONAL AREAS OPPORTUNITIES

ALTERNATIVE -2-

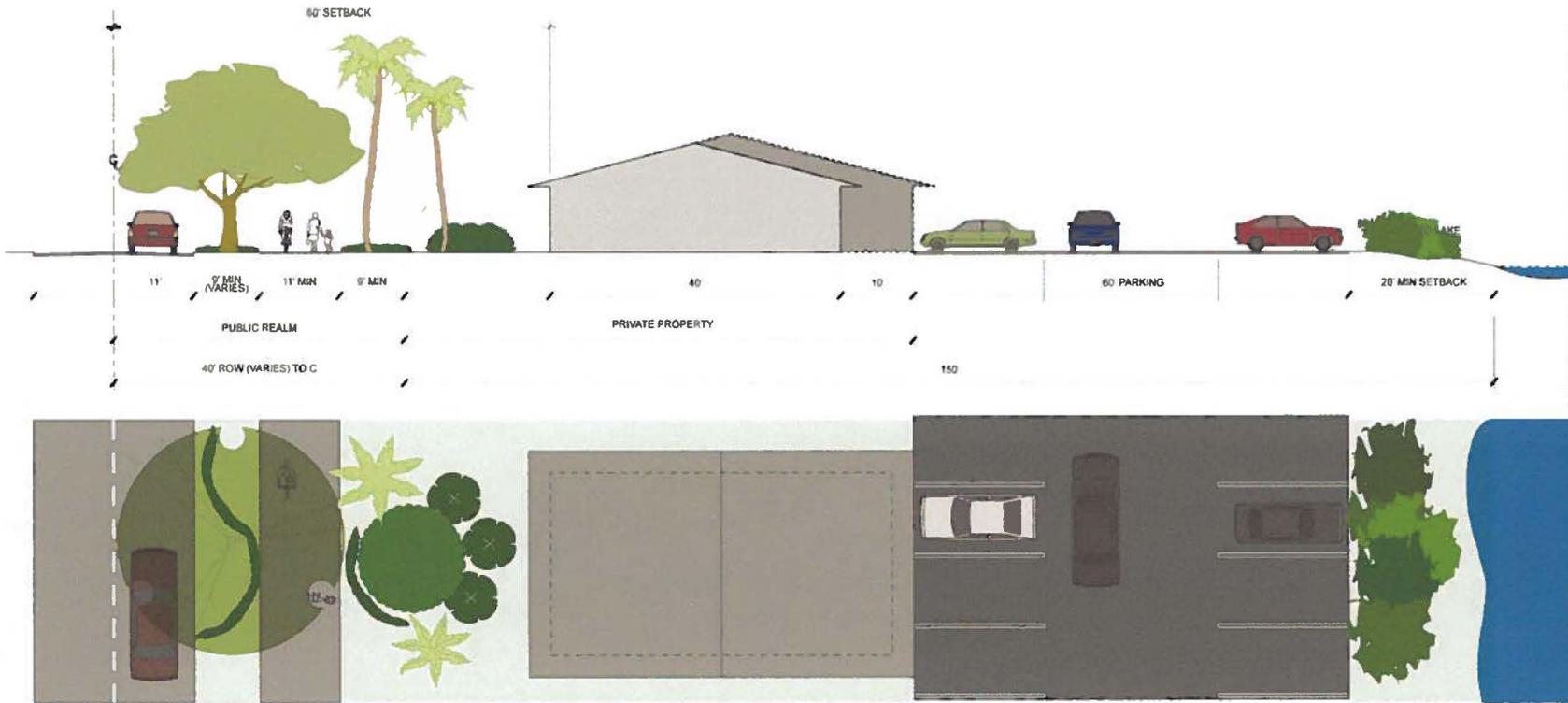


# Palm Ridge Road Cross-section



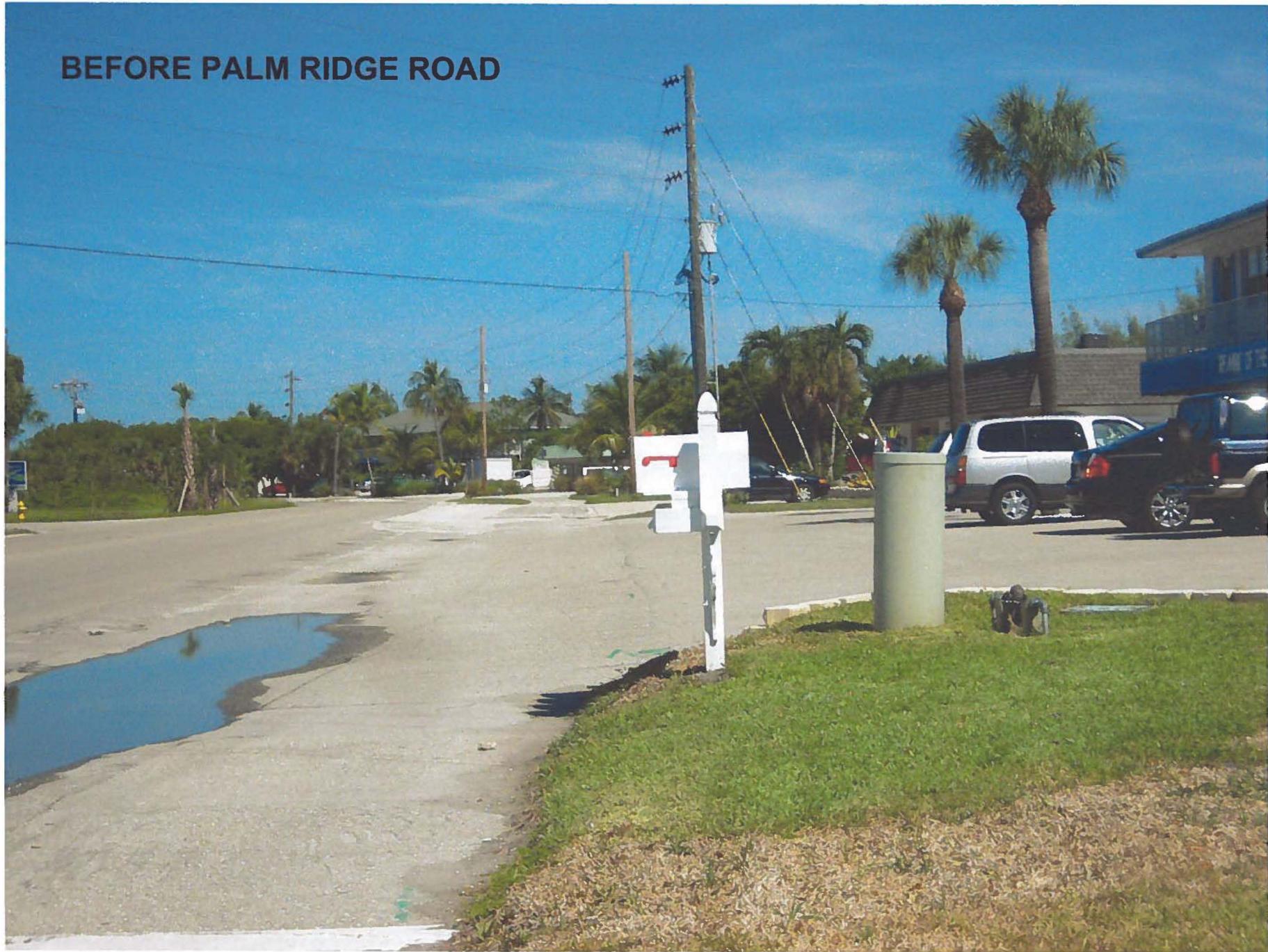
Existing Condition (Typical)

Palm Ridge Road Cross-section



Proposed Condition (Reduced Setback)

**BEFORE PALM RIDGE ROAD**

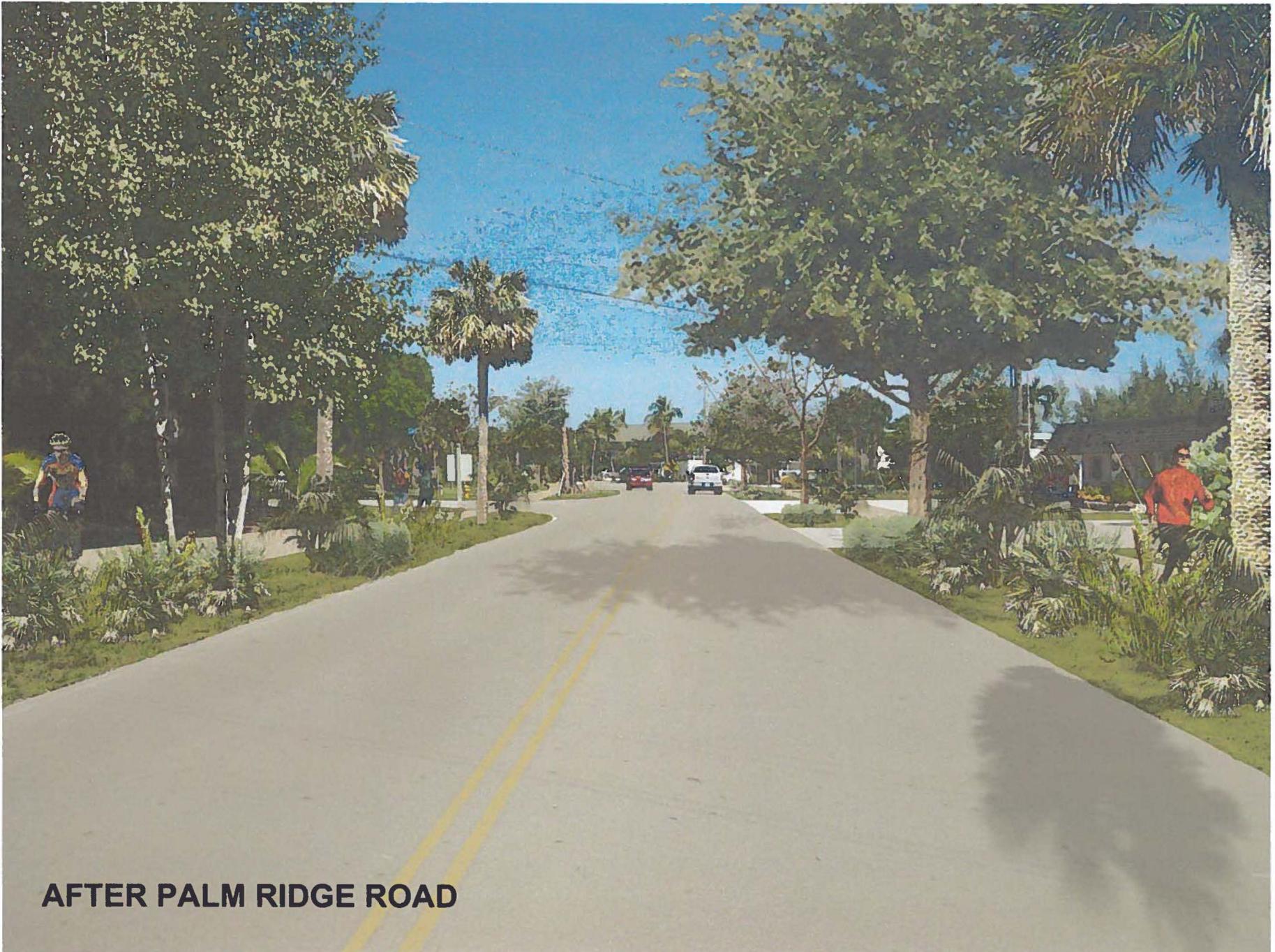




**AFTER PALM RIDGE ROAD**

**BEFORE PALM RIDGE ROAD**

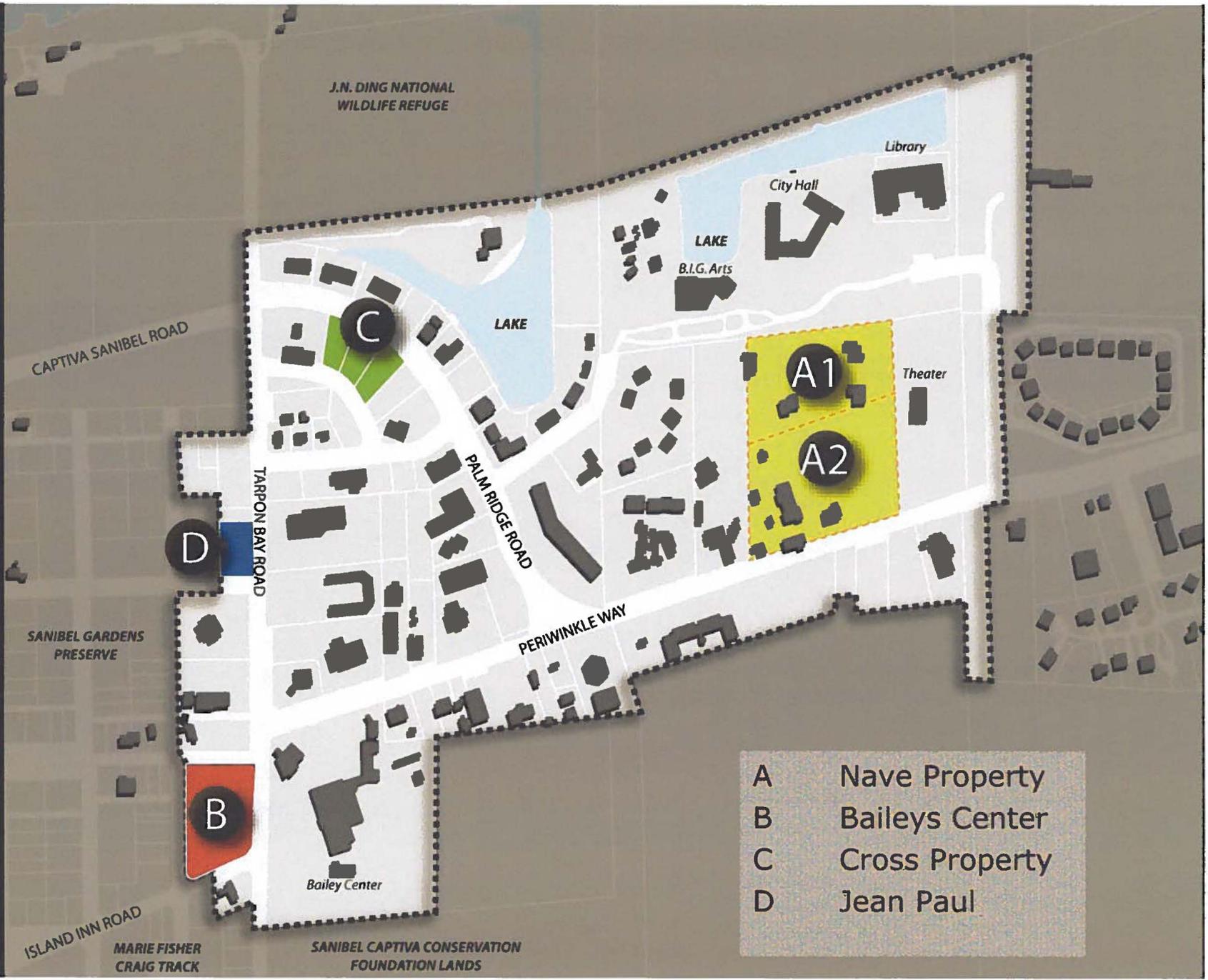




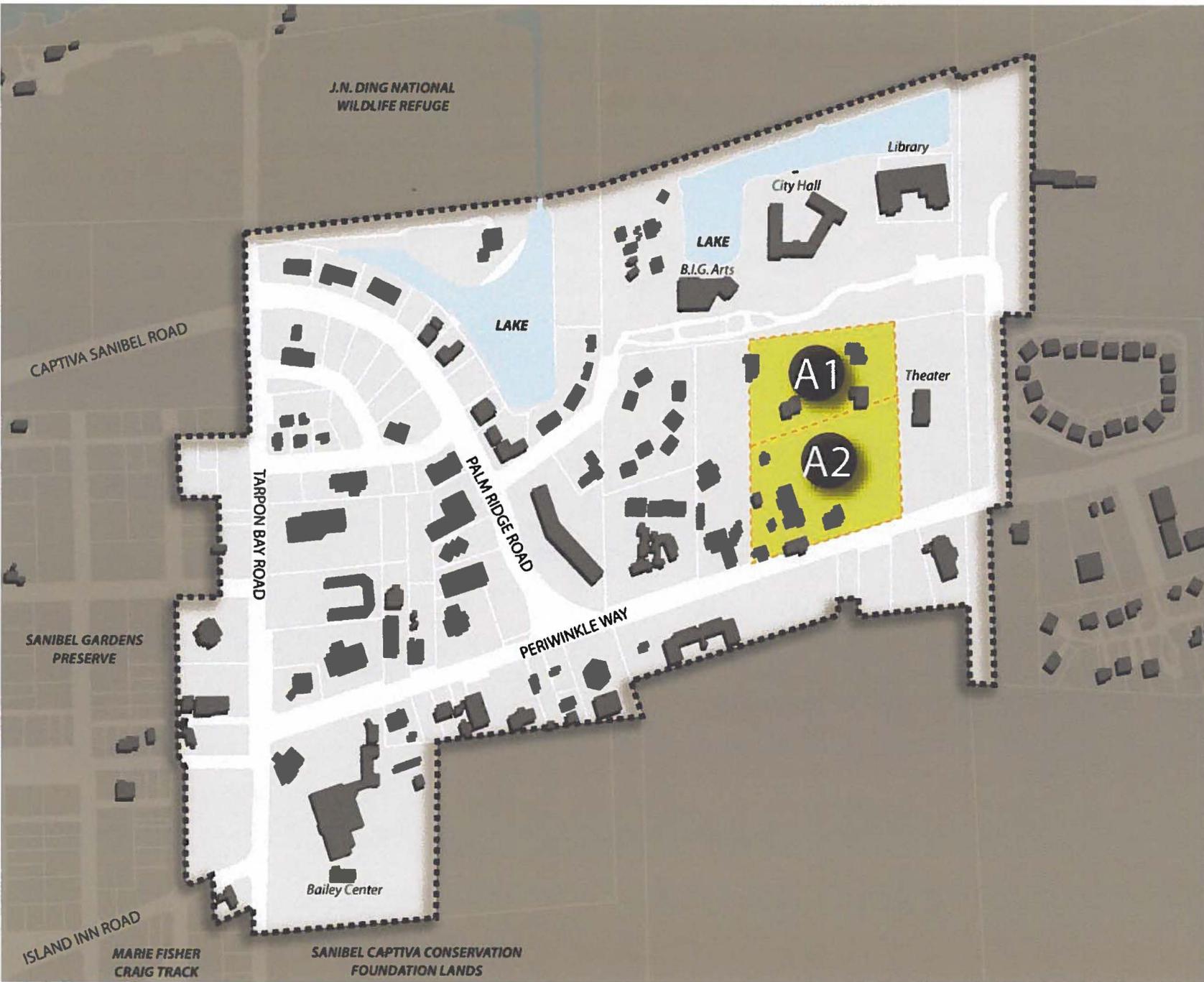
**AFTER PALM RIDGE ROAD**



# FOCUS AREAS



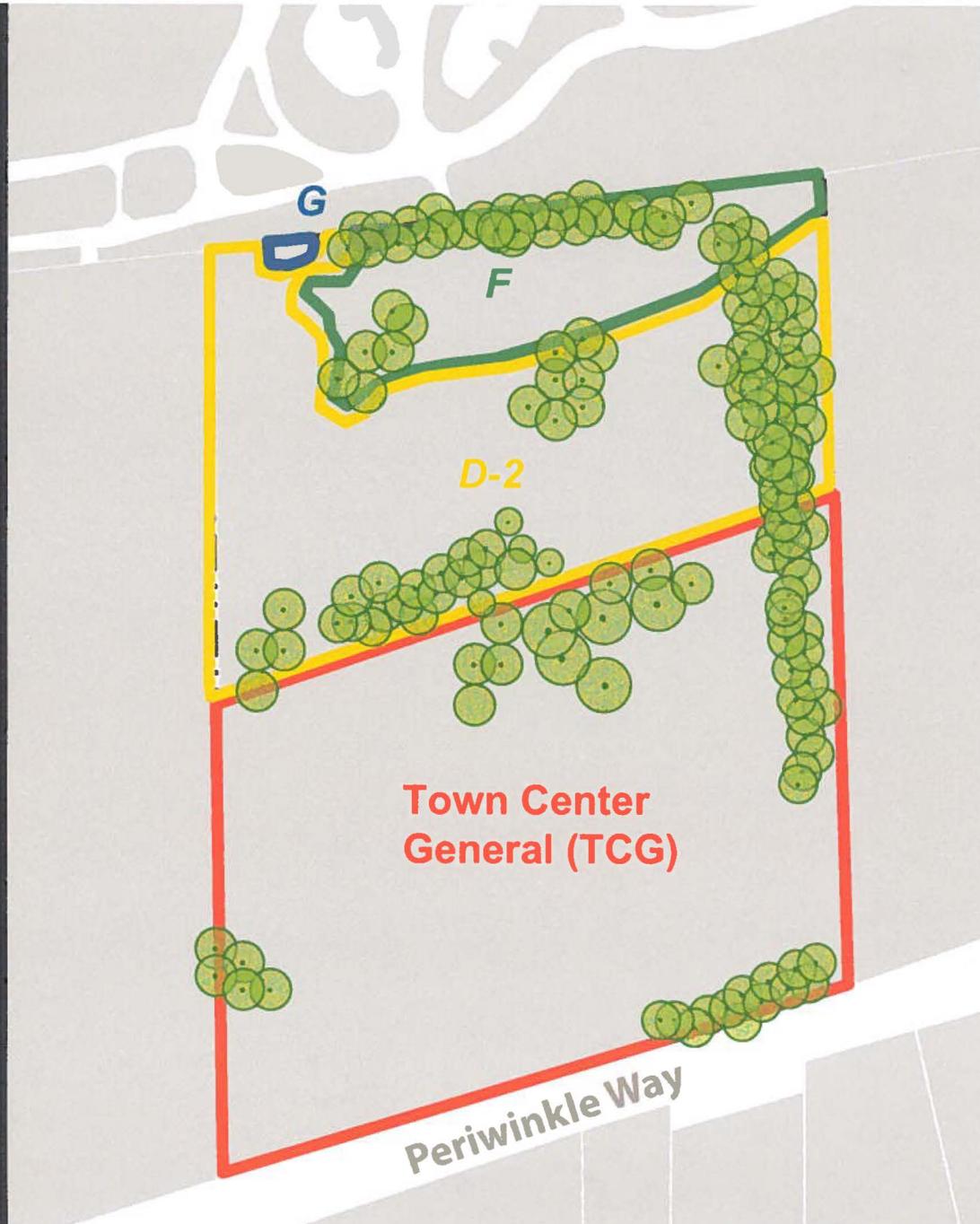
- A Nave Property
- B Baileys Center
- C Cross Property
- D Jean Paul



# FOCUS AREA A: Nave Properties



**FOCUS AREA A: Nave Property**



# PARCEL INFORMATION

**Parcel Size:**

9.8 acres (427,600 SF)

**Zoning District:**

*G – Altered Land*

*F – Mid Island Ridge*

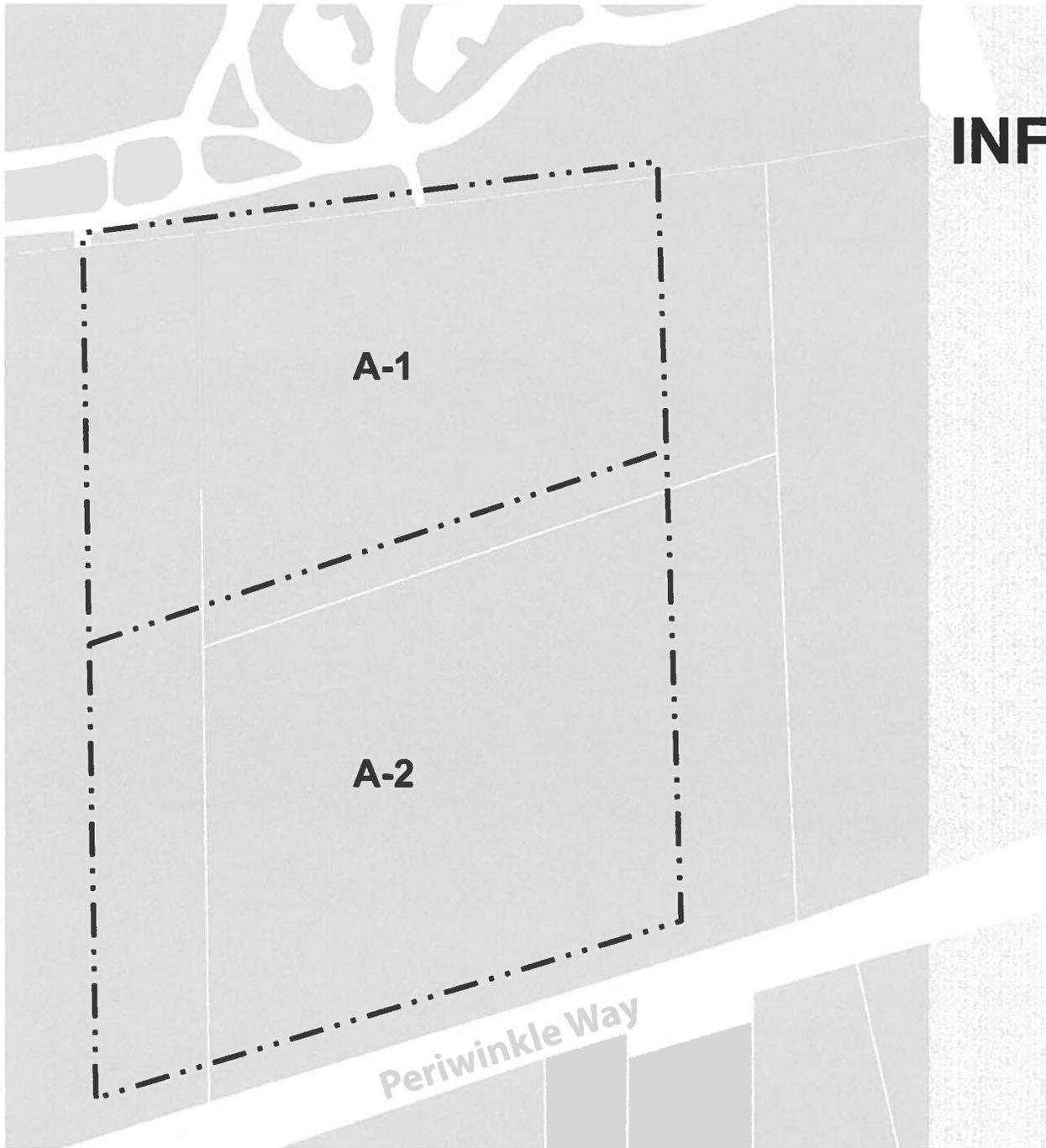
*D-2 – Upland Wetland*

*Town Center General (TCG)*

**• Existing Vegetation**

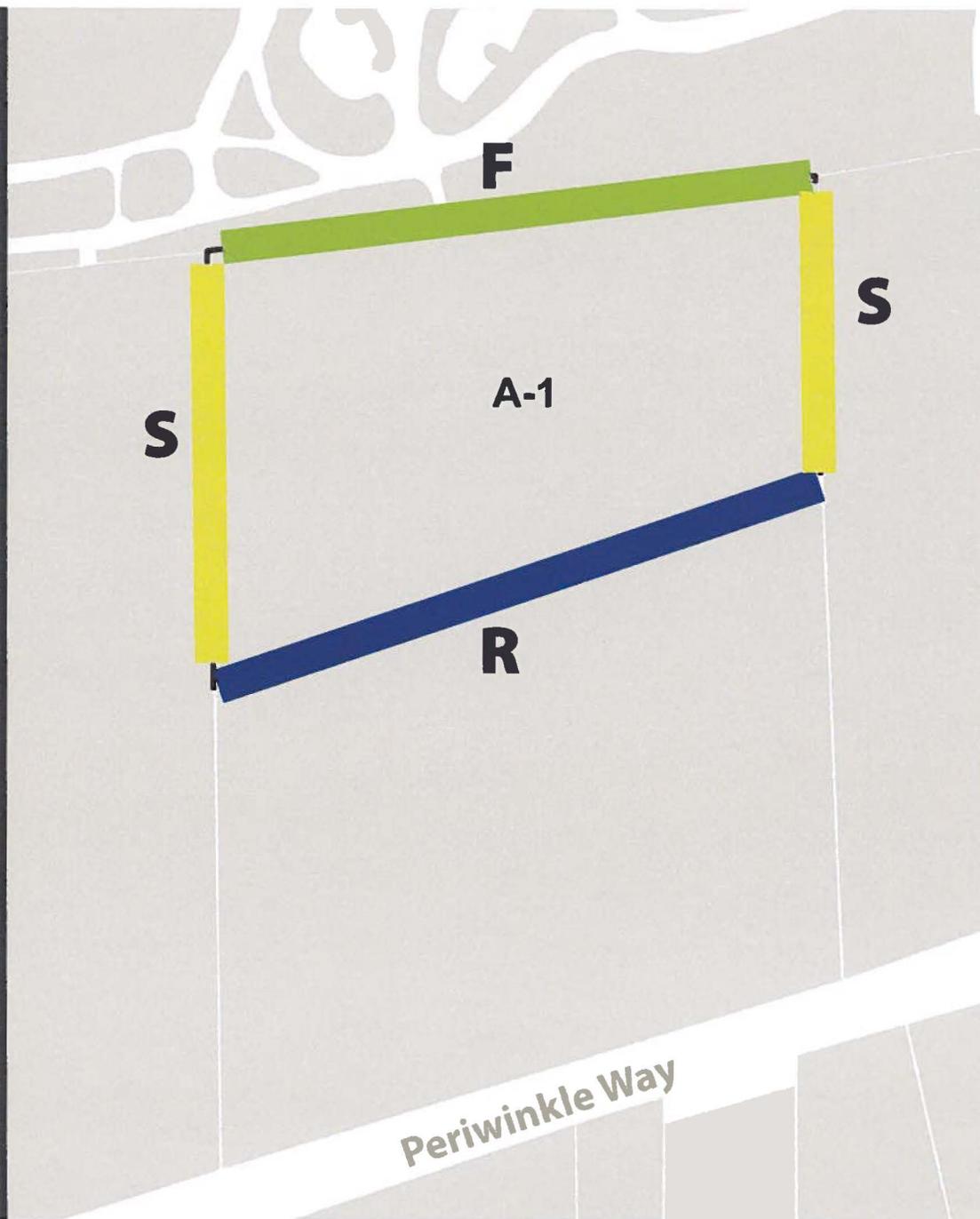
**+/- 88,400 SF**

# PARCEL INFORMATION



**FOCUS AREA A: Nave Property**

**FOCUS AREA A: Nave Property**



# PARCEL A INFORMATION

**Parcel Size:**

*4.4 acres (191,100 SF)*

**Zoning District:**

*G, F, and D2*

**Permitted Impervious  
Area\*:**

*2 acres (86,000 SF)*

**\*based on 45%  
impervious rule**

# BUFFERS AND SETBACKS

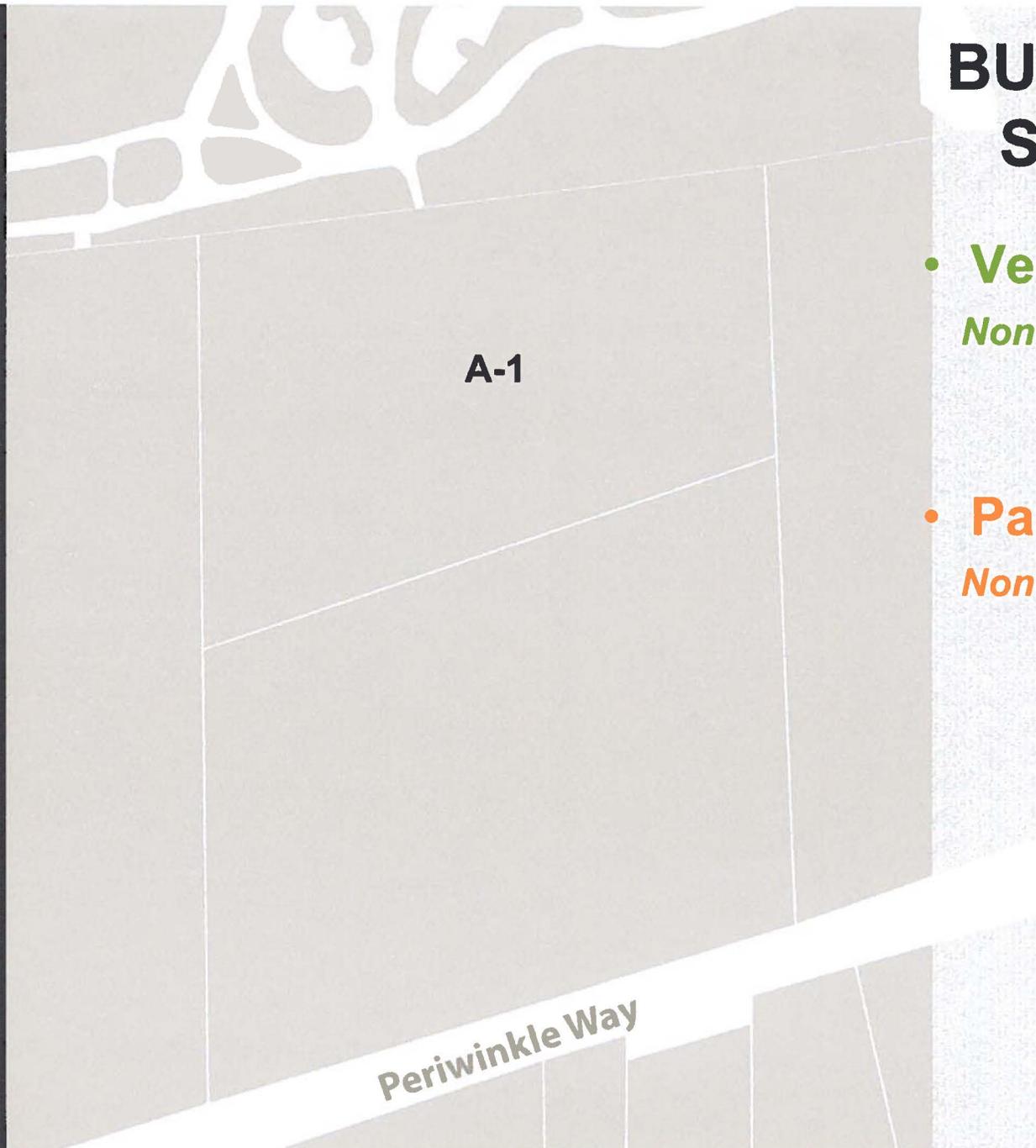
- **Vegetation Buffer**  
*None for residential*

A-1

Periwinkle Way

FOCUS AREA A: Nave Property

**FOCUS AREA A: Nave Property**



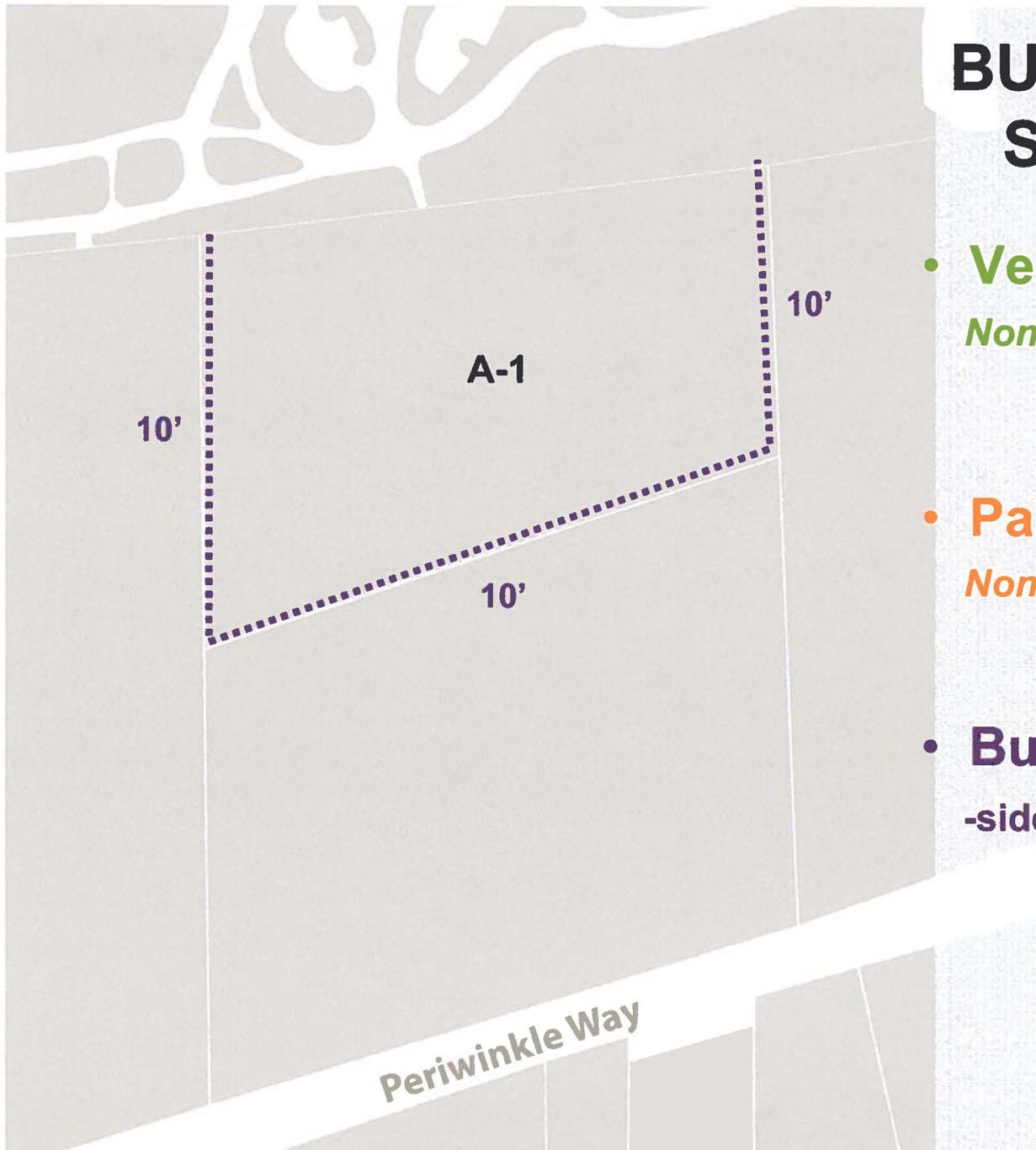
## **BUFFERS AND SETBACKS**

- **Vegetation Buffer**  
*None for residential*
- **Parking Setback**  
*None for residential*

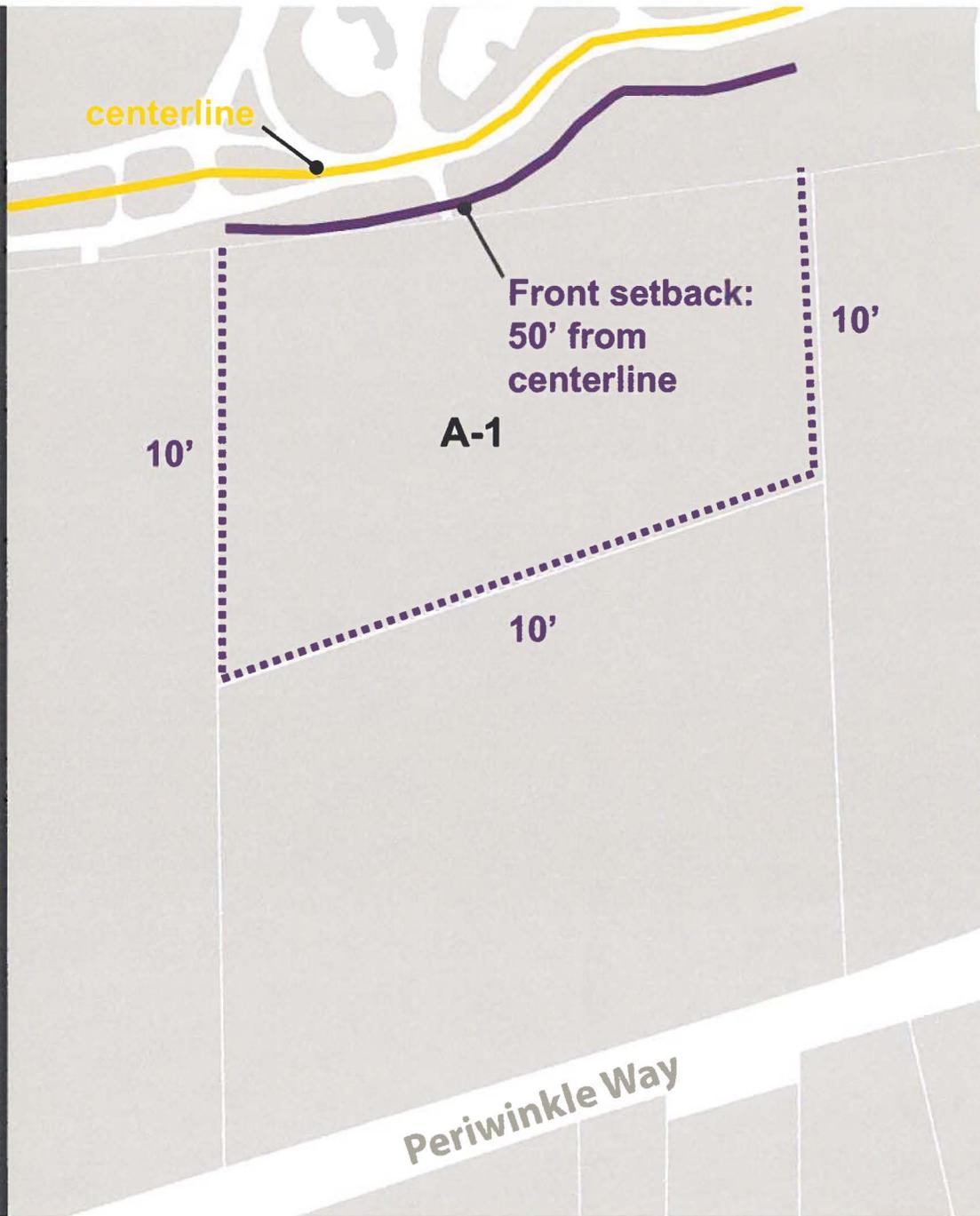
# BUFFERS AND SETBACKS

- **Vegetation Buffer**  
*None for residential*
- **Parking Setback**  
*None for residential*
- **Building Setback**  
*-sides and rear: 10'*

FOCUS AREA A: Nave Property



**FOCUS AREA A: Nave Property**



# BUFFERS AND SETBACKS

- **Vegetation Buffer**  
*None for residential*
- **Parking Setback**  
*None for residential*
- **Building Setback**
  - sides and rear: 10'
  - front: 50' from centerline

# PERMITTED RESIDENTIAL DEVELOPMENT:

*Development Intensity*

- 6 units @ +/- 1500 SF each

@ 0.3 du/ac = 1 unit

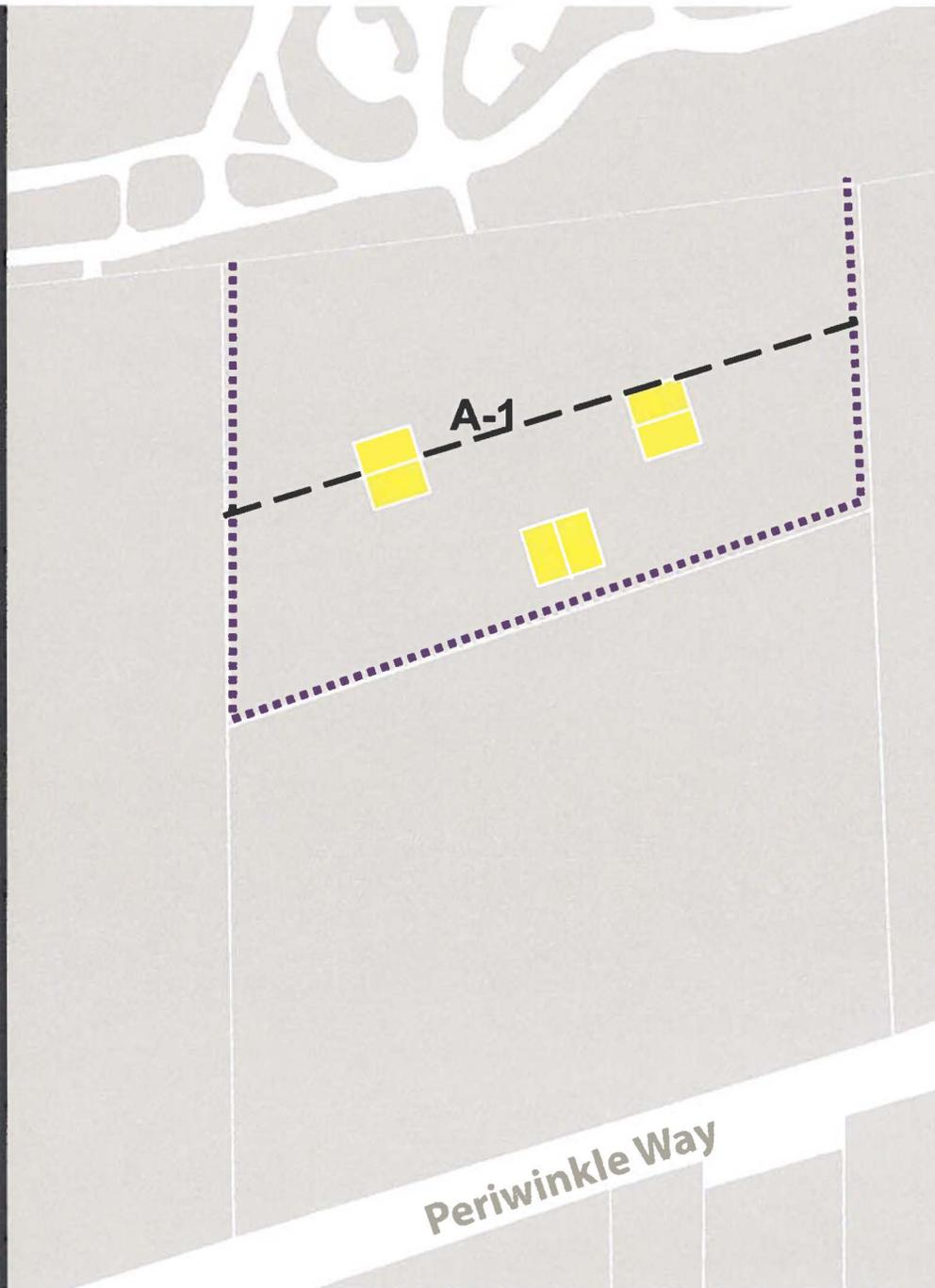
A-1

@ 2.2 du/ac = 5 units

Periwinkle Way

FOCUS AREA A: Nave Property

**FOCUS AREA A: Nave Property**



**PERMITTED  
RESIDENTIAL  
DEVELOPMENT:**

*Development Intensity*

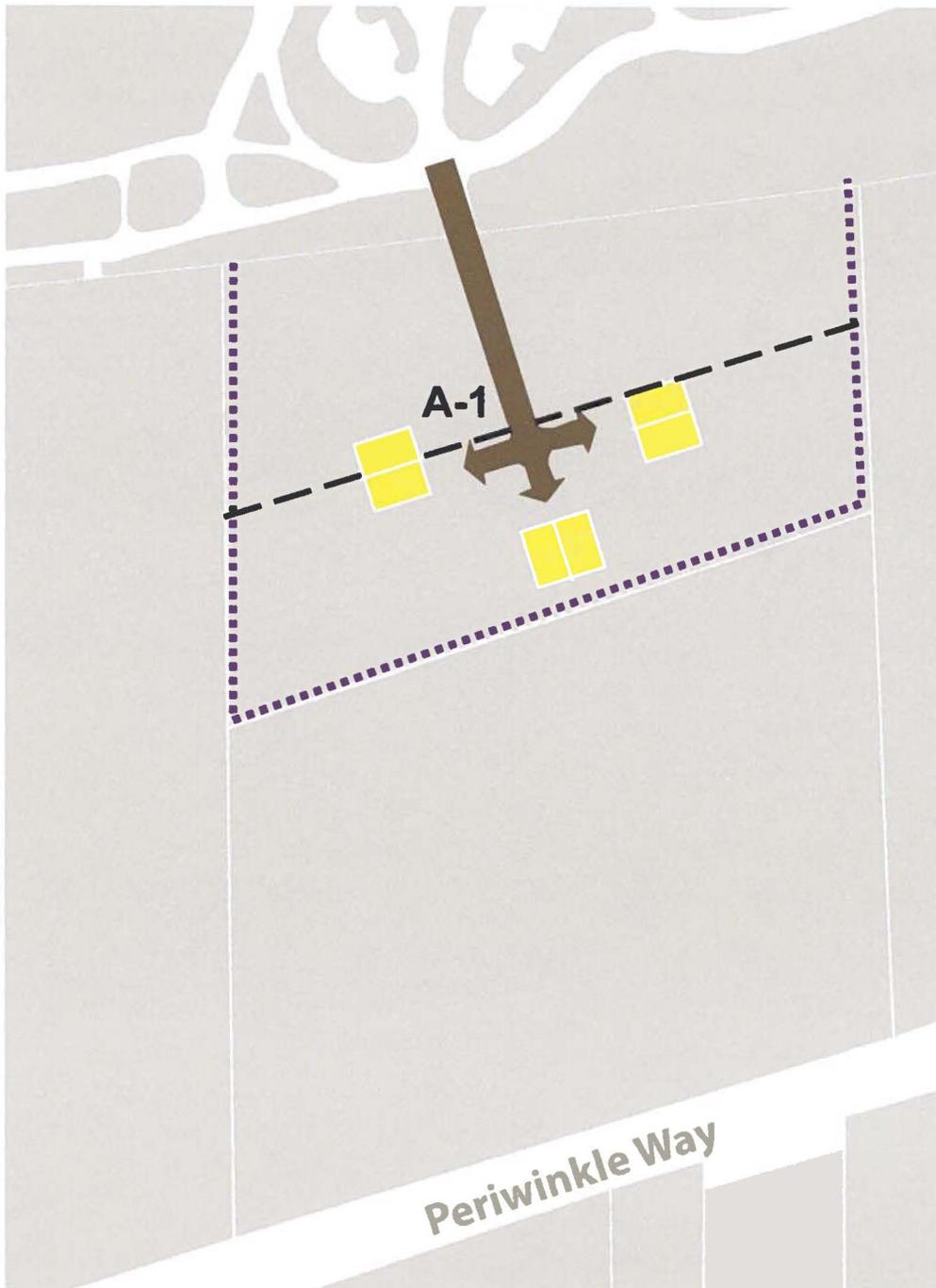
- 6 units @ 1500 SF each

# PERMITTED RESIDENTIAL DEVELOPMENT:

## *Development Intensity*

- 6 units @ 1500 SF each
- 12 units of parking to go under buildings

**FOCUS AREA A: Nave Property**



**FOCUS AREA A: Nave Property**



# PARCEL B INFORMATION

**Parcel Size:**

*5.4 acres (236,500 SF)*

**Zoning District:**

*Town Center General (TCG)*

**Permitted FAR:**

*.12*

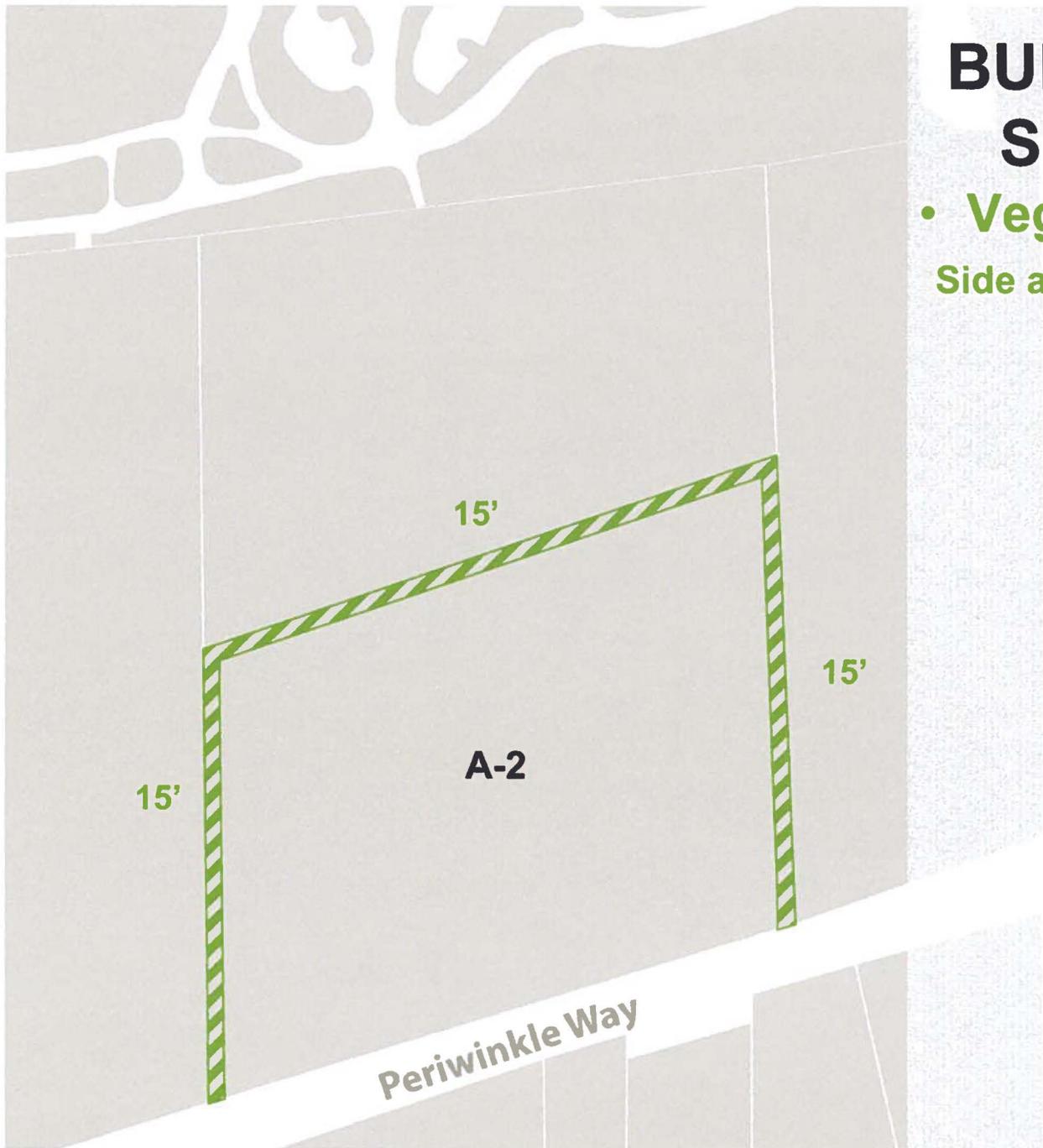
**Permitted Impervious Area\*:**

*2.4 acres (106,400 SF)*

**\*based on 45% impervious rule**

# BUFFERS AND SETBACKS

- **Vegetation Buffer**  
Side and Rear: 15'



**FOCUS AREA A: Nave Property**

**FOCUS AREA A: Nave Property**



# **BUFFERS AND SETBACKS**

- **Vegetation Buffer**

Side and Rear: 15'

Front:

-20' wide

-located between 50' and 90' from centerline



# BUFFERS AND SETBACKS

- **Vegetation Buffer**

Side and Rear: 15'

Front:

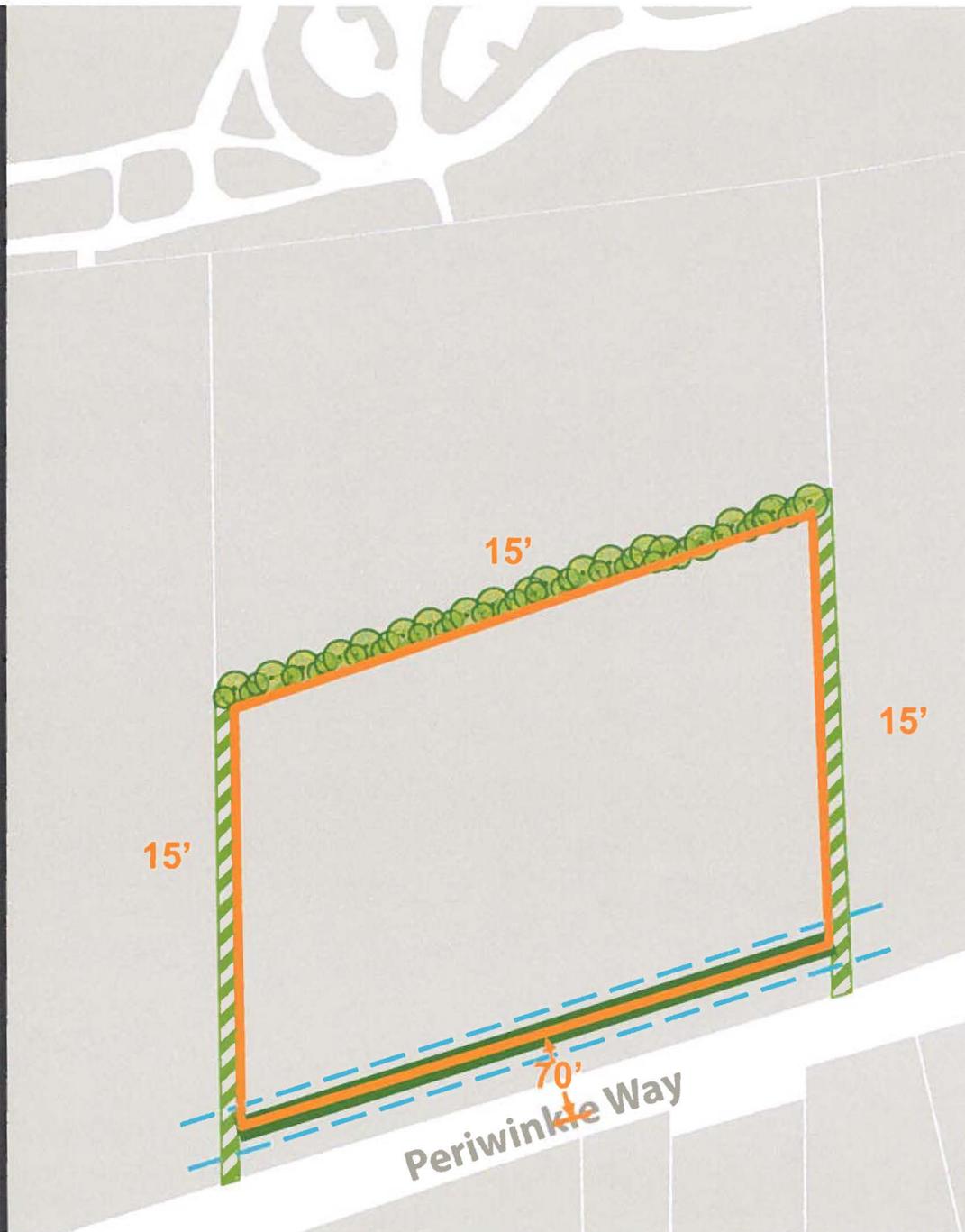
-20' wide

-located between 50' and 90' from centerline

-15' wide vegetated strip separating Residential and Commercial.

FOCUS AREA A: Nave Property

**FOCUS AREA A: Nave Property**



# BUFFERS AND SETBACKS

- **Vegetation Buffer**

Side and Rear: 15'

Front:

-20' wide

-located between 50' and 90' from centerline

-15' wide vegetated strip separating Residential and Commercial

- **Parking Setback**

Side and Rear: 15'

Front:

-70' from centerline of Periwinkle Way

# BUFFERS AND SETBACKS

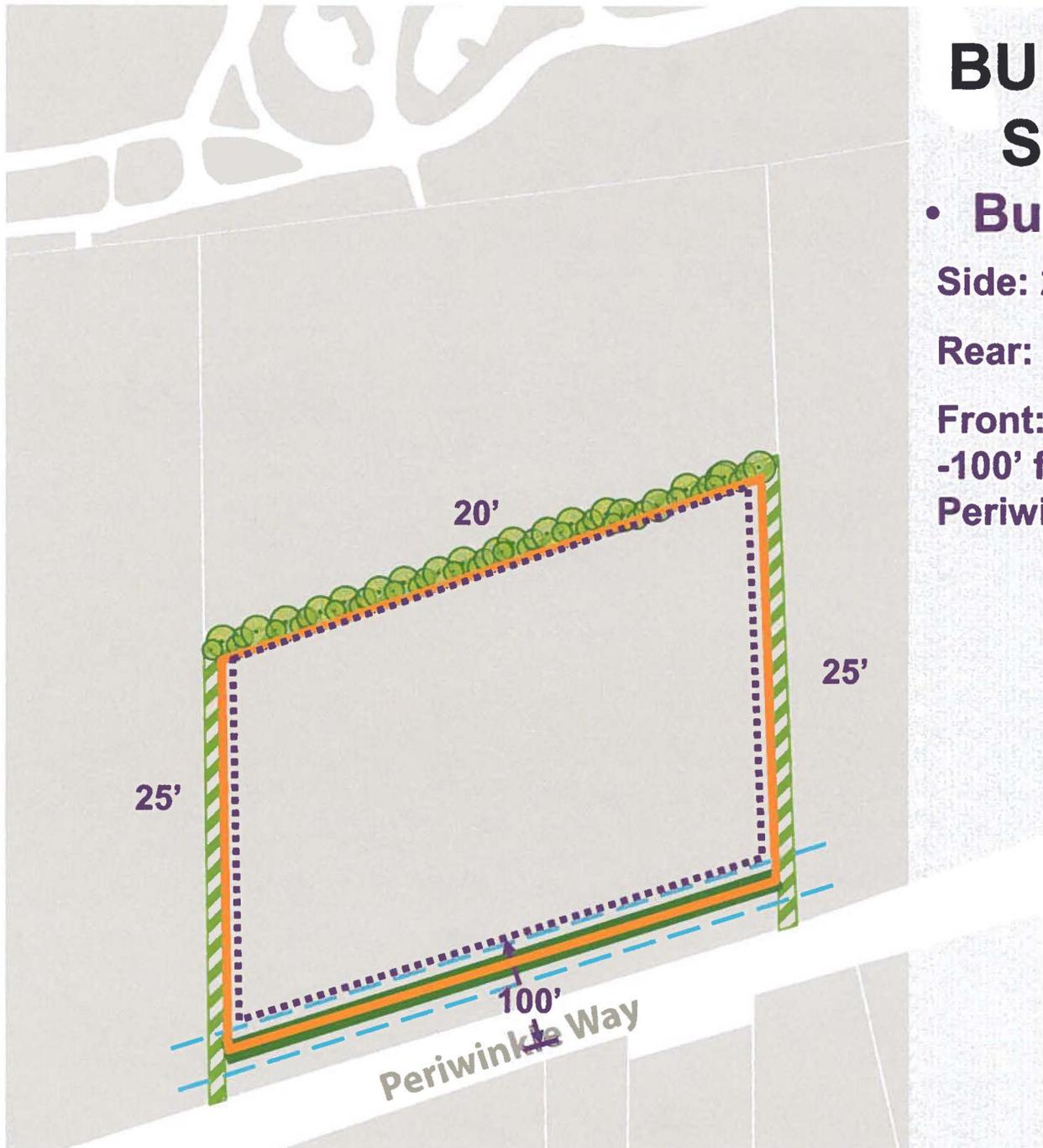
- **Building Setback**

Side: 25'

Rear: 20'

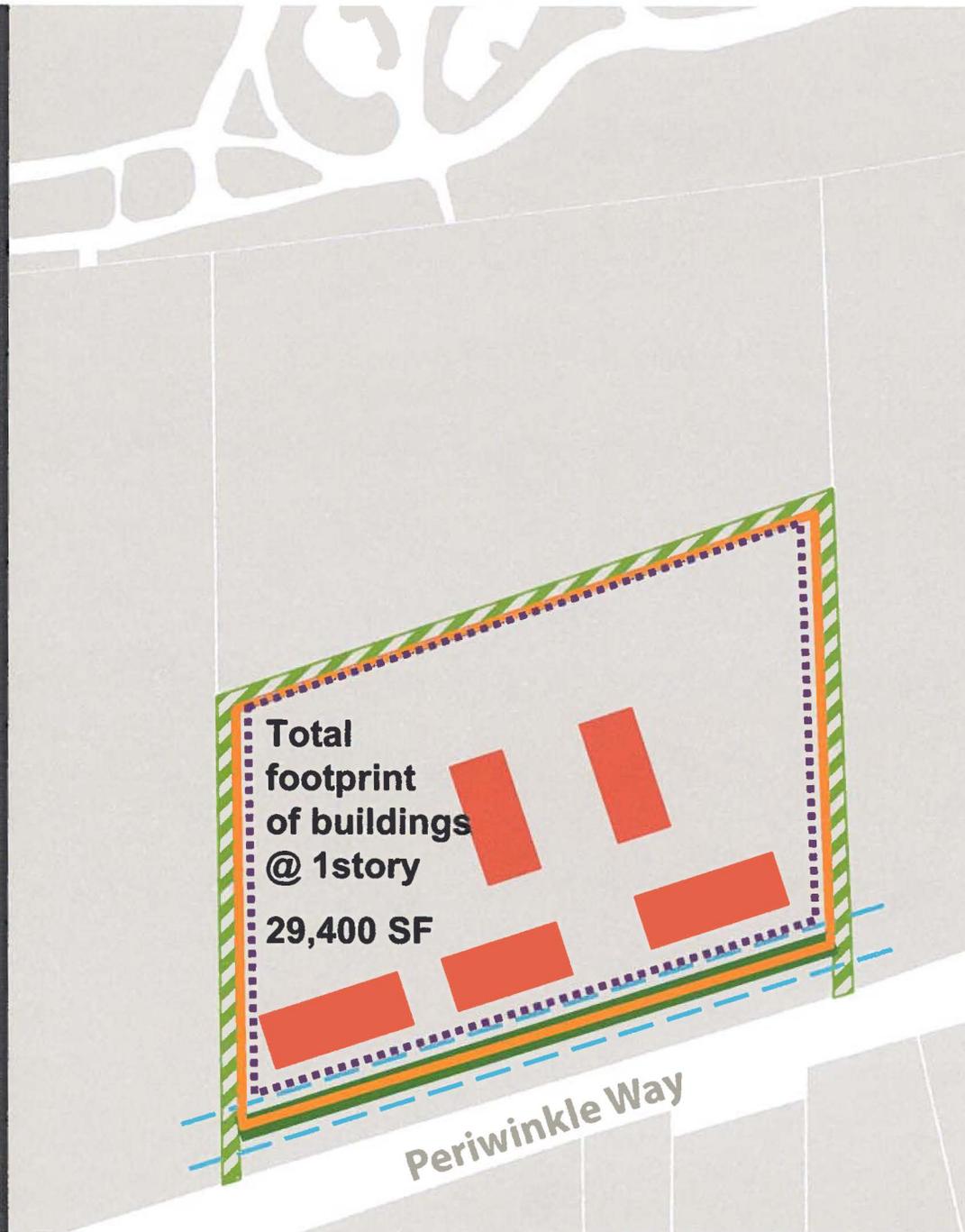
Front:

-100' from centerline of Periwinkle Way



FOCUS AREA A: Nave Property

**FOCUS AREA A: Nave Property**



# PERMITTED COMMERCIAL SPACE

**Zoning District:**

*Town Center General*

**Permitted F.A.R.:**

*.12*

**Permitted Building Size:**

*29,400 SF*

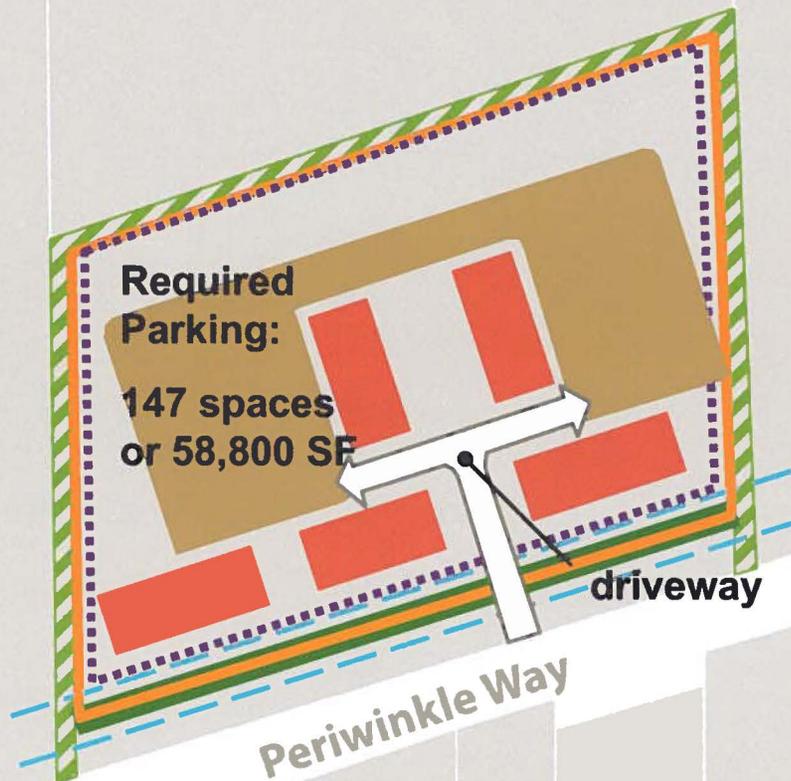
# PARKING REQUIREMENTS

## Building Size:

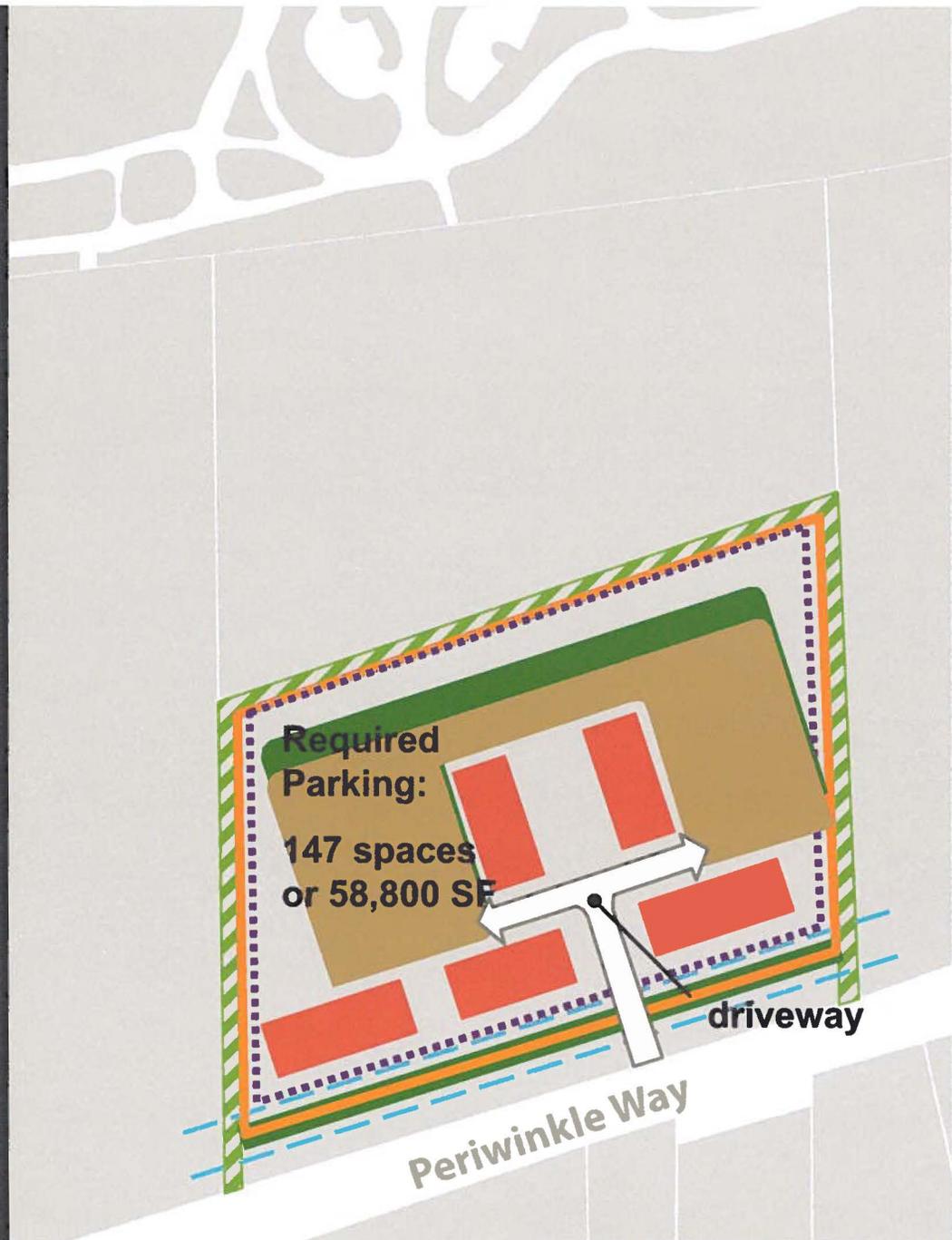
*29,400 SF*

## Required Parking and Loading Spaces (comm. retail/office):

*147 spaces @400 SF each OR 58,800 SF of parking*



**FOCUS AREA A: Nave Property**



# **PARKING REQUIREMENTS**

## **Building Size:**

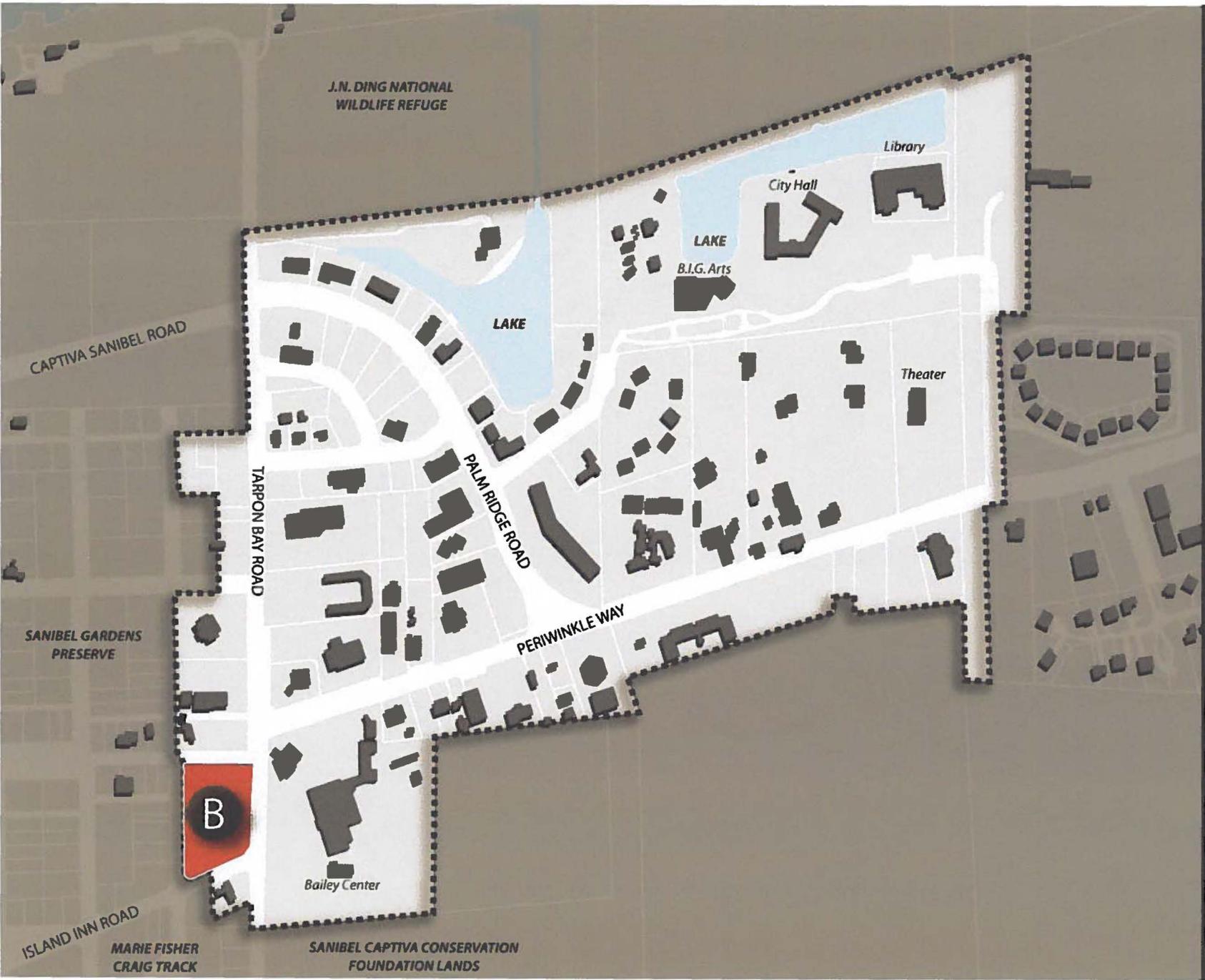
*29,400 SF*

## **Required Parking and Loading Spaces (comm. retail/office):**

*147 spaces @400 SF each OR 58,800 SF of parking*

## **Required Interior Landscaping:**

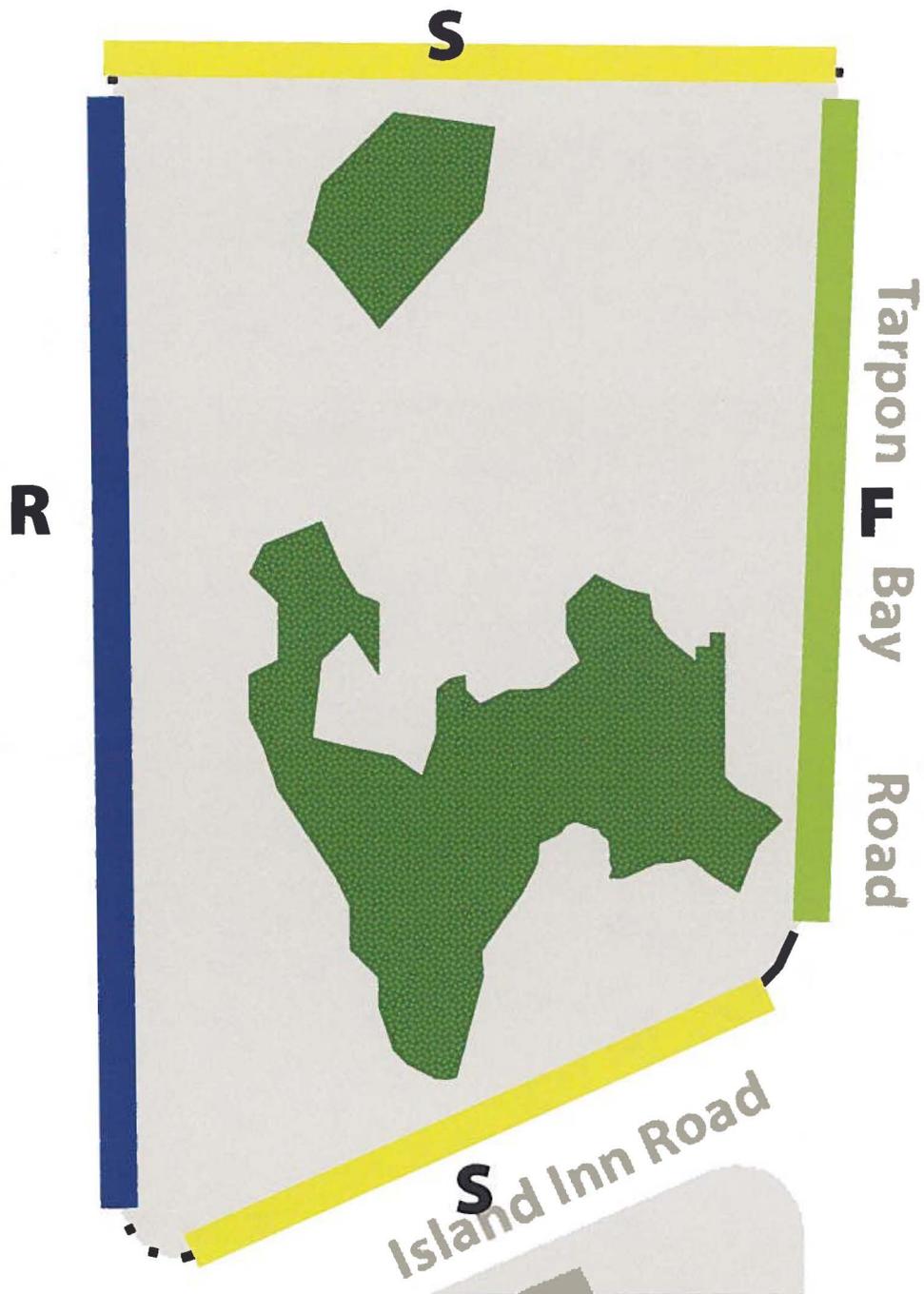
*20 SF/space OR 2940 SF*



**FOCUS AREA B: Baileys Center LLP**



**FOCUS AREA B: Baileys Center LLP**



**PARCEL INFORMATION**

**Parcel Size:**

*2.2 acres (96,800 SF)*

**Zoning District:**

*Town Center General (TCG)*

**Permitted FAR:**

*.12*

**Permitted Impervious Area\*:**

*1 acre (43,560 SF)*

**\*based on 45% impervious rule**

**Existing Vegetation:**

*12,000 SF OR .28 acres  
OR 13% of site*



# **BUFFERS AND SETBACKS**

**FOCUS AREA B: Baileys Center LLP**

**FOCUS AREA B: Baileys Center LLP**



Tarpon Bay Road

# **BUFFERS AND SETBACKS**

- **Vegetation Buffer**
  - equals .45 acres OR 19,800 SF OR 20% of site



Tarpon Bay Road

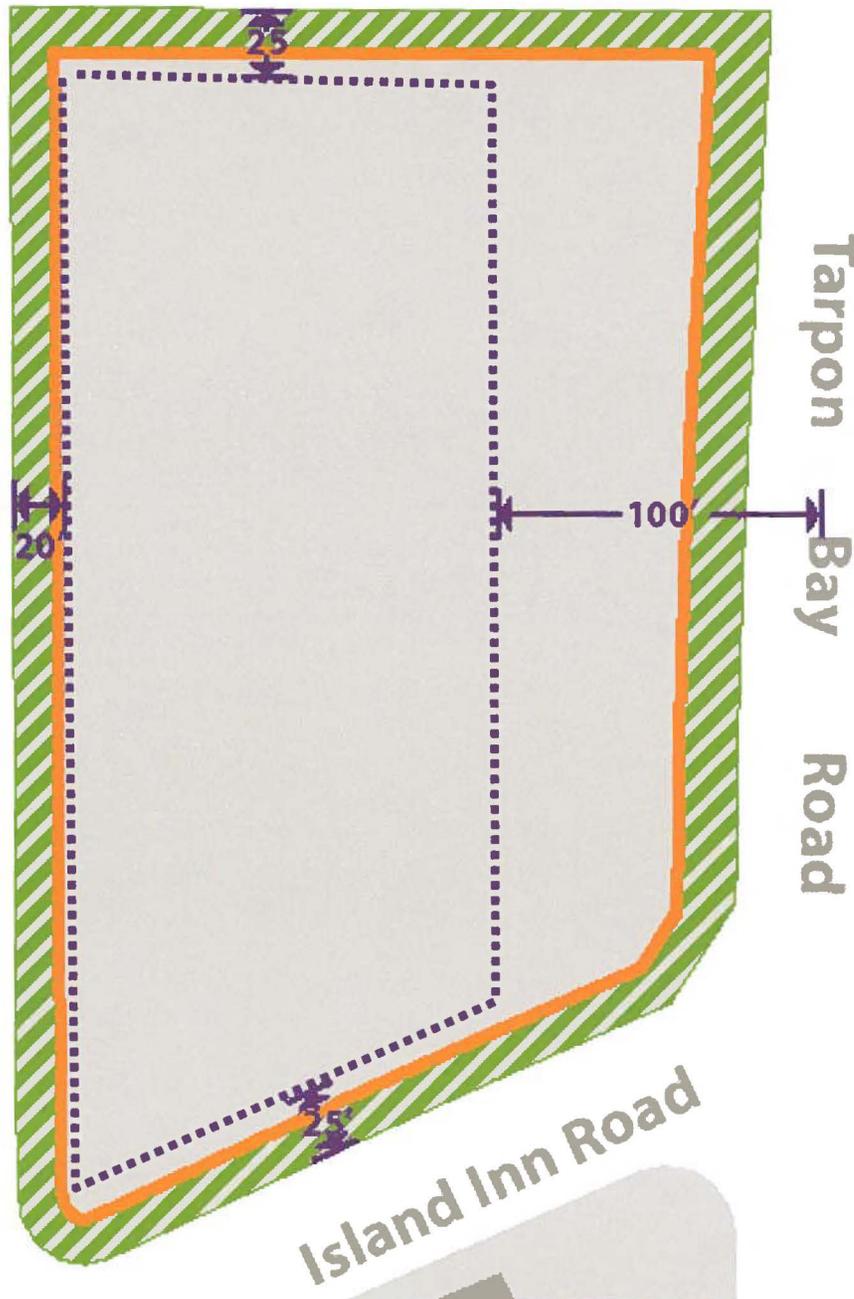
Island Inn Road

# BUFFERS AND SETBACKS

- **Vegetation Buffer**
  - equals .45 acres OR 19,800 SF OR 20% of site
- **Parking Setback**

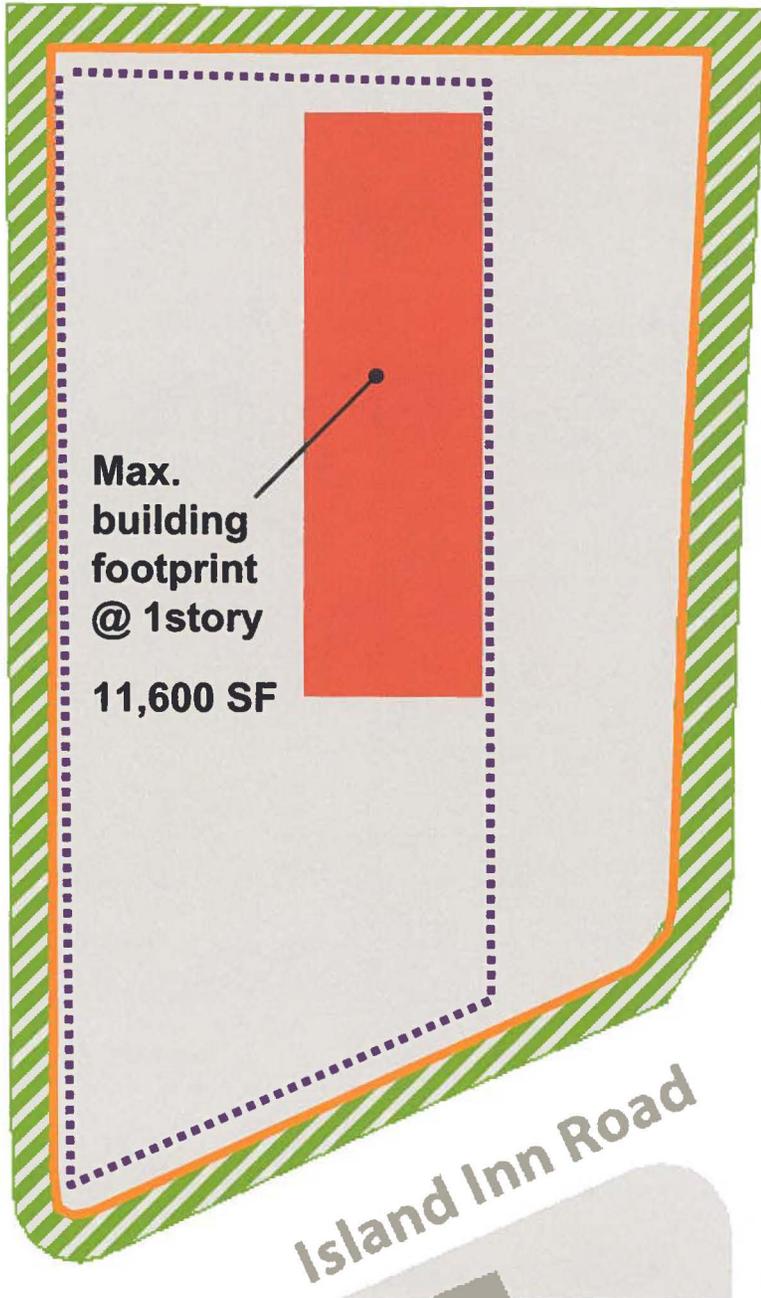
FOCUS AREA B: Baileys Center LLP

## FOCUS AREA B: Baileys Center LLP



## BUFFERS AND SETBACKS

- **Vegetation Buffer**
  - equals .45 acres OR 19,800 SF OR 20% of site
- **Parking Setback**
- **Building Setback**
  - buildable area equals 1.2 acres OR 50,500 SF OR 55% of site



Tarpon Bay Road

Island Inn Road

# PERMITTED COMMERCIAL SPACE

**Zoning District:**

*Town Center General*

**Permitted F.A.R.:**

*.12*

**Permitted Building Size:**

*11,600 SF*

**NOTE:** examples do not incorporate flood elevation restrictions

**FOCUS AREA B: Baileys Center LLP**

**FOCUS AREA B: Baileys Center LLP**



# PARKING REQUIREMENTS

**Building Size:**

*11,600 SF*

**Required Parking and Loading Spaces (comm. retail/office):**

*60 spaces @400 SF each  
OR 24,000 SF of parking*



## PARKING REQUIREMENTS

### Building Size:

11,600 SF

### Required Parking and Loading Spaces (comm. retail/office):

60 spaces @400 SF each  
OR 24,000 SF of parking

### Required Interior Landscaping:

20 SF/space  
OR 1200 SF

FOCUS AREA B: Baileys Center LLP

**FOCUS AREA B: Baileys Center LLP**



## What's Left?

### Parcel Size:

96,800 SF (2.2 acres)

**\*\*45% impervious surface rule allows 45,560 SF to be developed\*\***

### Impervious Areas:

Building (11,600 SF)

+

Parking (24,000 SF)

= 35,600 SF OR 37% of parcel

### Remaining:

9,960 SF

(45,560SF - 35,600SF)



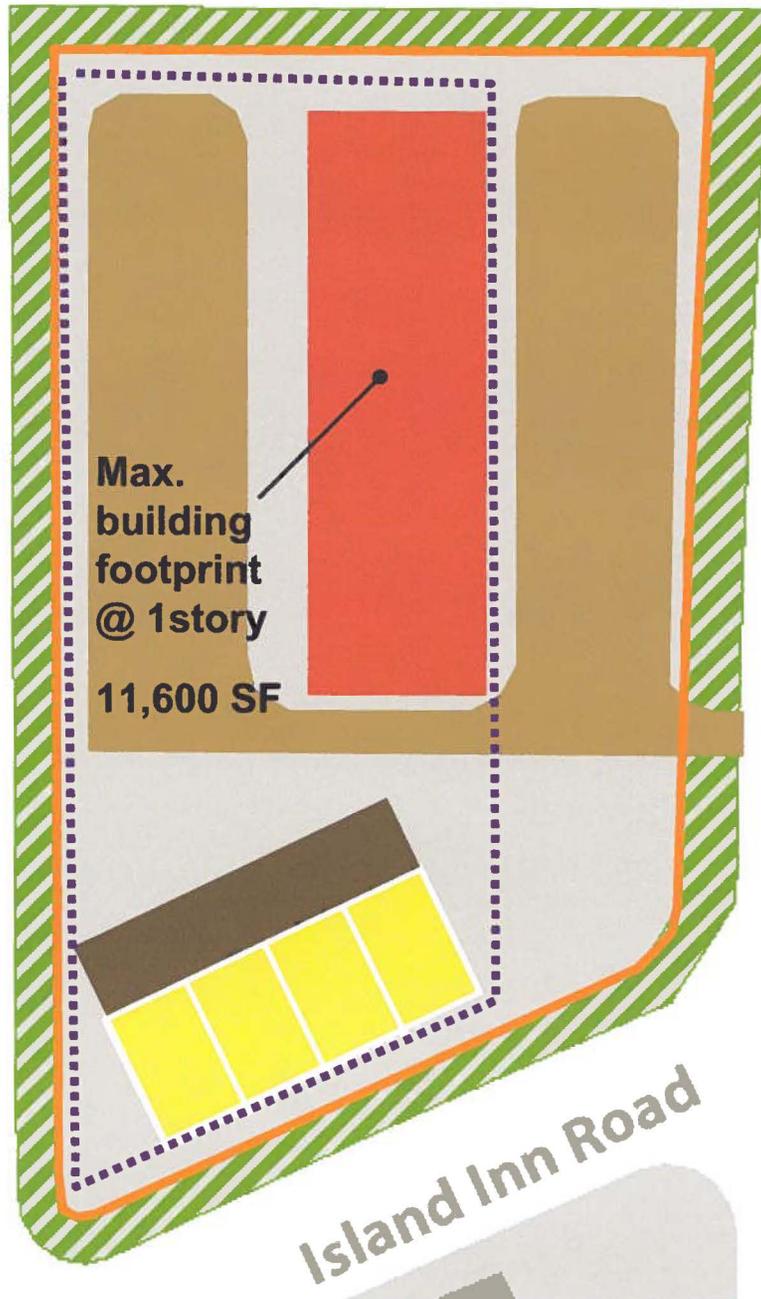
Tarpon Bay Road

Island Inn Road

# Mixed Use Configuration

FOCUS AREA B: Baileys Center LLP

**FOCUS AREA B: Baileys Center LLP**



Tarpon Bay Road

Island Inn Road

**Mixed Use Configuration:  
Below Market Rate Housing**

**Commercial/Retail**

11,600 SF (no reduction in SF with BMR housing)

**Commercial/Retail Parking**

24,000 SF (60 spaces)

**Below Market Rate Housing Structures**

6,000 SF total  
(4 @ 1,500 SF each)

**Residential Parking**

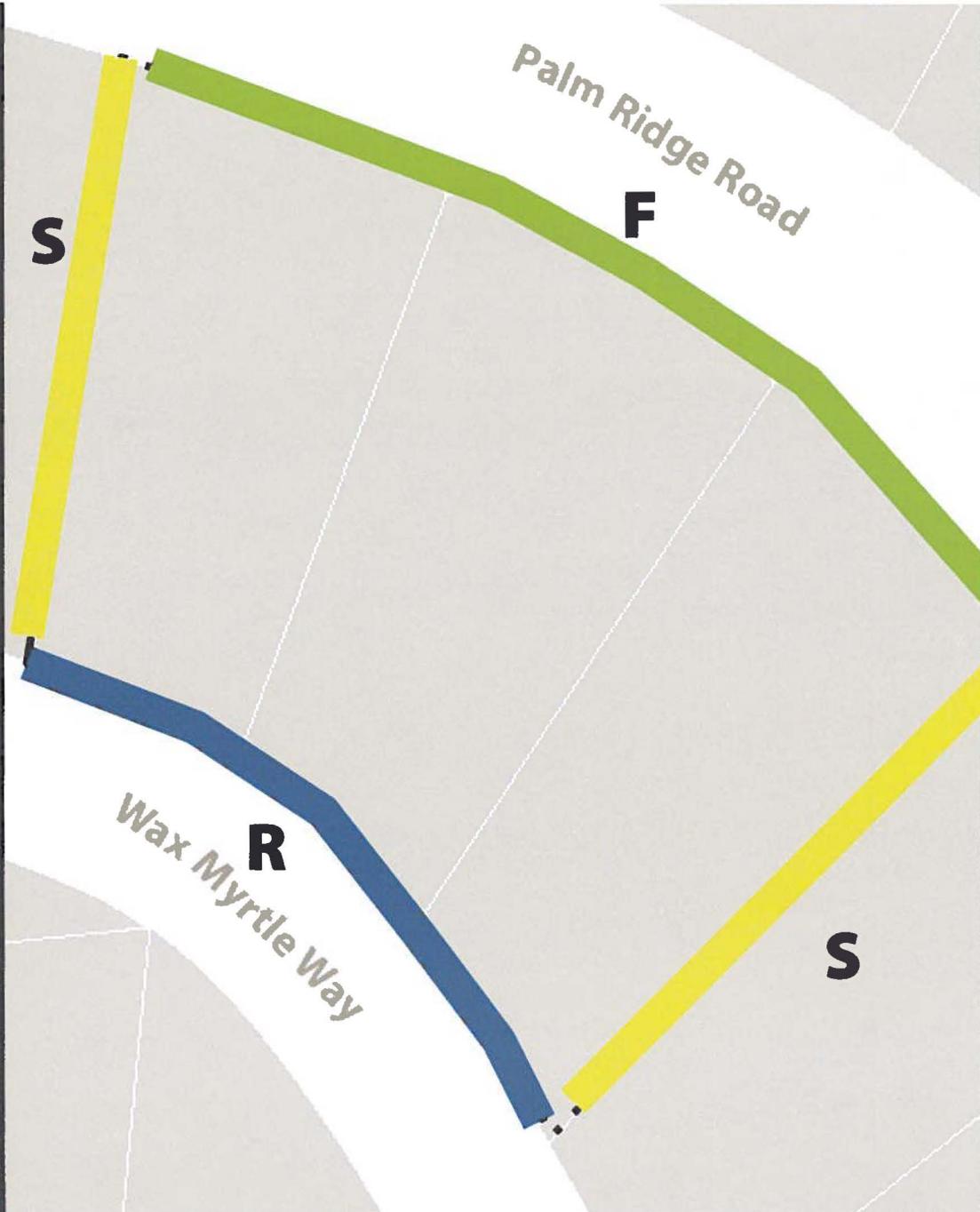
8 spaces or 3,200 SF total)



# FOCUS AREA C: Cross Properties



**FOCUS AREA C: Cross Properties**



**PARCEL INFORMATION**

**Parcel Size:**

*1.3 acres (56,800 SF)*

**Zoning District:**

*Town Center General (TCG)*

**Permitted FAR:**

*.12*

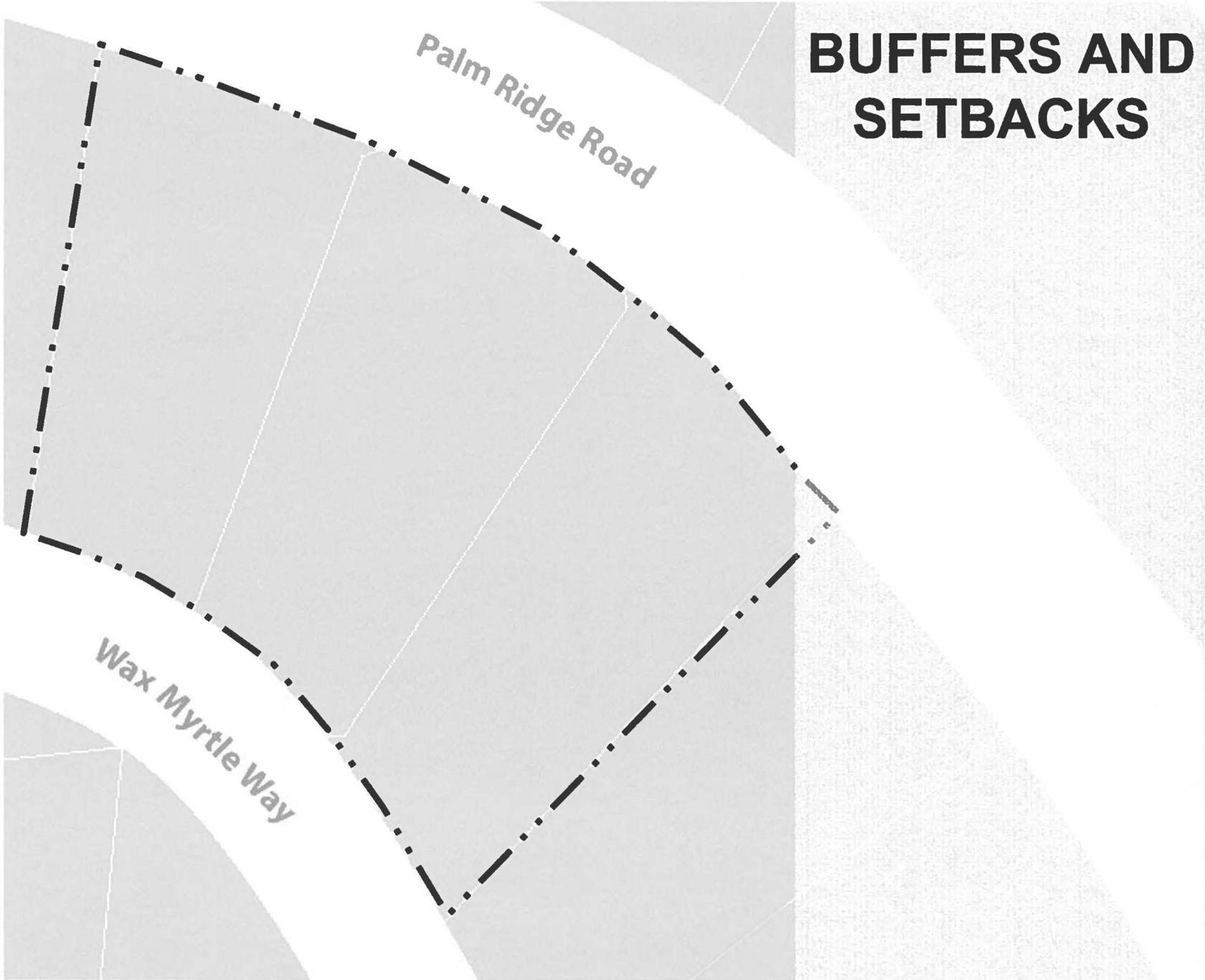
**Permitted Impervious Area\*:**

*.6 acres (25,550 SF)*

*\*based on 45% impervious rule*

# BUFFERS AND SETBACKS

**FOCUS AREA C: Cross Properties**



**FOCUS AREA C: Cross Properties**

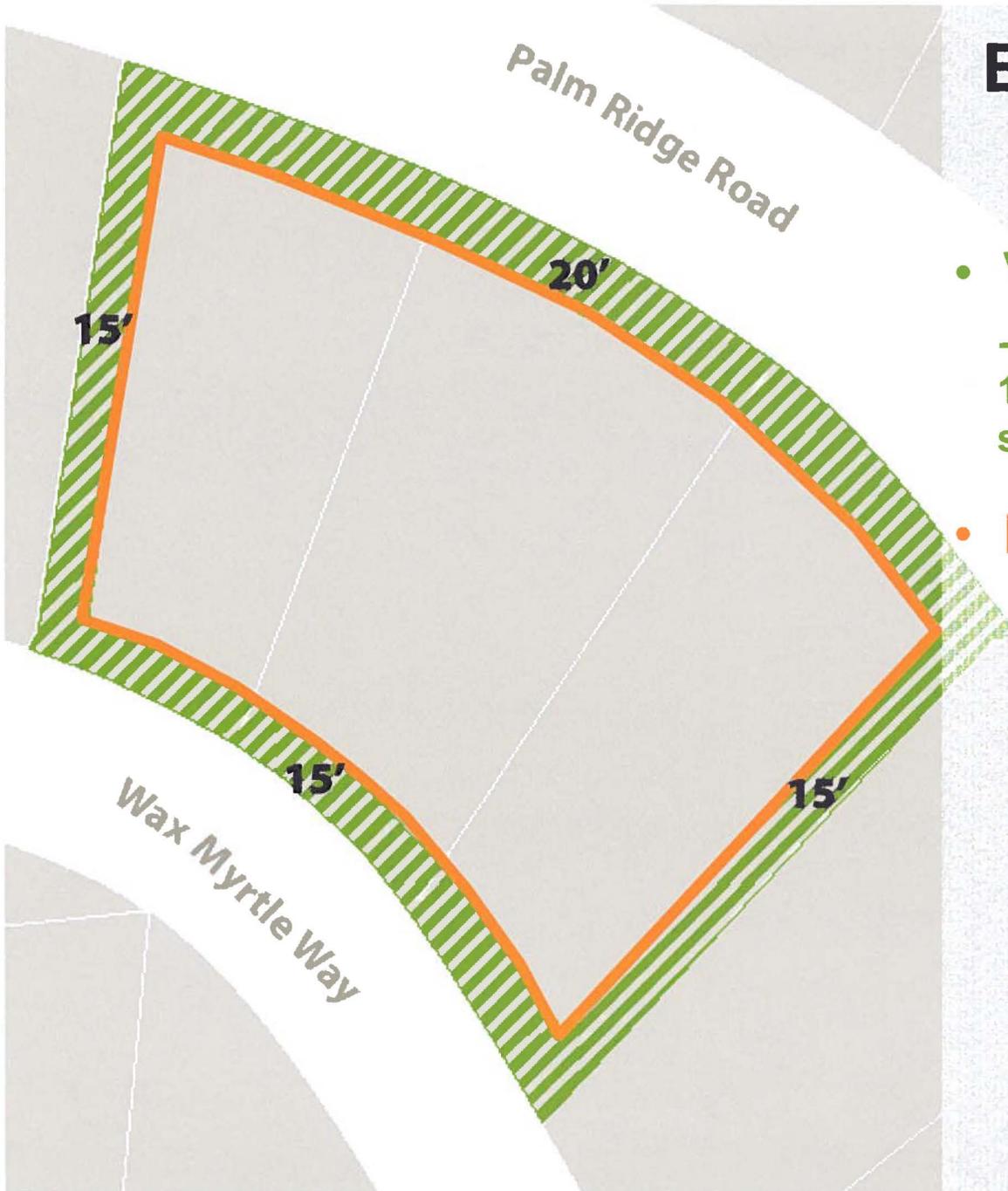


# **BUFFERS AND SETBACKS**

- **Vegetation Buffer**
  - equals .36 acres OR 15,600 SF OR 28% of site

# BUFFERS AND SETBACKS

- **Vegetation Buffer**
  - equals .36 acres OR 15,600 SF OR 28% of site
- **Parking Setback**

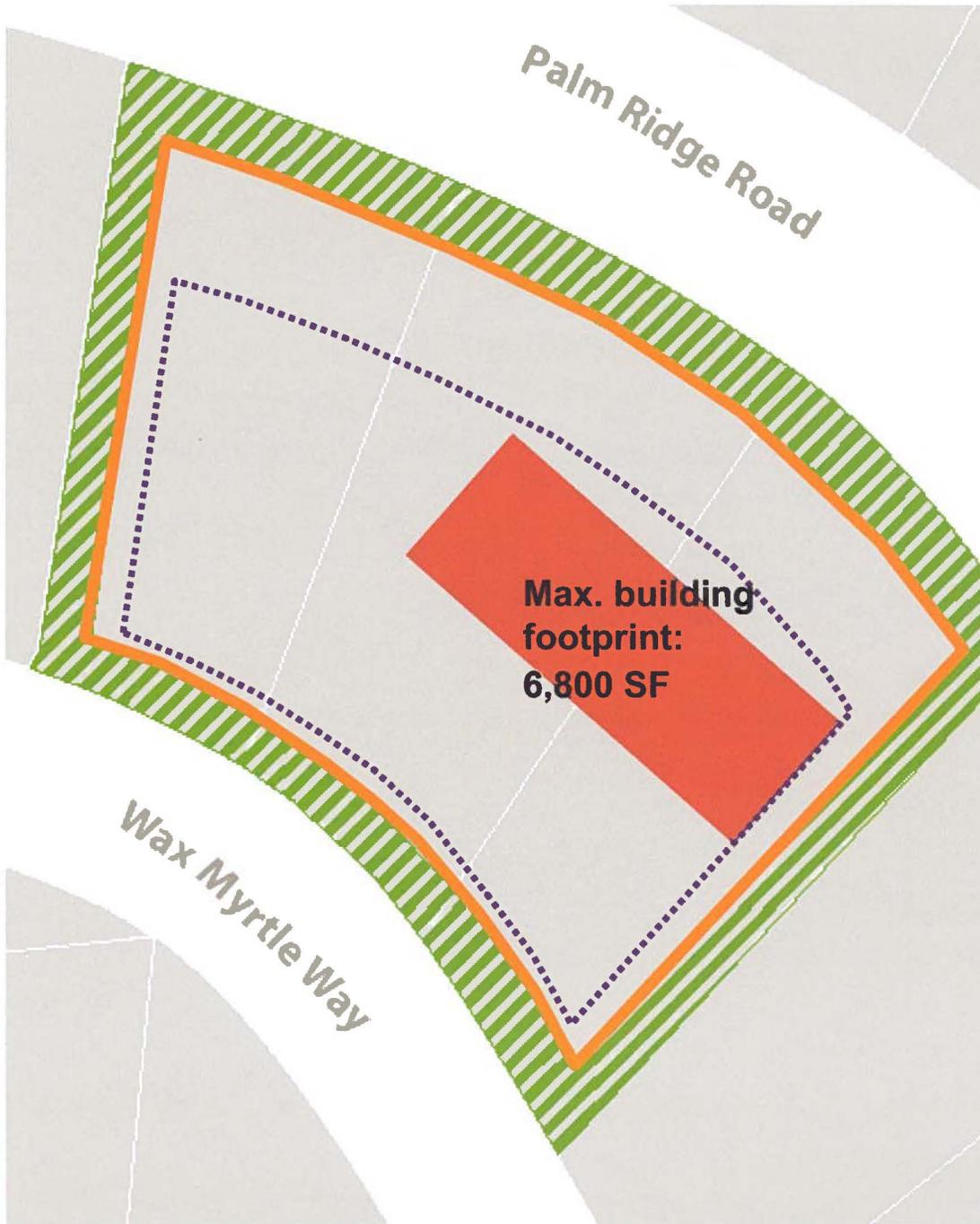


**FOCUS AREA C: Cross Properties**



# BUFFERS AND SETBACKS

- **Vegetation Buffer**
  - equals .36 acres OR 15,600 SF OR 28% of site
- **Parking Setback**
- **Building Setback**
  - buildable area equals .6 acres OR 26,000 SF OR 46% of site



Palm Ridge Road

Wax Myrtle Way

Max. building footprint:  
6,800 SF

# PERMITTED COMMERCIAL SPACE

**Zoning District:**  
*Town Center General*

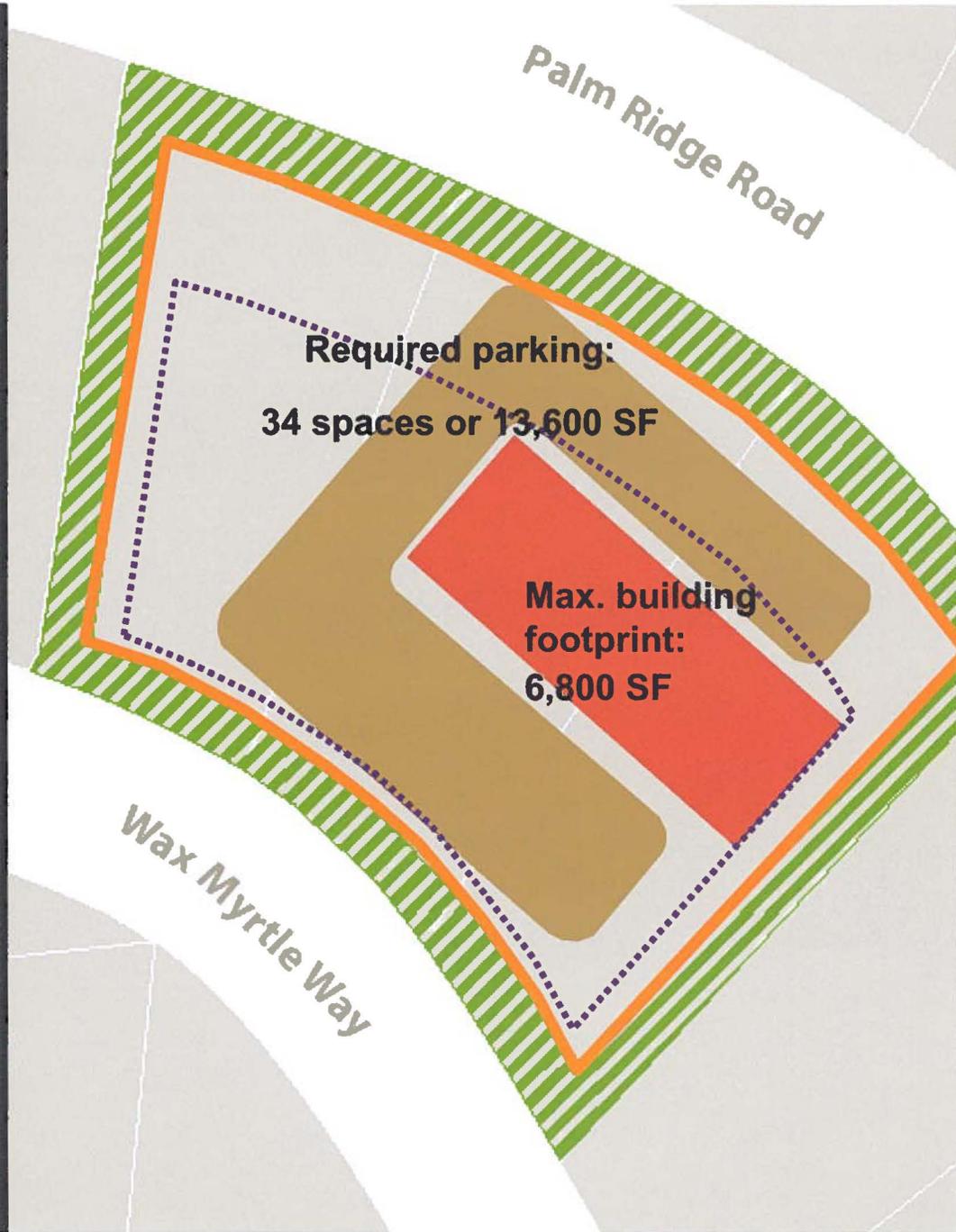
**Permitted F.A.R.:**  
.12

**Permitted Building Size:**  
6,800 SF

**NOTE:** examples do not incorporate flood elevation restrictions

**FOCUS AREA C: Cross Properties**

**FOCUS AREA C: Cross Properties**



# PARKING REQUIREMENTS

**Building Size:**

*6,800 SF*

**Required Parking and Loading Spaces (comm. retail/office):**

*34 spaces @400 SF each*

*OR 13,600 SF of parking*

# PARKING REQUIREMENTS

## Building Size:

*6,800 SF*

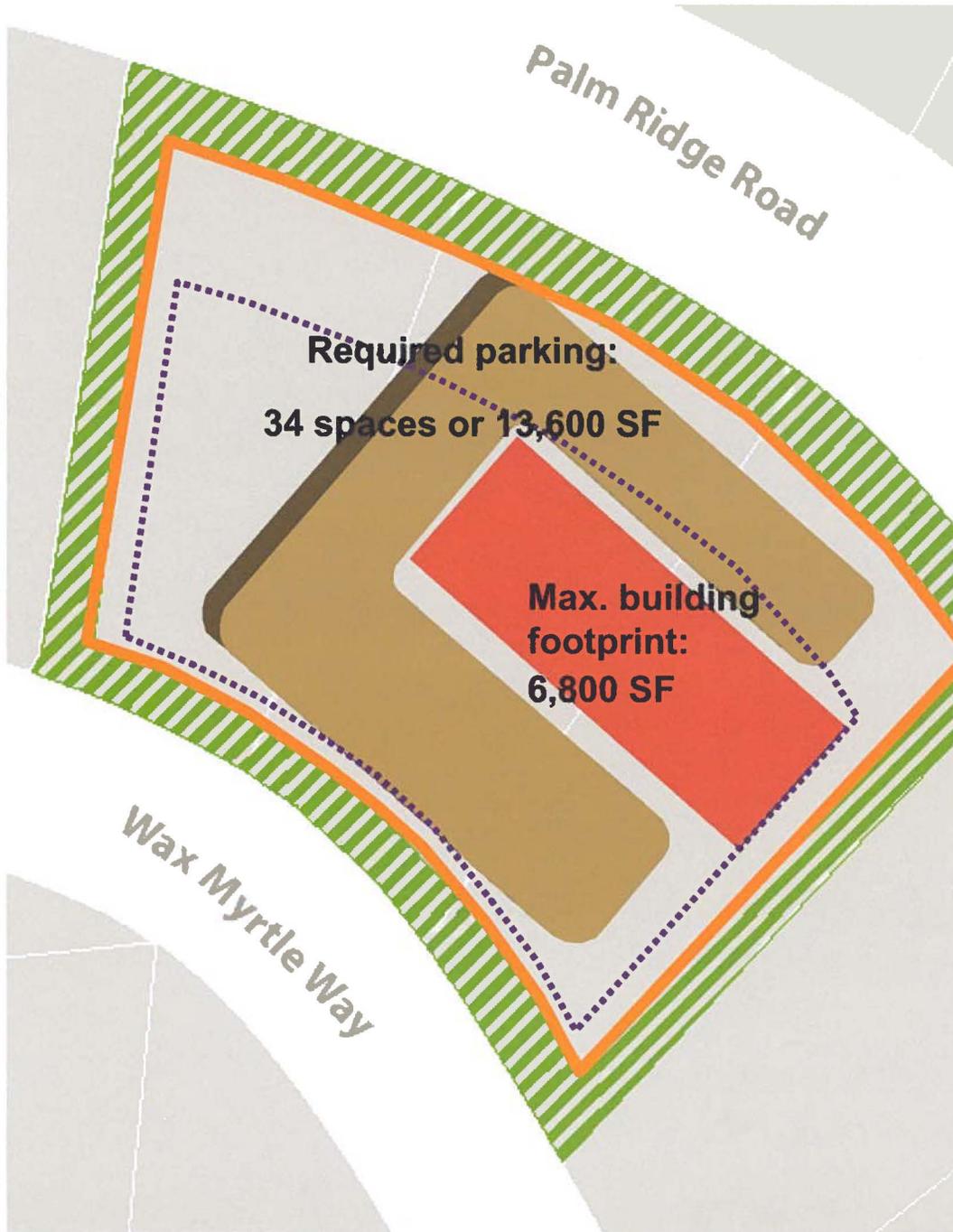
## Required Parking and Loading Spaces (comm. retail/office):

*34 spaces @400 SF each  
OR 13,600 SF of parking*

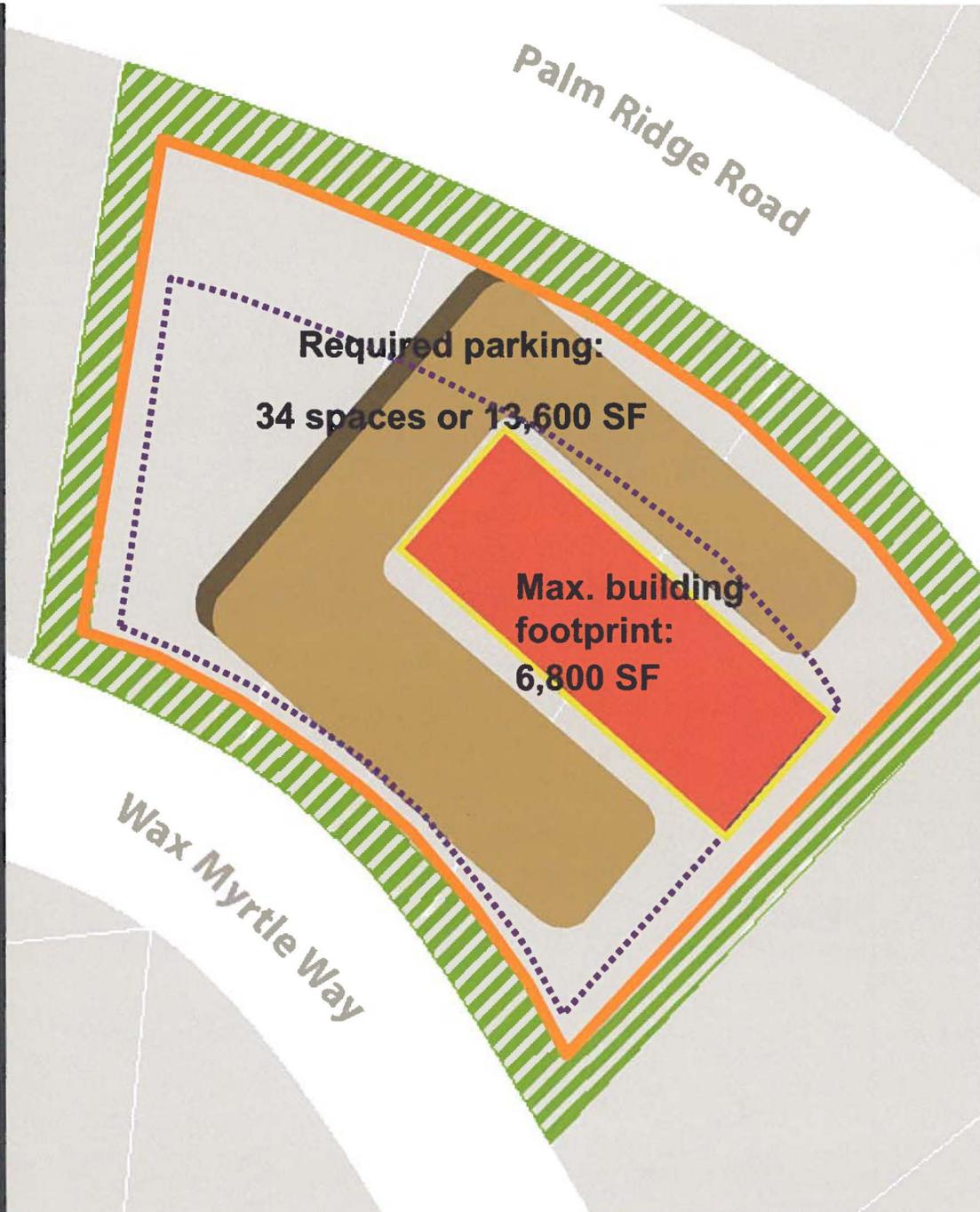
## Required Interior Landscaping:

*20 SF/space  
OR 680 SF*

**FOCUS AREA C: Cross Properties**



**FOCUS AREA C: Cross Properties**

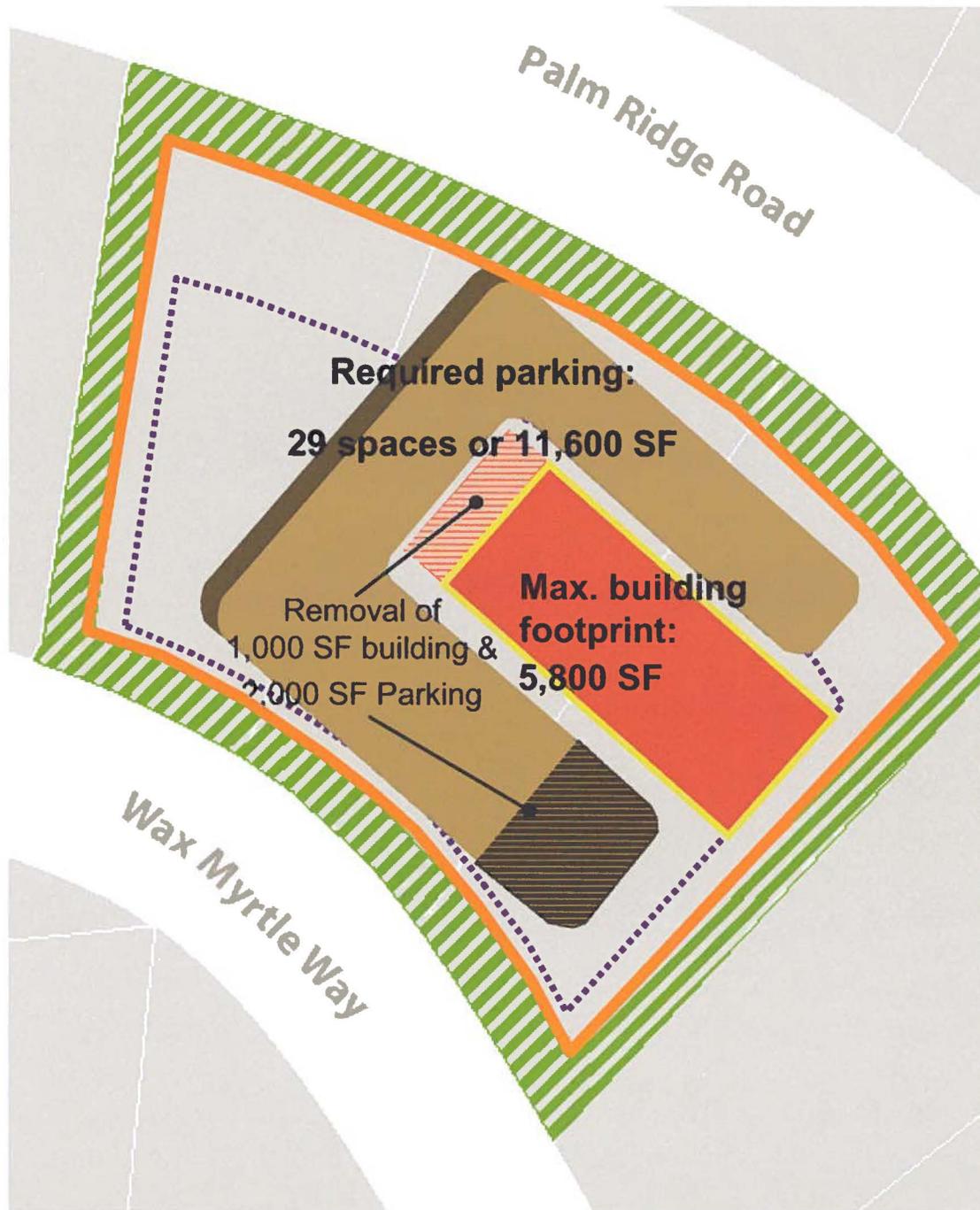


# Mixed Use Configuration Requirements

**\*\*For every 1 unit of market rate housing, the maximum allowable SF of commercial is reduced by 1000 SF**

**Max Commercial Building Size with no Market Res units:**

6,800



# Mixed Use Configuration Requirements

**\*\*For every 1 unit of market rate housing, the maximum allowable SF of commercial is reduced by 1000 SF**

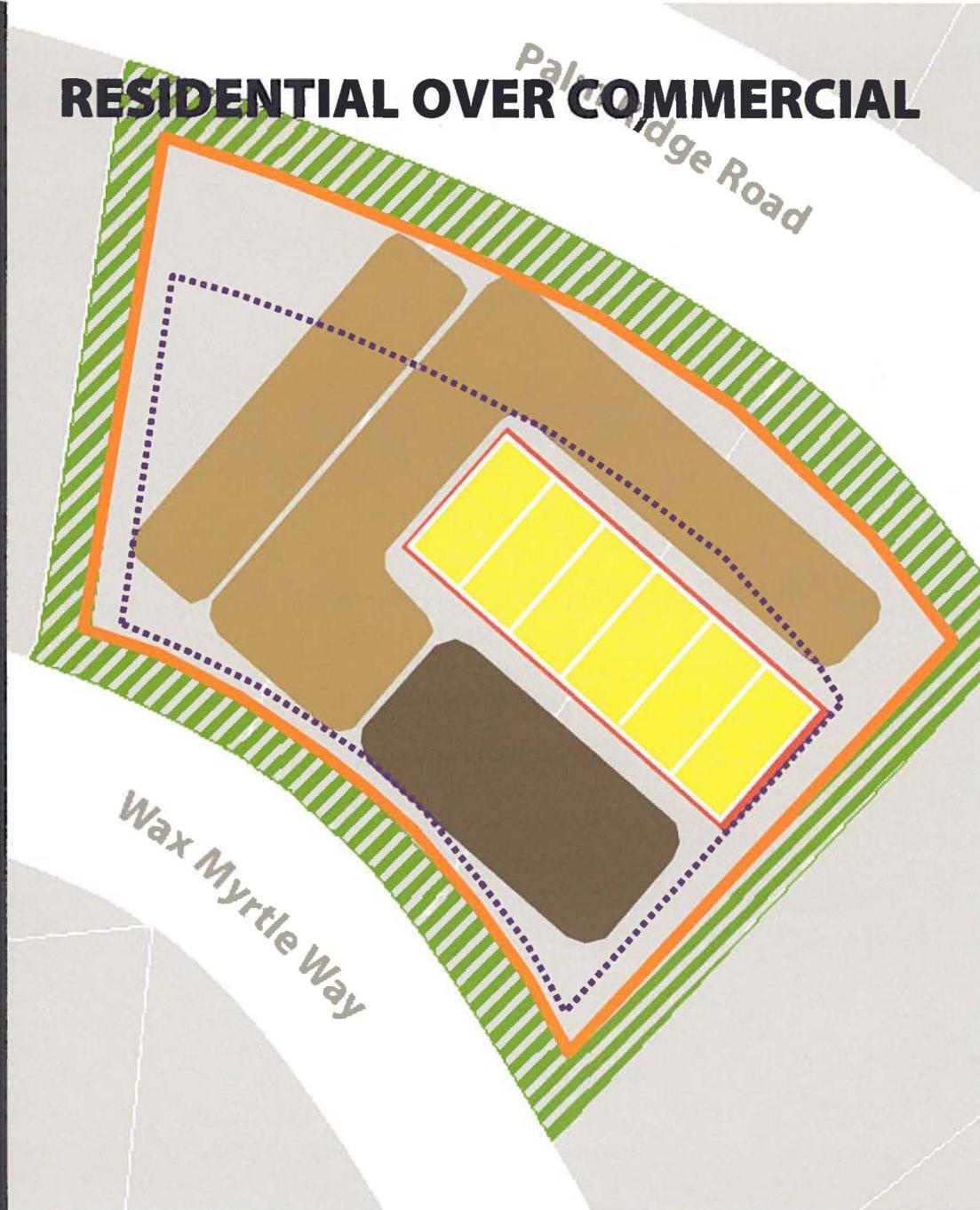
**Max. Commercial Building Size with no Market Res. units:**

6,800

**Max. Commercial Building Size with 1 Market Res. unit:**

5,800

**RESIDENTIAL OVER COMMERCIAL**



**Mixed Use  
Configuration:  
Below Market  
Rate Housing**

**Commercial/Retail**

6,800 SF

**Commercial/Retail  
Parking**

13,600 SF

34 spaces

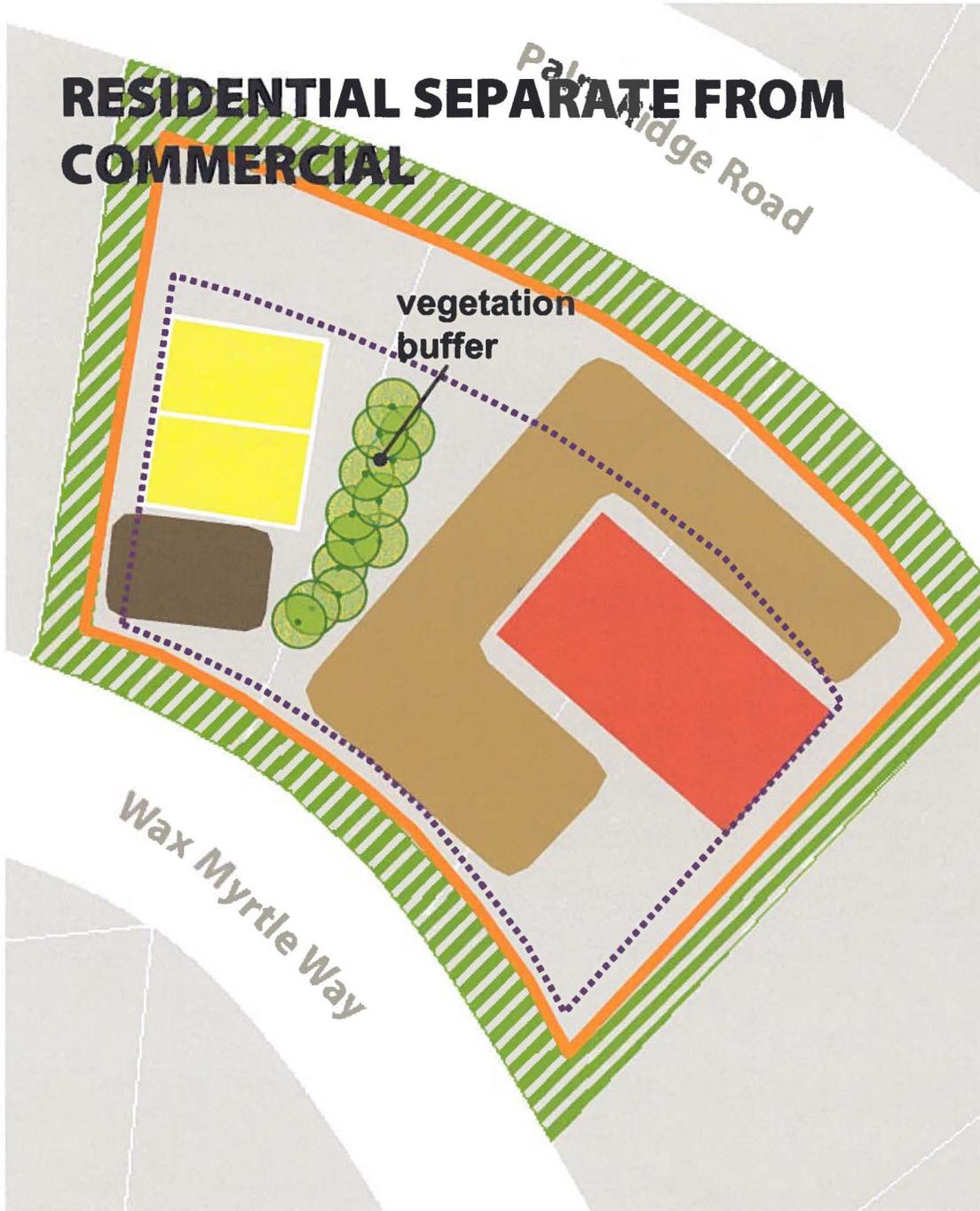
**Below Market Rate  
Housing Structures**

6,600 SF total  
(6 @ 1,100 SF each)

**Residential Parking**

12 spaces OR  
4,800 SF total

**RESIDENTIAL SEPARATE FROM  
COMMERCIAL**



**Mixed Use  
Configuration:  
Market Rate  
Housing**

**Commercial/Retail**

6,800 SF → 4,800 SF

**Commercial/Retail  
Parking**

13,600 SF → 9,600 SF

34 spaces → 24 spaces

**Market Rate Housing  
Structures**

4,800 SF total

(2 @ 1,500 SF each)

**Residential Parking**

4 spaces OR

1,600 SF total

**FOCUS AREA C: Cross Properties**

**RESIDENTIAL ONLY**



**Residential Configuration:**



J.N. DING NATIONAL  
WILDLIFE REFUGE

Library

City Hall

LAKE  
B.I.G. Arts

LAKE

Theater

CAPTIVA SANIBEL ROAD

TARPON BAY ROAD

D

PALM RIDGE ROAD

PERIWINKLE WAY

SANIBEL GARDENS  
PRESERVE

Bailey Center

ISLAND INN ROAD

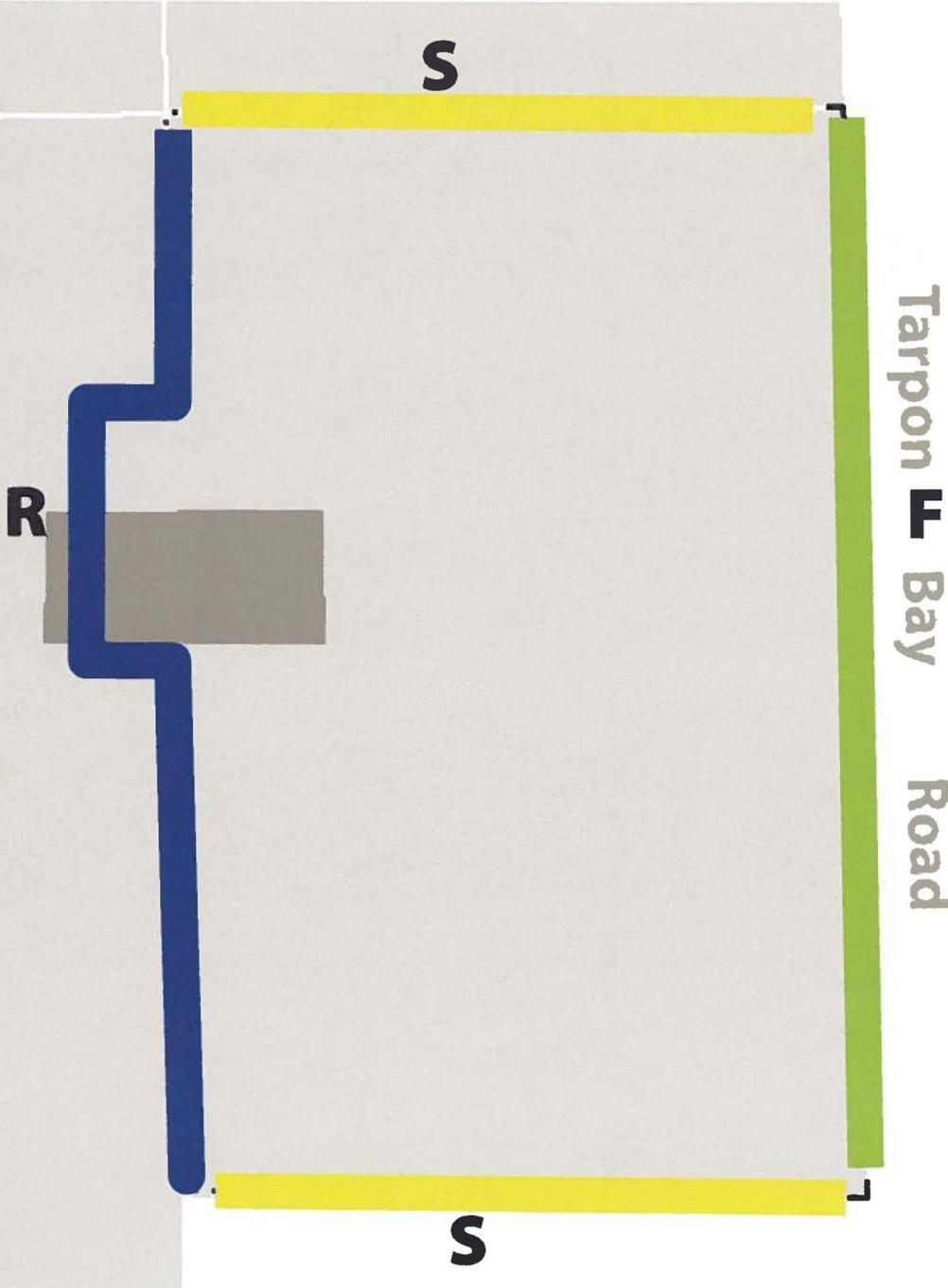
MARIE FISHER  
CRAIG TRACK

SANIBEL CAPTIVA CONSERVATION  
FOUNDATION LANDS

0  
500  
1,000  
N

**FOCUS AREA D: Jean Paul's French Corner**

**FOCUS AREA D: Jean Paul's French Corner**



# PARCEL INFORMATION

**Parcel Size:**

*.62 acres (26,900 SF)*

**Zoning District:**

*Town Center General (TCG)*

**Permitted FAR:**

*.12*

**Permitted Impervious Area\*:**

*.28 acres (12,100 SF)*

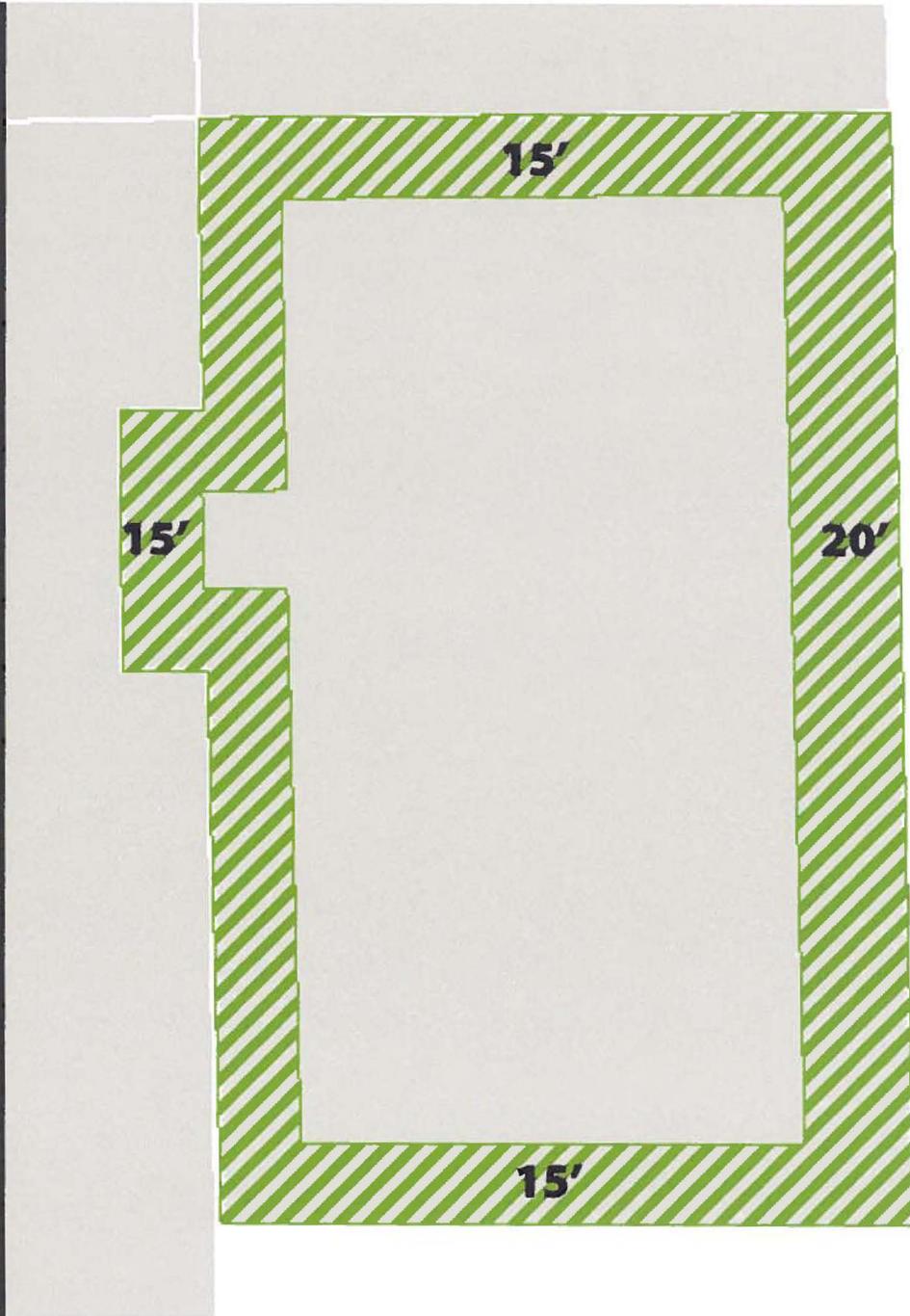
**\*based on 45% impervious rule**

# **BUFFERS AND SETBACKS**

**Tarpon Bay Road**

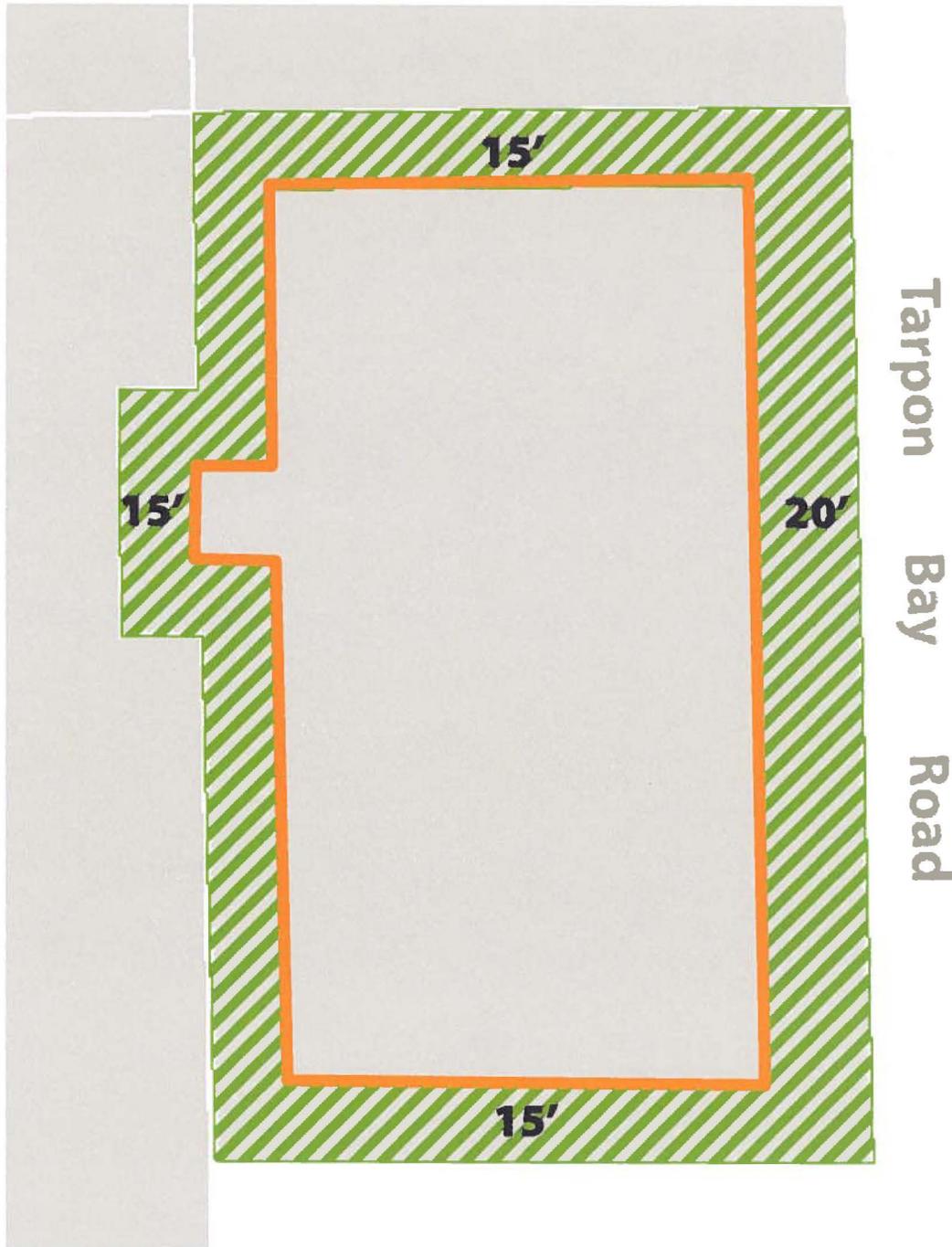


**FOCUS AREA D: Jean Paul's French Corner**



## **BUFFERS AND SETBACKS**

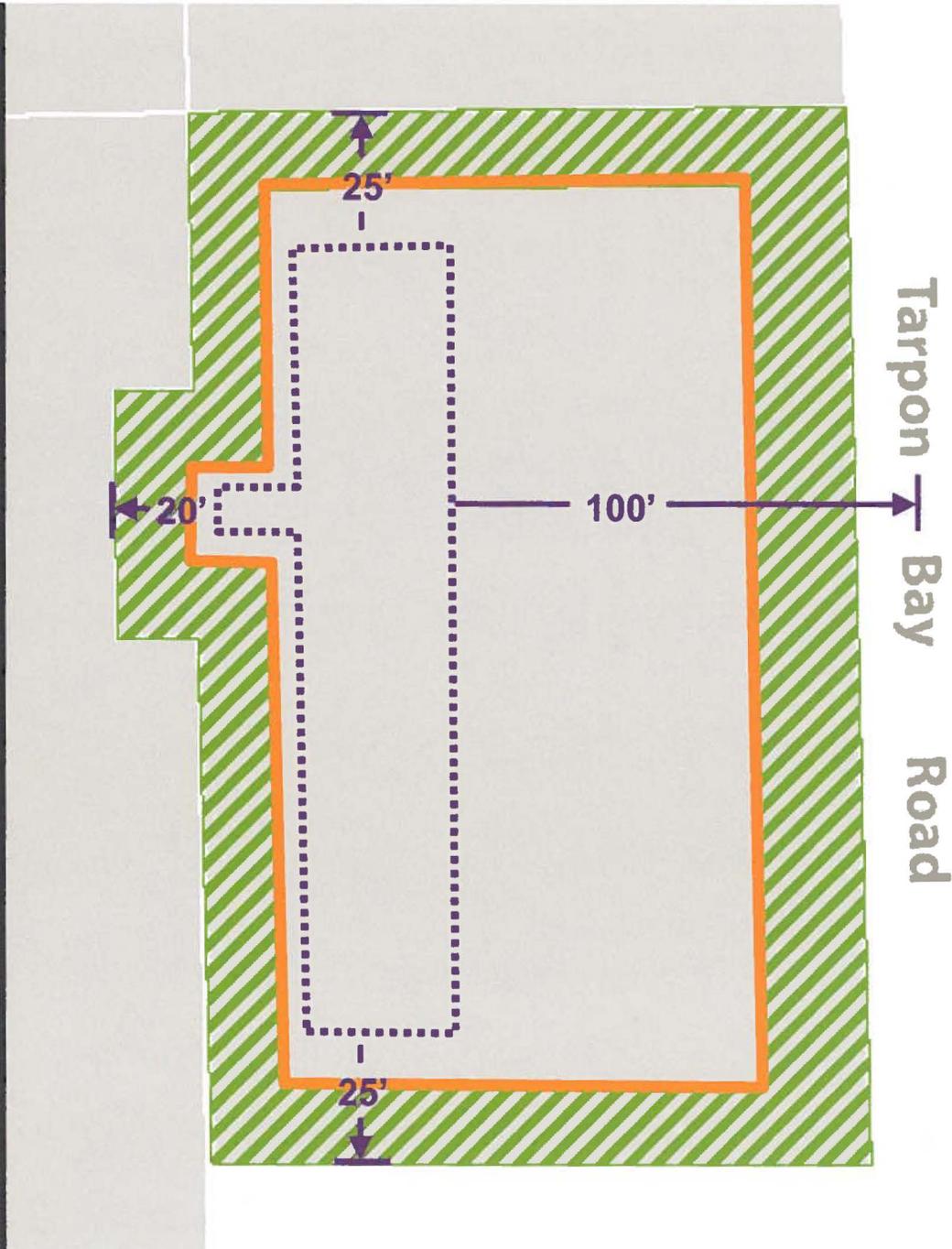
- **Vegetation Buffer**
  - equals .24 acres OR 10,400 SF OR ~40% of site



## BUFFERS AND SETBACKS

- **Vegetation Buffer**
  - equals .24 acres OR 10,400 SF OR ~40% of site
- **Parking Setback**

**FOCUS AREA D: Jean Paul's French Corner**



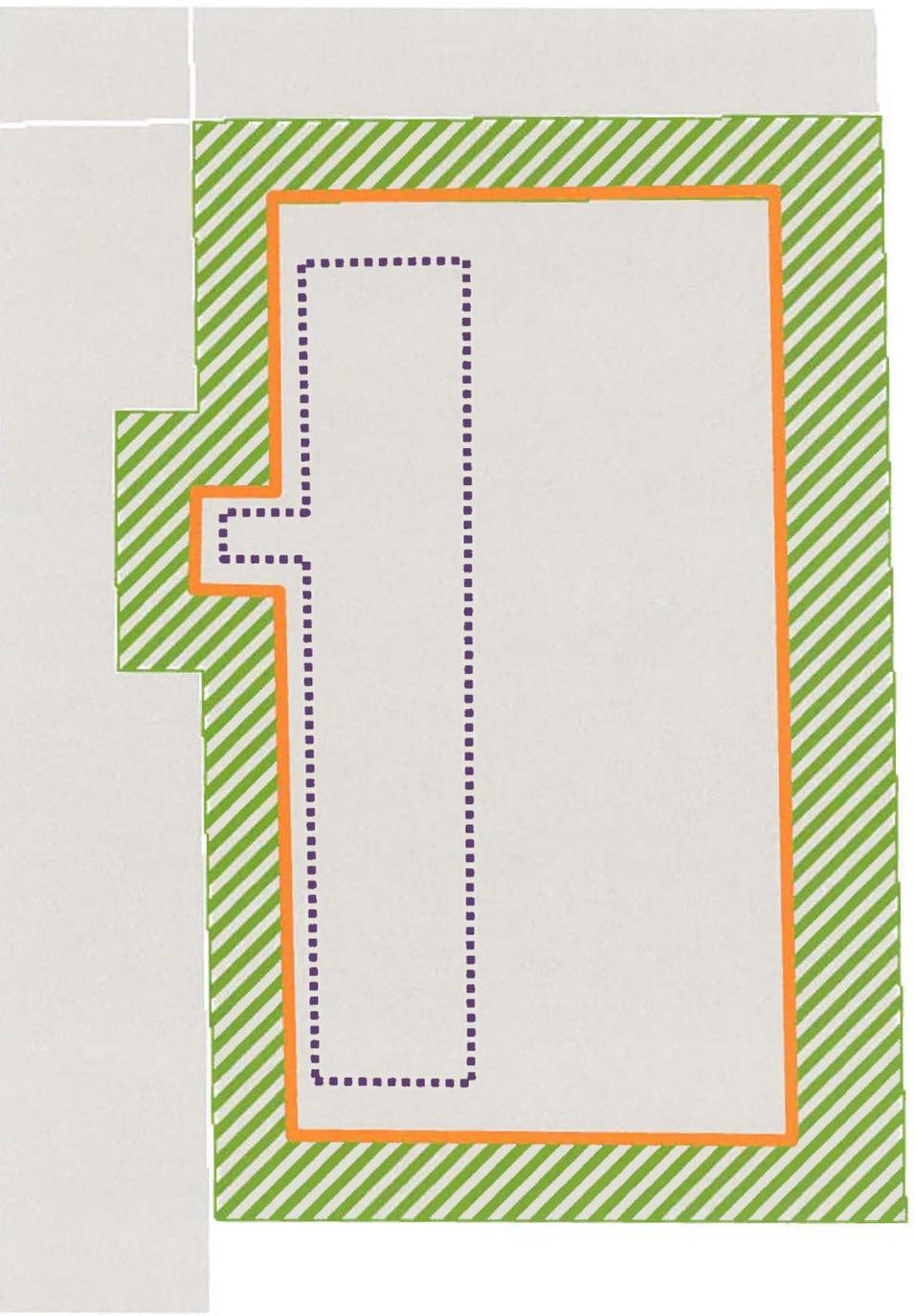
# **BUFFERS AND SETBACKS**

- **Vegetation Buffer**
  - equals .24 acres OR 10,400 SF OR ~40% of site
- **Parking Setback**
- **Building Setback**
  - buildable area equals .1 acres OR 4,950 SF OR 55% of site

**FOCUS AREA D: Jean Paul's French Corner**

**EXISTING  
CONDITIONS**

Tarpon Bay Road



**FOCUS AREA D: Jean Paul's French Corner**

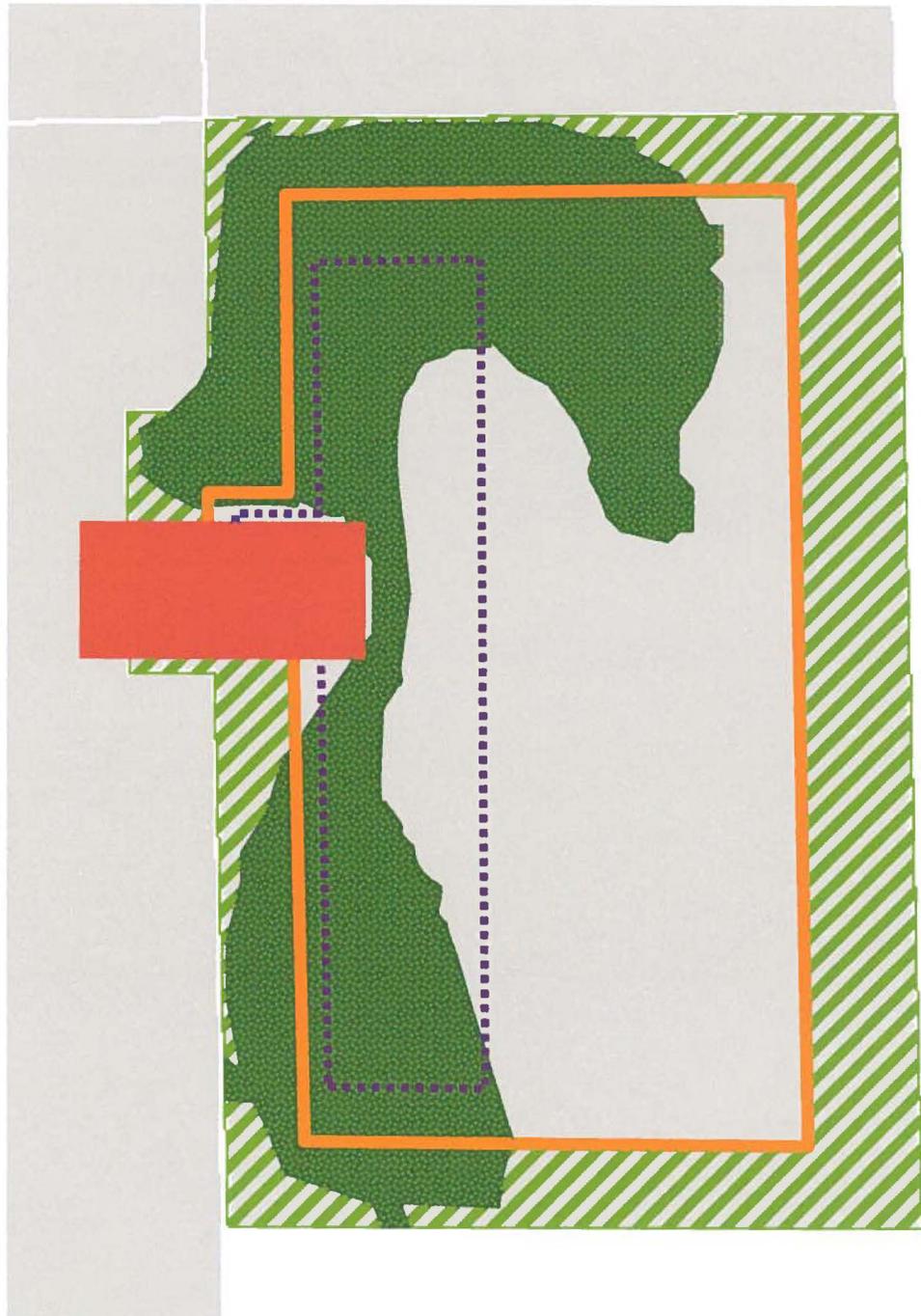


**Tarpon Bay Road**

# EXISTING CONDITIONS

## Existing Vegetation Canopy:

*9,500 SF OR .2 acres  
OR 32% of site*



Tarpon Bay Road

# EXISTING CONDITIONS

## Existing Vegetation Canopy:

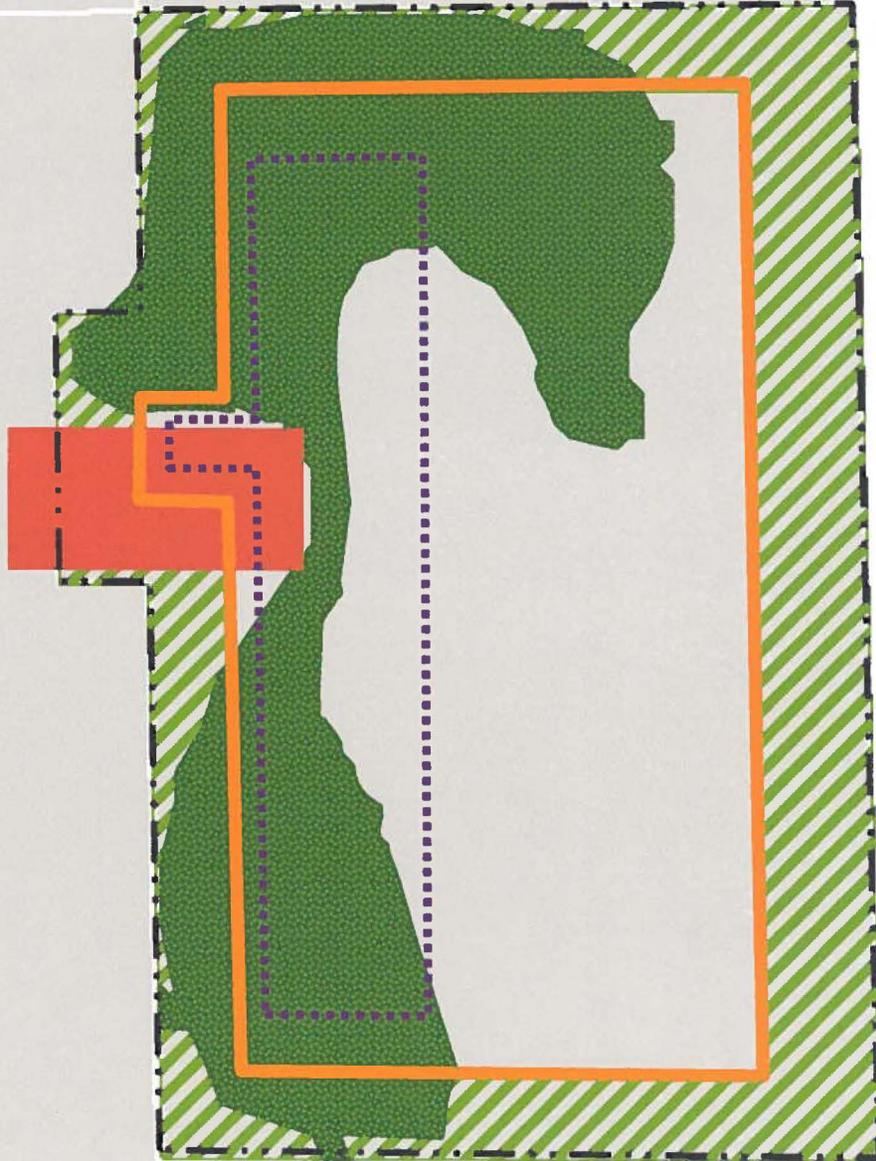
9,500 SF OR .2 acres  
OR 32% of site

## Existing Building (formerly Jean Paul's French Corner):

- 2,750 SF
- Crossing parcel line?
- Crossing setbacks?

**FOCUS AREA D: Jean Paul's French Corner**

**FOCUS AREA D: Jean Paul's French Corner**



# EXISTING CONDITIONS

## Existing Vegetation Canopy:

9,500 SF OR .22 acres  
OR 35% of site

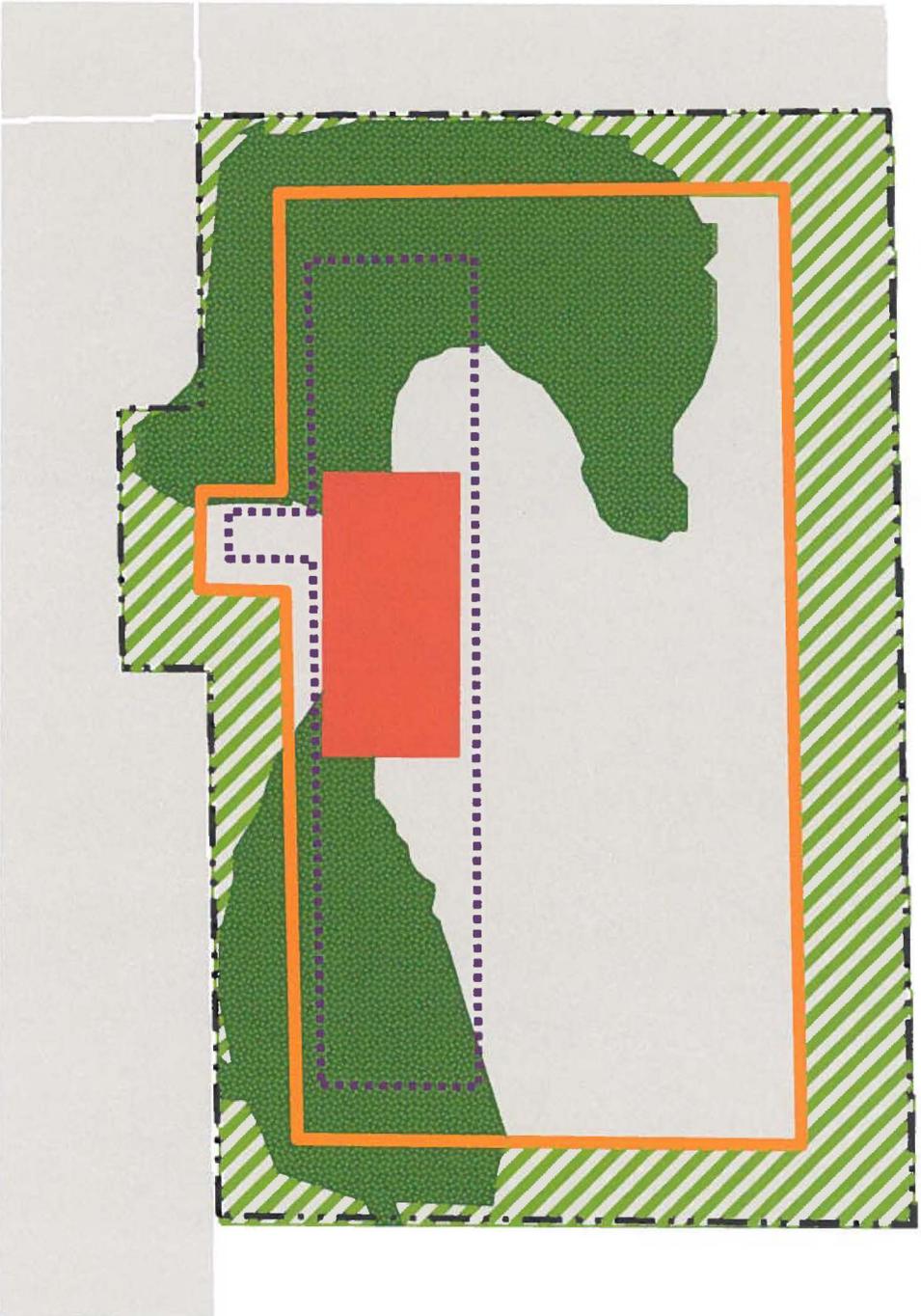
## Existing Building (formerly Jean Paul's French Corner):

- 2,750 SF
- 25'X52'
- Crossing parcel line?
- Crossing setbacks?

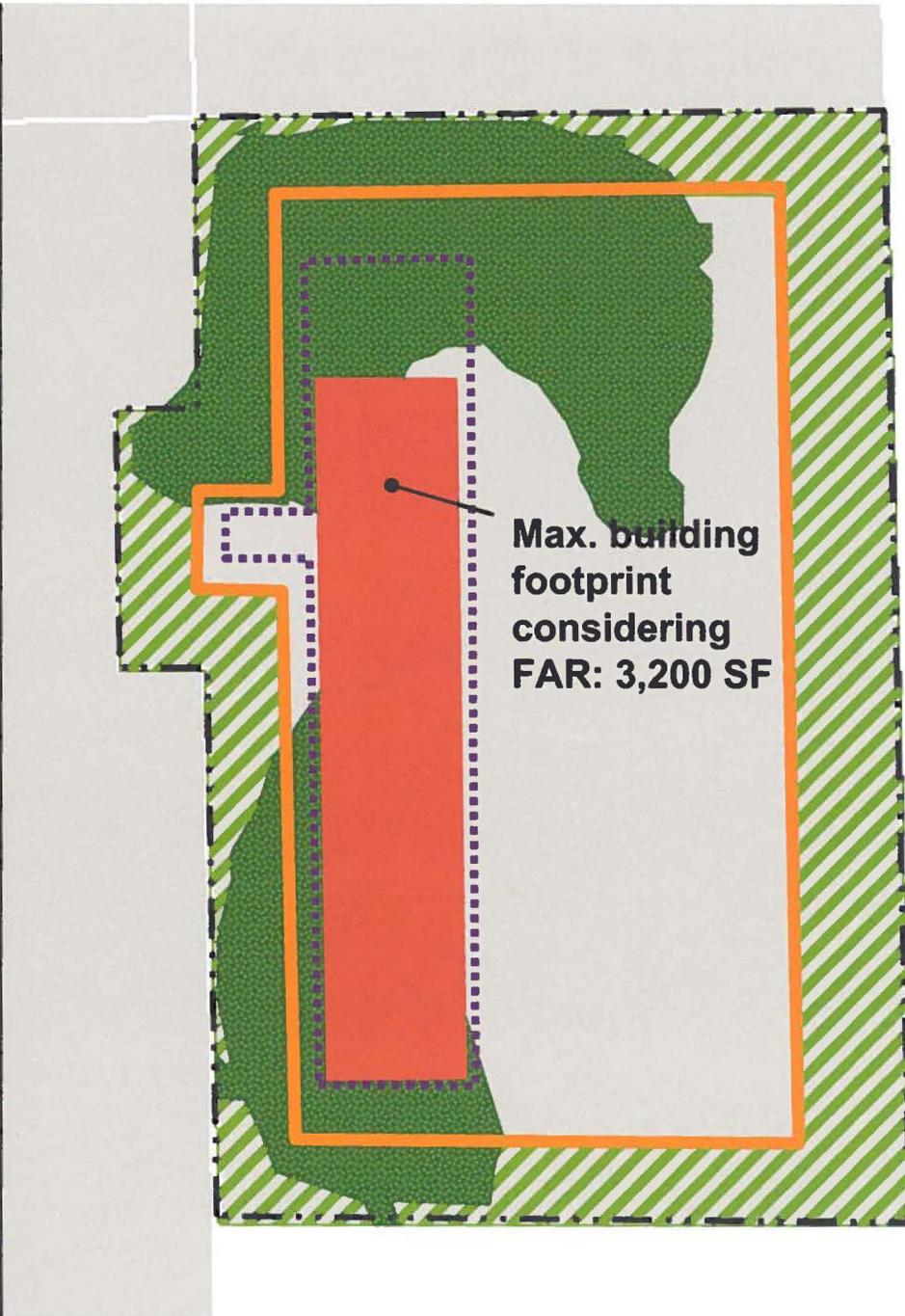
# WHAT CAN BE DONE?

1. Rebuild and Reorient, stay with same size building (2,750 SF)

Tarpon Bay Road



**FOCUS AREA D: Jean Paul's French Corner**



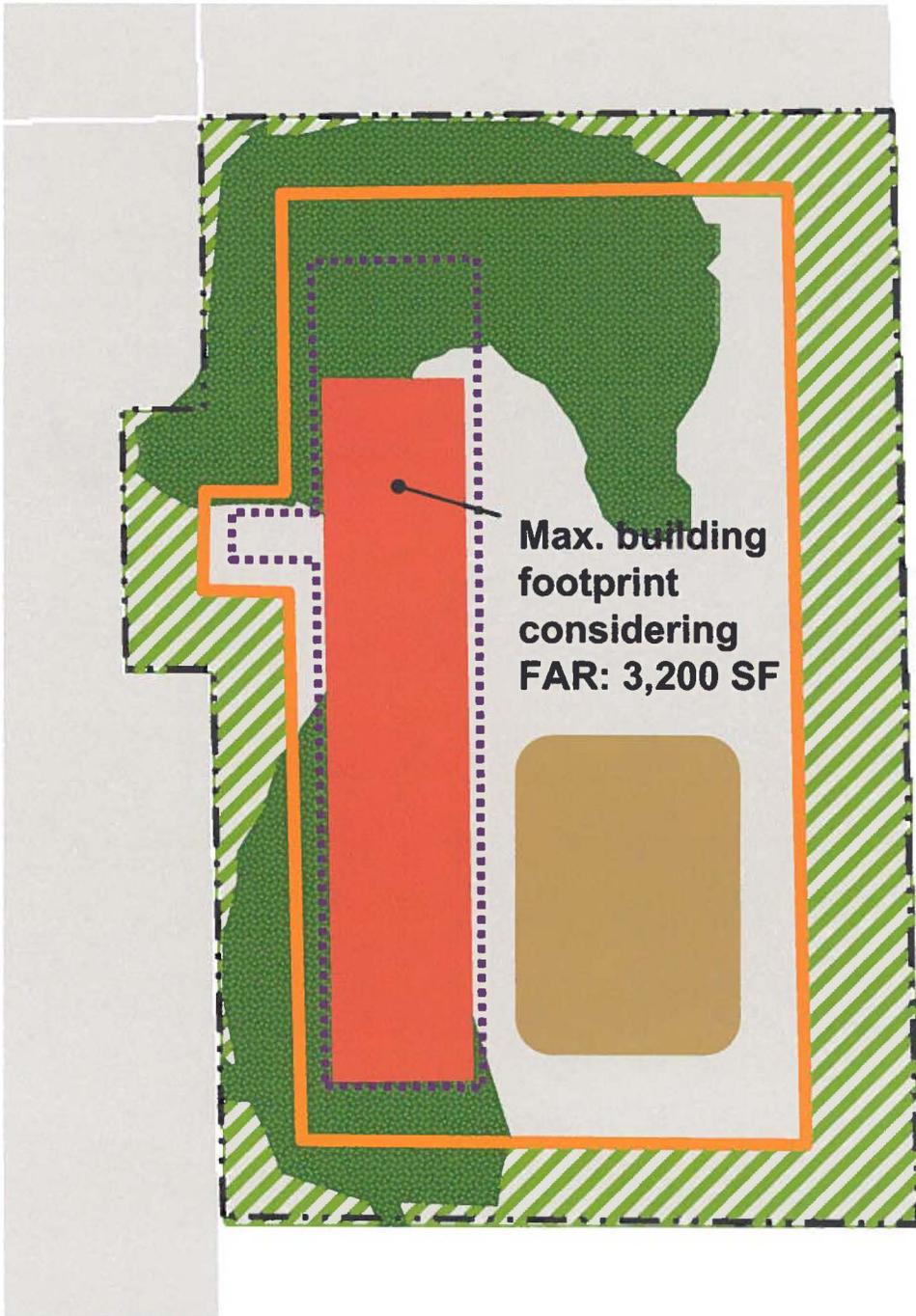
**Tarpon Bay Road**

## **WHAT CAN BE DONE?**

- 1. Rebuild and Reorient- stay with same size building: 2,750 SF**

**OR**

- 2. Build to the maximum FAR.....3,200 SF structure**



Tarpon Bay Road

## WHAT CAN BE DONE?

1. Rebuild and Reorient- stay with same size building: 2,750 SF

OR

2. Build to the maximum FAR: 3,200 SF building

**FOCUS AREA D: Jean Paul's French Corner**





# Focus Area A Organizational Options

# FOCUS AREA A: Nave Property



Allowed # dwelling units: 23 units

Proposed # dwelling units: 23 units



Allowed Commercial Space: 28,377 SF (0.12 FAR)

Proposed Commercial Space: +/- 28,377 SF (0.12 FAR)

**CONCEPT - 1 -  
COMMUNITY STREET**

0 100 200



CONCEPT



# CONCEPT - 2- "GREEN" COMMONS



Allowed # dwelling units: 23 units  
Proposed # dwelling units: 0 units

Allowed Commercial Space: 28,377 SF (0.12 FAR)  
Proposed Commercial Space: +/- 28,377 SF (0.12 FAR)

LEGEND  
Commercial  
Institutional / Civic

City Hall  
Library  
Relocated recycle center  
Park with shared use path  
Green Commons  
School Home Theater  
"Green commercial in ecological setting"  
B.I.G. Arts  
Proposed Civic Center  
"Main Street"

CONCEPT



Allowed # dwelling units: 23 units

Proposed # dwelling units: 23 units

Library

Relocated  
recycle center

City Hall

School House  
Theater

B.I.G. Arts

Workforce  
housing

Town Square

# CONCEPT - 3 - TOWN SQUARE

Allowed Commercial-Space: 28,377 SF (0.12 FAR)

Proposed Commercial Space: +/-28,377 SF (0.12 FAR)

### LEGEND

-  Residential
-  Commercial
-  Institutional / Civic



CONCEPT



# City of Sanibel



Draft

## Periwinkle Way West Commercial District Plan

*Phase I: Existing Conditions and  
Opportunities and Constraints*



October 2007





**Draft**

# **Periwinkle Way West Commercial District Plan**

*Phase I: Existing Conditions and  
Opportunities and Constraints*

*prepared for the*  
**City of Sanibel**  
*by:*



**WALLACE ROBERTS & TODD, LLC**

October 2007



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DRAFT

The City of Sanibel will resist pressures to accommodate increased development and redevelopment that is inconsistent with the Sanibel Plan, including this Vision Statement.

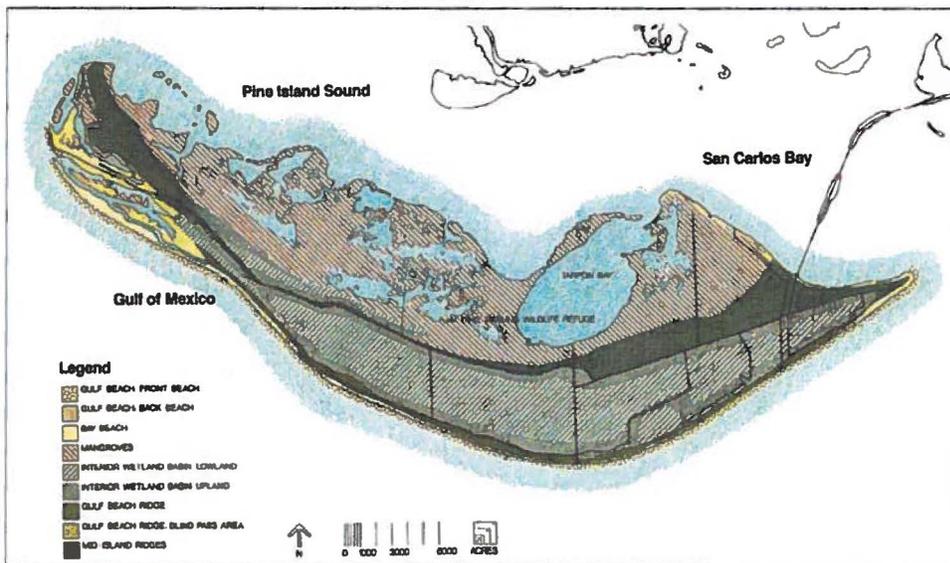
## PURPOSE

The primary purpose of the Periwinkle Way West District Plan (PWWDP) is to:

**Implement the Sanibel Plan, and the City Council's Fiscal Year 2007-2008 Goal for Redevelopment.**

This Working Paper I report provides a summary of existing land use and environmental conditions within the Periwinkle Way West District planning area and includes a preliminary review of discussions with City Council, Planning Commission, City Manager, and the Sanibel Community.

This report provides a basic foundation and framework to support subsequent phases of this planning process. The next phase will include a series of community-engaged "visioning" workshops.



1976 Sanibel Plan  
Graphic

DRAFT

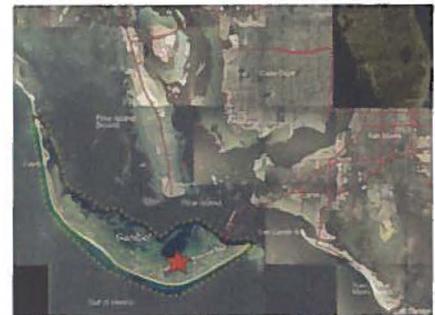
Limited new development and redevelopment will occur over the next twenty years. However, growth limits and locations are well established, as are regulations to minimize harm to the natural environment and to the community's character.

Sanibel Vision

## BACKGROUND

The City Council, and Planning Commission, recognized the importance of this unique area to the Island's future through their identification of the PWWDP as a project priority for fiscal year 2007 - 2008. Understanding the complexity of issues that will need to be address in this planning effort, the project was designed to included both, a district-wide plan and a detailed examination of five District Focus Areas for change. The Focus Areas are:

- A: Nave Property
- B: Baileys Center, LLP Property (western parcel)
- C: Cross Property (Palm Ridge Road)
- D: Jean Paul French Corner Property
- E: Civic and Institutional Properties (City Hall, Big Arts, Theater, etc.)



Aerial of Sanibel with PWWDP identified

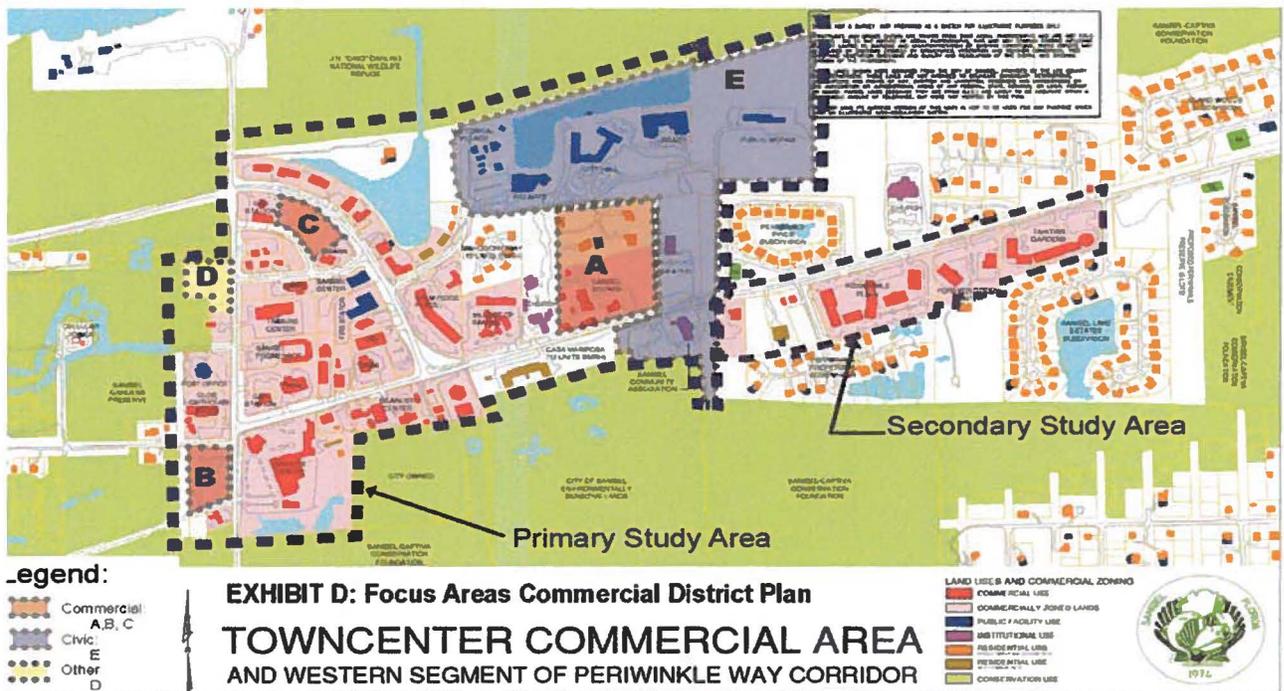


Figure 1: PWWDP map and Focus Areas

In the spring of 2007, the City of Sanibel engaged the planning and design firm of WRT, LLC to assist the City's Planning Department with the PWWDP. WRT, LLC also worked with the City in the development of its 1976 and 1997 planning efforts. The City has also retained Real Estate Research Consultants, Inc. to collaborate with WRT, LLC and provide economic and market research necessary to evaluate and support PWWDP recommendations.

The 2007 Sanibel Plan identified the approximately 200-acre area that makes up the Periwinkle Way West District as the City's "Town Center" that would function as a community gathering place and public focal point primarily serving Island needs. The district is formed by the convergence of three major roadways—Periwinkle Way, Tarpon Bay and Palm Ridge / Captiva Sanibel Road, and it is defined by civic, cultural and institutional activities,

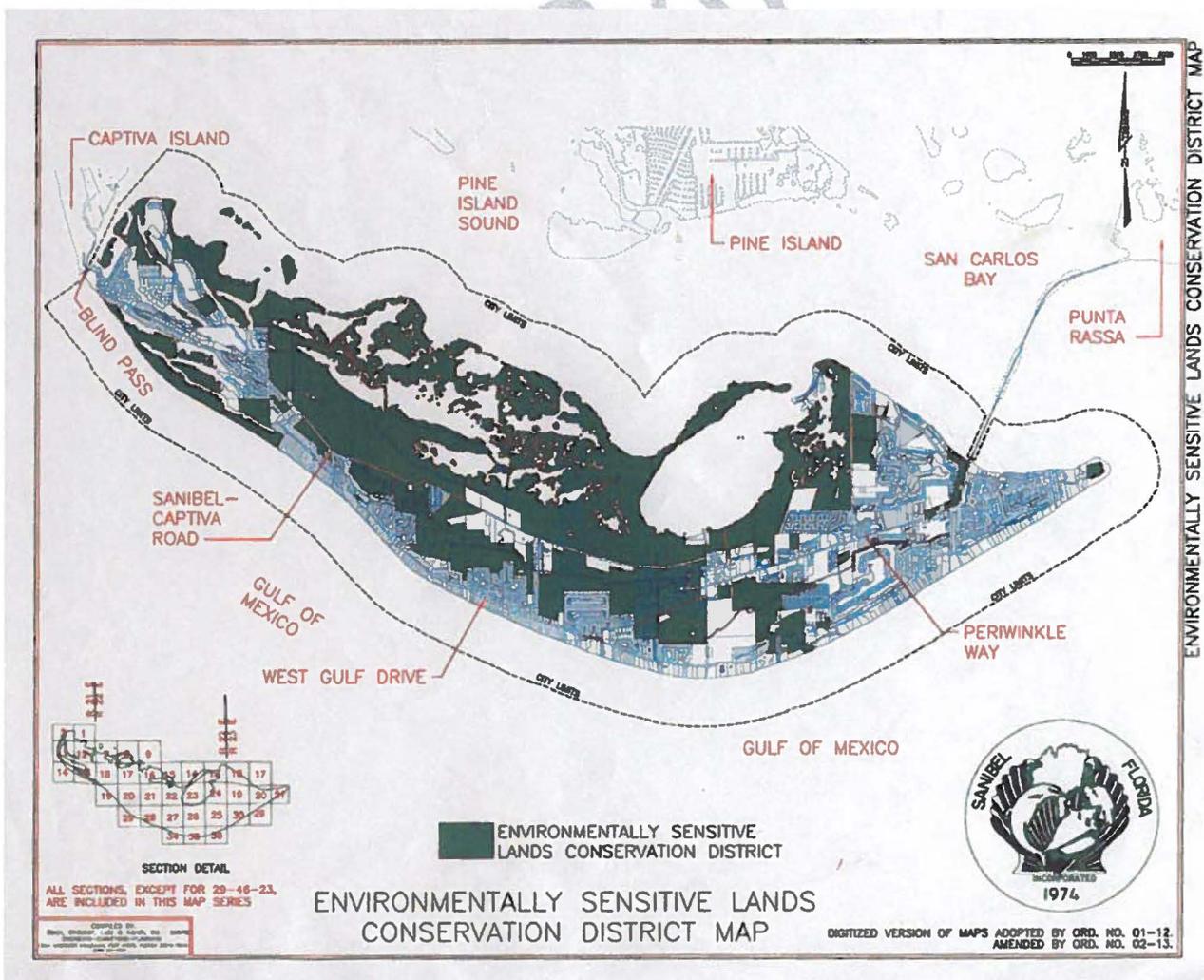


Figure 2: Sanibel Plan Map of Environmentally Sensitive Lands

residential, open space, and a predominance of community-focused commercial, retail and service businesses.

The Sanibel Plan’s Ecological Zones map identified four major land types within the district, with the largest area made up of altered land, followed in descending size by upland wetlands, mid-island ridge, and lowland wetlands. All four categories permit development of some level, from the highest intensity on altered lands to the least intensity on lowland wetlands. However, the district is bounded on three sides by environmentally sensitive areas, which require minimum-to-no development impacts from adjacent properties. As a result, a major goal of the PWWDP is to establish clear recommendations for sustainable and compatible change that will not alter or disturb the delicate balance of the natural system carrying capacity, as well as to reinforce the distinctly Sanibel Island sense of place where built and natural environments are integrated.

DRAFT

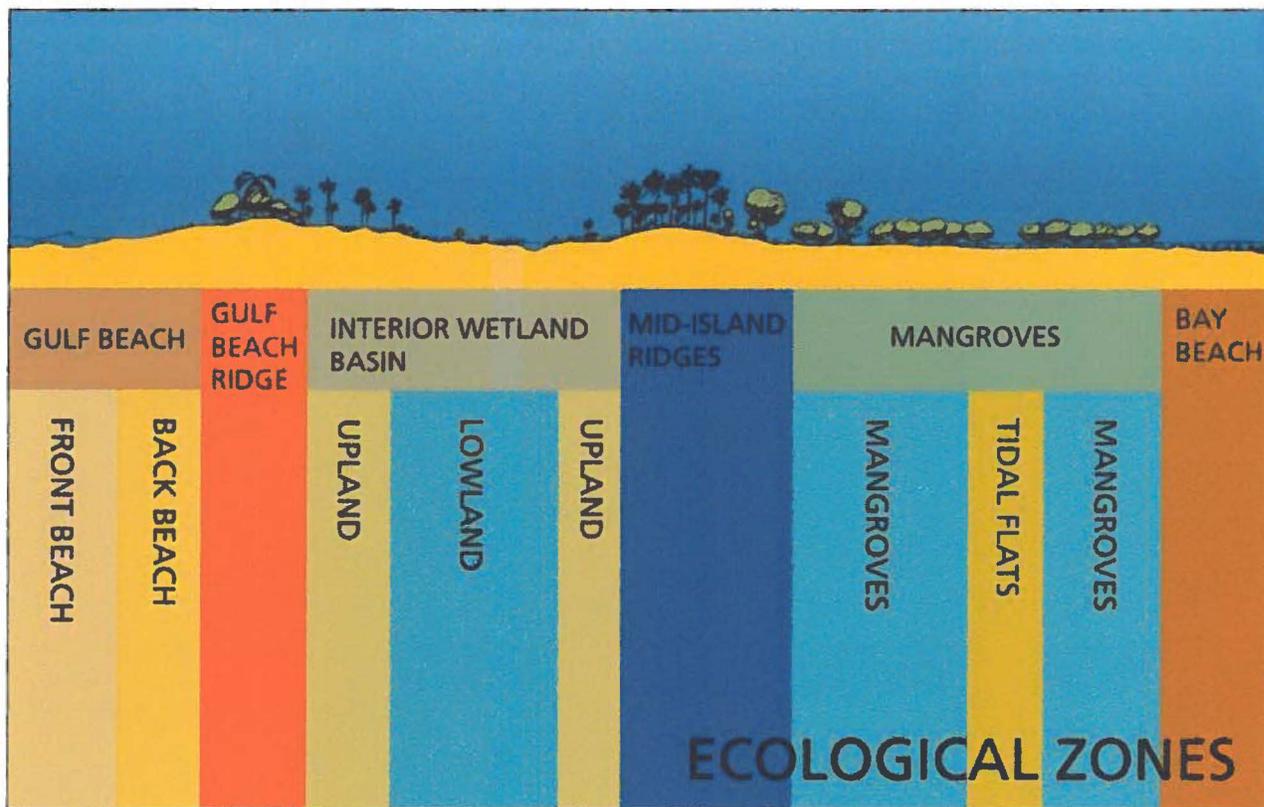


Figure 3: Sanibel Plan Ecological Zones Diagram

DRAFT

The vision statement that follows reflects both the implicit values of the Sanibel Plan, and the contributions of hundreds of citizens who took part in a series of public workshops and responded to detailed questionnaires that helped identify shared concerns, values and goals.

1997 Sanibel Vision

## PROCESS

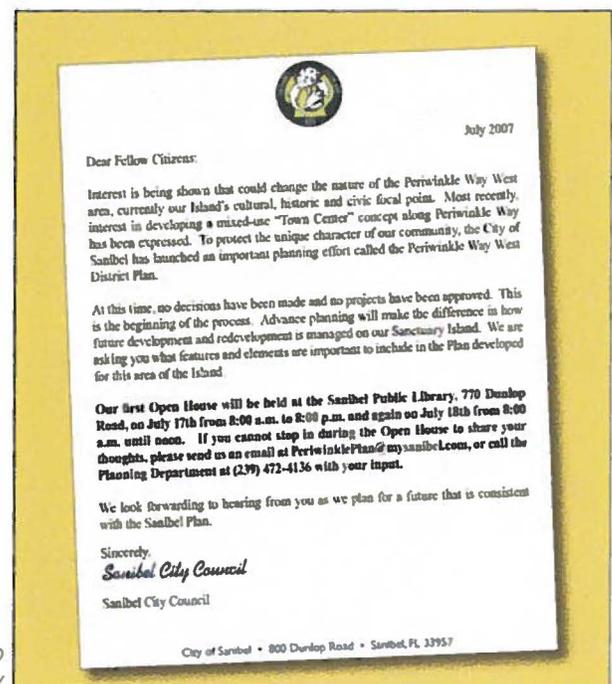
The PWWDP Phase I is comprised of four tasks:

**Task One: Project Initiation.** This task included a fine-tuning of the project scope and schedule, and the collection of relevant data, documents, and previous planning studies provided by the City of Sanibel.

**Task Two: Public Engagement.** This task engaged the Sanibel Island community in a variety of initial forums to begin documentation of the full breath of public issues and common concerns.

**Task Three: Existing Conditions Analysis and Opportunities and Constraints.** This task included an examination of current District physical and regulatory conditions, a summary of district opportunities and constraints, and the analysis of opportunities for select focus areas.

**Task Four: Presentation of Findings to Community.** This task will provide an opportunity for the community to review and comment on the summary findings.



Open House Mailing to  
the Community

DRAFT

*Sanibel is and shall remain a small town community whose members choose to live in harmony with one another and with nature; creating a human settlement distinguished by its diversity, beauty, uniqueness, character and stewardship.*

*Sanibel Vision*

## **PARTICIPANTS**

Continuous and substantial community participation is crucial to a successful outcome of this planning effort. In recognition of this, the City's Planning Department and the consultant team strove to provide many different opportunities for community input in the Phase I, which included the following participants and forums:

*City of Sanibel residents, cultural and institutional organizations, and business owners* participated through the following opportunities:

- Dialogue with the planning team during two full-day open house forums held on July 17-18, 2007;
- Responding to a questionnaire available at City Hall, the City's website, and in the local newspapers;
- Email of comments, suggestions and concerns; and
- In City Council and Planning Commission meeting 'public comment' periods.

A complete compilation of all submitted community comments will be provided as an addendum to the PWWDP final report.

*City of Sanibel City Council:* The consultant team made a project kick-off presentation to the City Council on July 17, 2007.

*City Planning Commission:* The consultant team presentation of project progress report to the City's Planning Commission on August 28, 2007.

*Stakeholder Interviews:* Over the three day period of July 17, 18, and 19, 2007, the consultant team interviewed a wide range of community stakeholders, from City elected and appointed officials, to District property owners, to cultural and institutional directors. A complete list of stakeholders interviewed will be provided as an addendum to the PWWDP final report.



*District tour with the City Council, Planning Commission and community residents*



Resident responses to the Sanibel Periwinkle Way District Plan Stakeholders Questionnaire have represented a broad range of comments and recommendations. Many respondents envision residential development in the district, where housing for elderly, multi-family housing, and below market-rate housing being the most popular ones. A number of respondents think that providing additional housing opportunities for the island’s workforce is very important. Relatively the residents agree on commercial use being inappropriate for the island’s character. However, they support mixed-use developments that provide both commercial and residential occupancy in buildings.

The respondents were very positive about the need for public outdoor public spaces with added improvements such as playgrounds, gathering places with shades and trees and mini parks. While parking was not specifically identified as a problem, respondents did state that there is too much of paved surface for the island. The respondents support the Island’s shared use path master plan and also encourage more shared use paths.

The respondents seem to identify the island’s character as an “Island” style, old Florida vernacular architecture and native barrier island vegetation. City Hall, Old Library and village shops –old Sanibel shops– were often mentioned as the examples of best architecture and desired character of Sanibel. Numerous respondents were concerned that increases in density would change the Island’s character. Sanibel’s unique sense-of-place is what is described as the vision for the future of the district. A pedestrian friendly town center, improving the benefits of existing businesses and smart re-development with limited commercial use list amongst the major things suggested for changing and improving the district.

*Sanibel sense-of-place images; historic an new architecture, shared-use paths and native vegetation*

*The barrier island of Sanibel comprises a wide variety of natural and altered environments. The community of Sanibel strives to sustain ecological balance and preserve and restore natural settings for residents, visitors, and wildlife.*

*Sanibel Vision*

## **SUMMARY FINDINGS**

### ***Natural Resources***

#### ***Hydrology***

As with most of Florida, water is a key natural resource on Sanibel Island. While water is one of the primary determinants in ecological zone differentiation, it is also one of the main connective elements linking zones into an integrated natural system. Due to this important role, the effects of habitat modification and/or development on hydrology patterns have remained an important component of planning on Sanibel Island, and serves as a critical determinant in establishing carrying capacity.

Although wetland habitats occur within the District the area does not contain any officially delineated wetlands, except open lakes or ponds. However, this does not mean that wetlands do not exist in the area.

#### ***Ecological Zones***

As discussed earlier, the District is comprised of four ecological zones (see Figure 4) that are *altered lands, mid-island ridge, and upland- and lowland- wetlands*. The following is a brief summary of the different zones as described in the Sanibel Plan:

*Altered lands* are areas that have been highly disturbed and/or developed.

*Mid-island ridge zone* comprises the major ridges along the central axis of the island, and has the highest elevations.

*Upland and Lowland wetlands* are sub-categories of *Interior Wetlands*, and they serve as the island's freshwater reservoir.

The four ecological zones occur within the District in irregular patterns that are a direct result of past and current development. Altered lands that have been largely modified by development represent the highest percentage of land in the District. The upland wetlands and mid-island ridge zones occur as discontinuous



*Example of Altered Lands*



*Example of Mid-Island Ridge*

bands along an east-west axis that are interrupted by large areas of altered lands. Lowland wetlands make up a small percentage of the District and occur in isolated fragments, with the largest areas found in the northern portion of the District.

*Environmentally Sensitive and Conservation Areas*

As one of the most developed regions of the Island, the District does not contain significant areas of environmentally sensitive and protected habitats within its boundary, but is bordered by major conservation, preserve or refuge environments. The largest, the J.R. Ding Darling National Refuge, is immediately north of the District. Other significant habitats are Sanibel-Captiva Conservation Foundation Lands and the Sanibel Gardens Preserve.

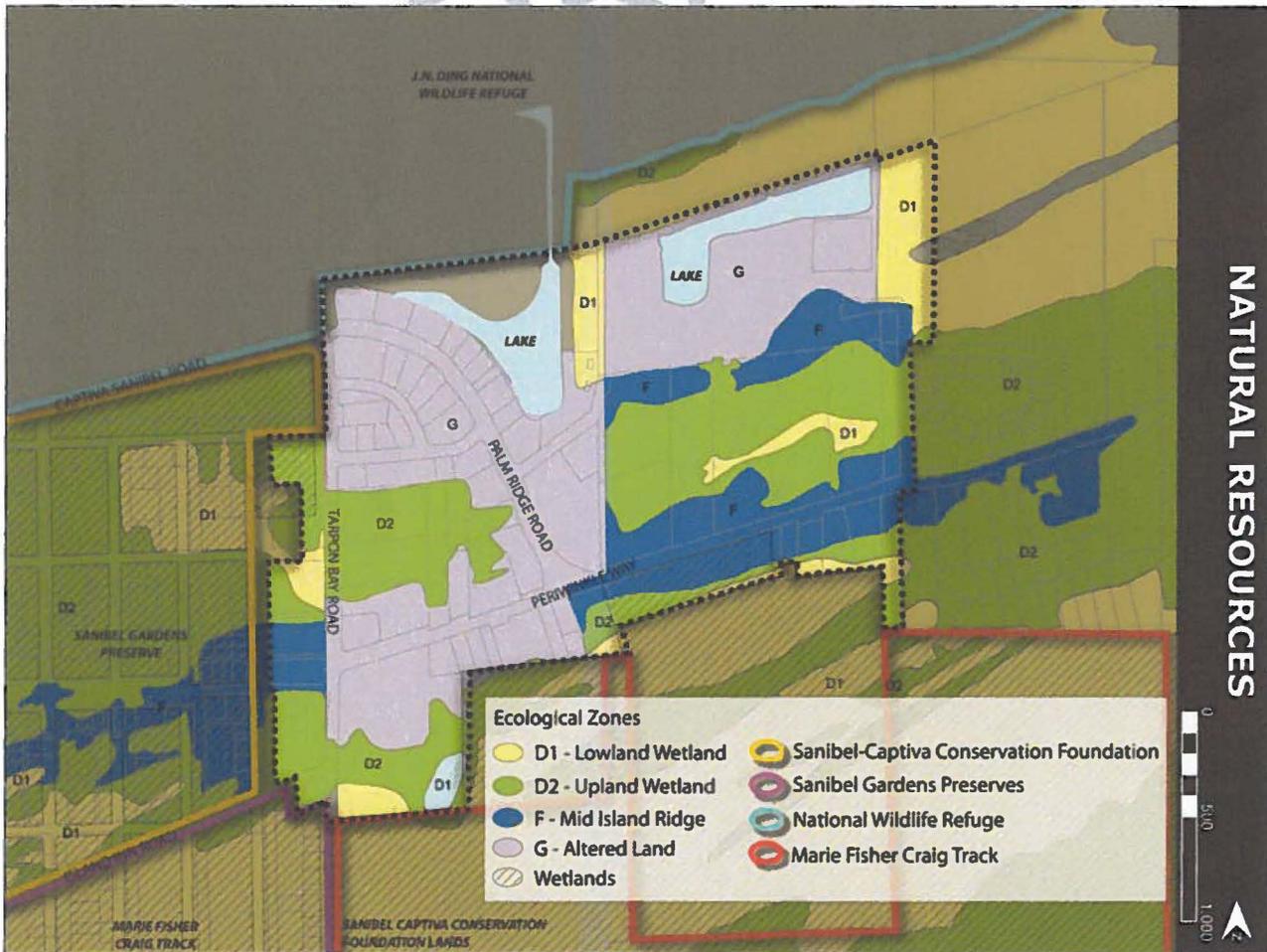


Figure 4: Natural Resources

**Community Framework**

The Periwinkle Way West District is characterized by several features that make it a unique Island area. It is defined by major roadway corridors that are lined with commercial businesses, and a concentration of the City’s civic and cultural institutions (see Figure 5).

Consistent with any core community area, the District is home to many island-focused destinations that function as community anchors. North of Periwinkle Way and along Dunlop Road is located the concentration of civic and cultural institutions, which includes the City Hall, Big Arts, Historic Village, Library, and Schoolhouse Theater. Immediately south of the Theater and across Periwinkle Way is the Sanibel Community Center, which is flanked to the west by the City’s Community Park. Both the Park and City Hall areas are home to numerous seasonal events and festivals that contribute to the distinct character of the District.



Figure 5: Community Framework

A significant triangular area is formed by the connection of the District's three major roadways—Periwinkle Way, Tarpon Bay Road, and Palm Ridge / Sanibel-Captiva roads—and the area is home to the Sanibel Fire and Rescue District 2 Station and the City's Senior Center, as well as several service businesses.

South of the triangle and Periwinkle Way is one of the Island's most predominant commercial centers, the Baileys Center, which provides the community with a grocery store, a cinema, and numerous other commercial and service businesses.

Lastly, there are several properties that are subject to change in the near future, as they are vacant or underutilized property. The four properties that fit this description are PWWDP Focus Areas A, B, C and D. Any development or redevelopment of these focus areas will have a significant impact on the community's future character, and due to this importance it is critical that any future change to these properties must be consistent with the Sanibel Plan.



Figure 6: Architectural Character & Quality

## **Built Environment Character and Quality**

### **Architecture**

The District's architecture represents a variety of styles, scales and massing of buildings that speaks to age of construction, use, and development regulations – rather than a definitive Sanibel architectural style (see Figure 6). However, within that wide variety there are a large number of old, renovated and new buildings with stylistic elements that are derived from vernacular South Florida architecture with deep roof overhangs, steeply pitched metal roofs, porches, and wood exteriors. This style is employed in a wide range of uses, from civic buildings, to the theater, to retail shops and homes, and even a service station. Although vernacular stylistic buildings are predominant, there is not a proscribed consistency that would result in an architectural sameness found in manufactured communities.

Other architectural expressions found in the District range from boxy and flat roofed buildings, to Mediterranean and modernist-derived stone and wood structures.

As discussed earlier, the District's character can be understood as falling into two main categories; development prior to, and after enactment of the Sanibel Plan's development codes in 1985 (see Figure 7). Structures built prior to 1985 typically occur closer to roadways, while structures built after 1985 are set back from the roadways edge-of-pavement by an average of 90 feet, in



Examples of different architectural styles



Figure 7: Age of Structure Diagram

conformance with the enacted development regulations. This difference has resulted in an un-even street edge that hinders creation of vegetation buffers with shared-use pathways, as well as prohibiting the creation of consistent scale relationship of street-to-vegetation/building edge that is a hallmark of good community design.

Although parking and access will be discussed later in this draft summary report, the prevalence of surface parking and multiple vehicular access points in front of buildings further limits opportunities for physical connectivity via alternative modes of movement, such as pedestrians and bicyclists.



Figure 8: Open Space Character & Quality

### *Landscape Character and Quality*

The Island of Sanibel has one of the highest percentages of 'green space' to built environment of any community in Florida, especially when compared to other barrier island communities. This wealth of important landscape is critical to the Island's sustainable ecological health and sense of place: Both elements deeply inform the community's identity.

In contrast to the Island's abundant green space (see Figure 8), the District exists largely as a built environment with very limited and disconnected patterns of landscape that typically result from development code requirements for setbacks, buffers, and vegetation. Although not a substantial presence in the area, another form of District landscape is the delineated wetland that cannot be developed.

As a result of this dramatic contrast, the District feels more developed than other parts of the Island and the loss of the Australian Pines canopy along Periwinkle Way has accentuated this urban character. However, the ongoing Periwinkle Way Restoration Project and street tree planting will, over time, replace the lost canopy with an indigenous and visually diverse tree canopy that better reflect the native plant species found on the island.

In addition, the required site buffers and vegetation do provide property owners an opportunity to introduce native plantings that mimic natural habitats, which will better integrate the District into the larger Sanibel ecological system.



*Examples of Open Space types*

### *Shared-Use Pathway*

The District has an extensive network of shared-use paths (see Figure 5) that occur in a number of different configurations, from Periwinkle Way's curvilinear paths bounded by landscape, to Tarpon Bay Road's path that exists as part of the roadway separated by only a thin row of flexible plastic bollards, to Palm Ridge Road's path that exists as an extension of adjacent property parking areas. In each configuration, path user and vehicle conflicts that result from the seemingly unlimited car access points that cross the paths throughout the area must be addressed.

Despite these differences, any sunny day will find numerous bicyclists using the shared-use pathway network. The benefits of this are threefold; use helps reduce vehicular traffic congestion; use improves the personal health of residents; and pedestrian and bicycle activity contributes to the unique sense of place that is Sanibel.



*Examples of Shared-Use Paths*

The City has undertaken a comprehensive update of its Shared-Use Path network and a plan for path improvement and expansion will result from this on-going study.

**Roadways and Parking**

The roadway network within the District consists of six roads (see Figure 5), which are:

- Periwinkle Way
- Palm Ridge/ Captiva Sanibel Road
- Tarpon Bay Road
- Dunlop Road
- Library Road
- Wax Myrtle Way

Periwinkle Way, Palm Ridge Sanibel Captiva and Trapon Bay are all classified as Two Lane Arterial Roads in the Existing (2006) and Future (2026) Traffic Circulation Map (Sanibel Plan). The Sanobel Plan does not identify a classification for the other district roadways.

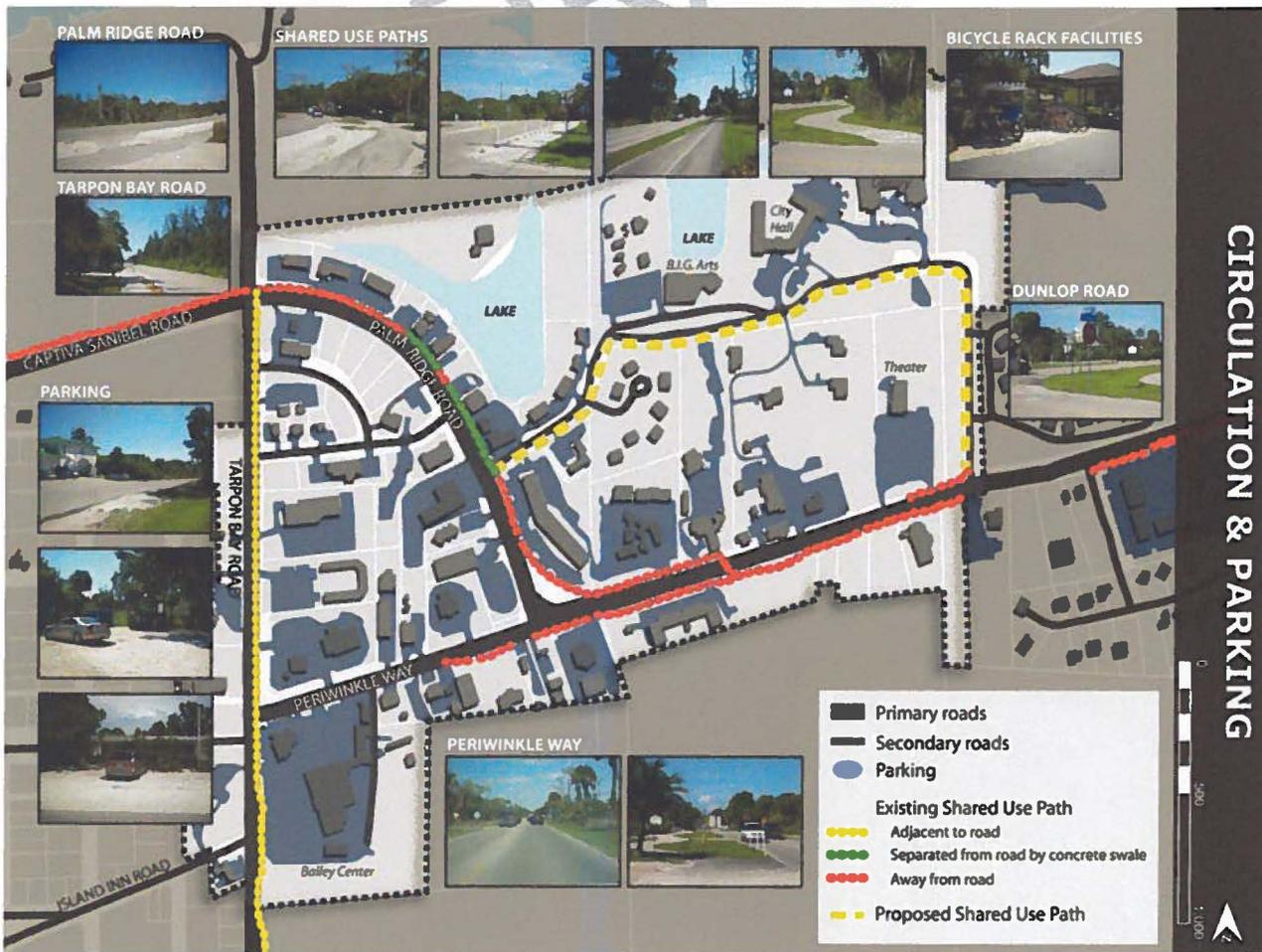


Figure 8: Circulation and Parking Diagram

As the title of this study suggests, Periwinkle Way is the primary roadway within the District. All roadways are configured as two lanes with two-directional traffic, and medians, or divided roadways, are limited to portions of Dunlop Road. Consistent with the Sanibel Plan, the City continues to encourage alternative modes of movement, strives to reduce auto ridership, and improve vehicular circulation through congestion and access best management practices.

On-street parking is prohibited throughout the Island, with all required parking provided within the boundary and setbacks of each property. One result of this is the occurrence of multiple vehicular access points along one property, and along some roadway segments the edge is one continuous point of access. This is especially evident along the northeastern edge of Palm Ridge Road, where head-in parking occurs along the full length of some properties.



Examples of district roadways and large access zones

### Regulatory Framework

The study area is one of Sanibel's primary commercial nodes, but it differs from the other Island nodes along Periwinkle way in its mix of public / institutional, civic and cultural uses with Commercial uses in close proximity (see Figure 9). Two commercial districts, Town Center General (TCG) and Town Center Limited (TCL), regulate commercial use in the study area (see Figure 10). While the permitted Floor Area Ratio (FAR) in these districts is slightly higher (0.12) than in other commercial zones (General Commercial) on the island, a significant number of existing buildings exceed current allowable zoning FAR requirements (see Figure 11). As a result, any redevelopment effort on these parcels would mean a decrease in the commercial FAR of the non-conforming properties. Therefore whatever



Figure 9: Existing Land Use

building activity in TCG / TCL districts has been primarily focused on renovations. However, under the City's recently adopted "build back" regulation these properties can be redeveloped to their current pre-existing non-conforming use and FAR following destruction or damage due to natural disaster that results in a loss of 50 percent of the value of the structure.

While a mix of residential and commercial uses is allowed in parcels in TCL and TCG districts, the commercial floor areas are penalized by a 1000 SF deduction of commercial GSF for every market rate dwelling unit proposed. Residential development in the non-commercial districts are regulated by the parcels' Development Intensity map. The residential capacity of the district and the island in general is regulated by the number of dwelling units each parcel can develop, which is stipulated on the City's Development Intensity map. With these different layers of regulations development scenarios may be analyzed only at a parcel level basis.

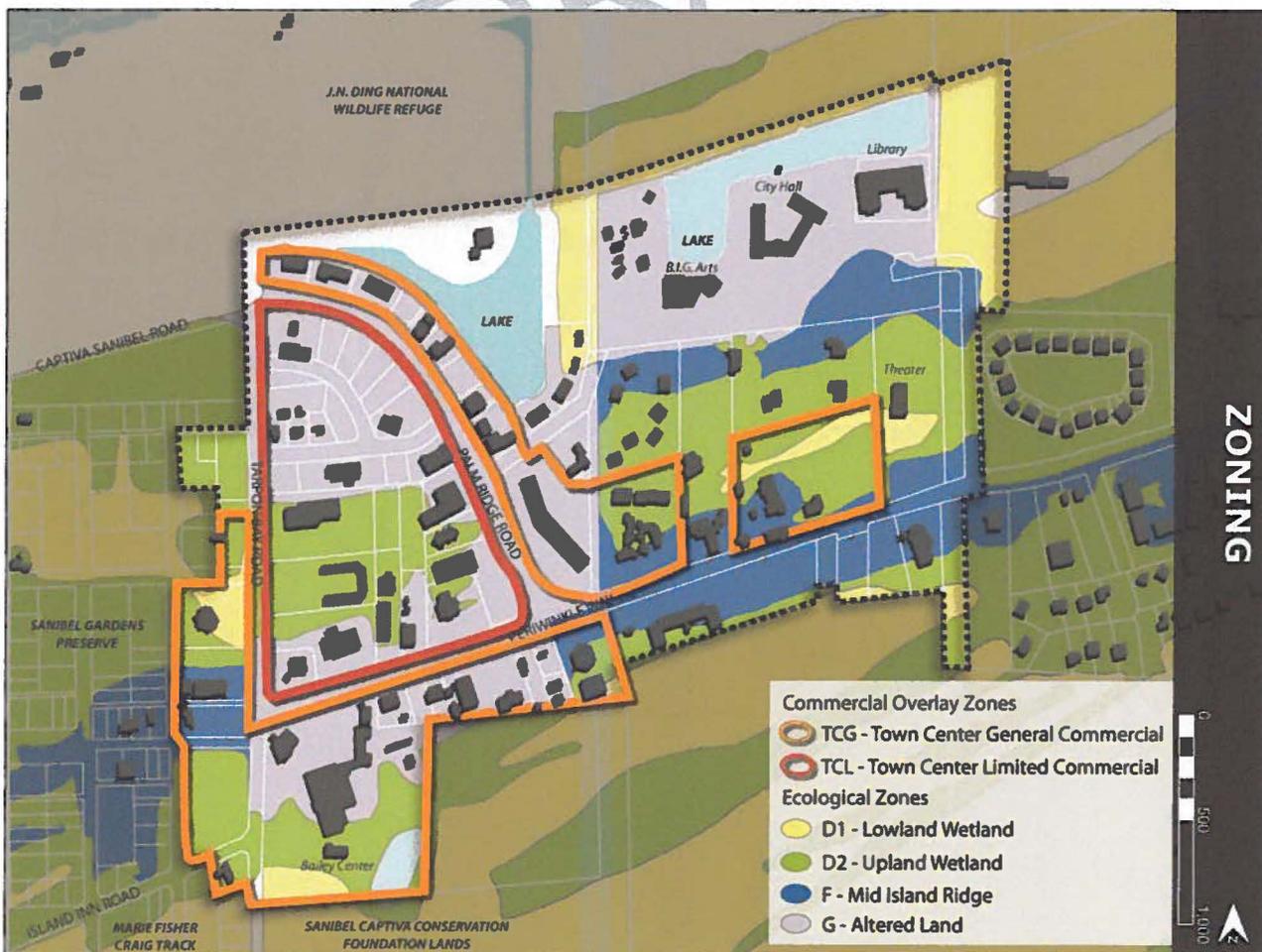


Figure 10: Town Center General & Town Center Limited Zoning Areas

In addition, maximum building heights stipulated at 45 feet above Mean Sea Level and 35 feet from the pre-developed grade, which results in a building height/scale consistent with current Island character. Lastly, parking beneath the structures is possible while meeting both flood level and building height regulations.

Sketch of building height limitations

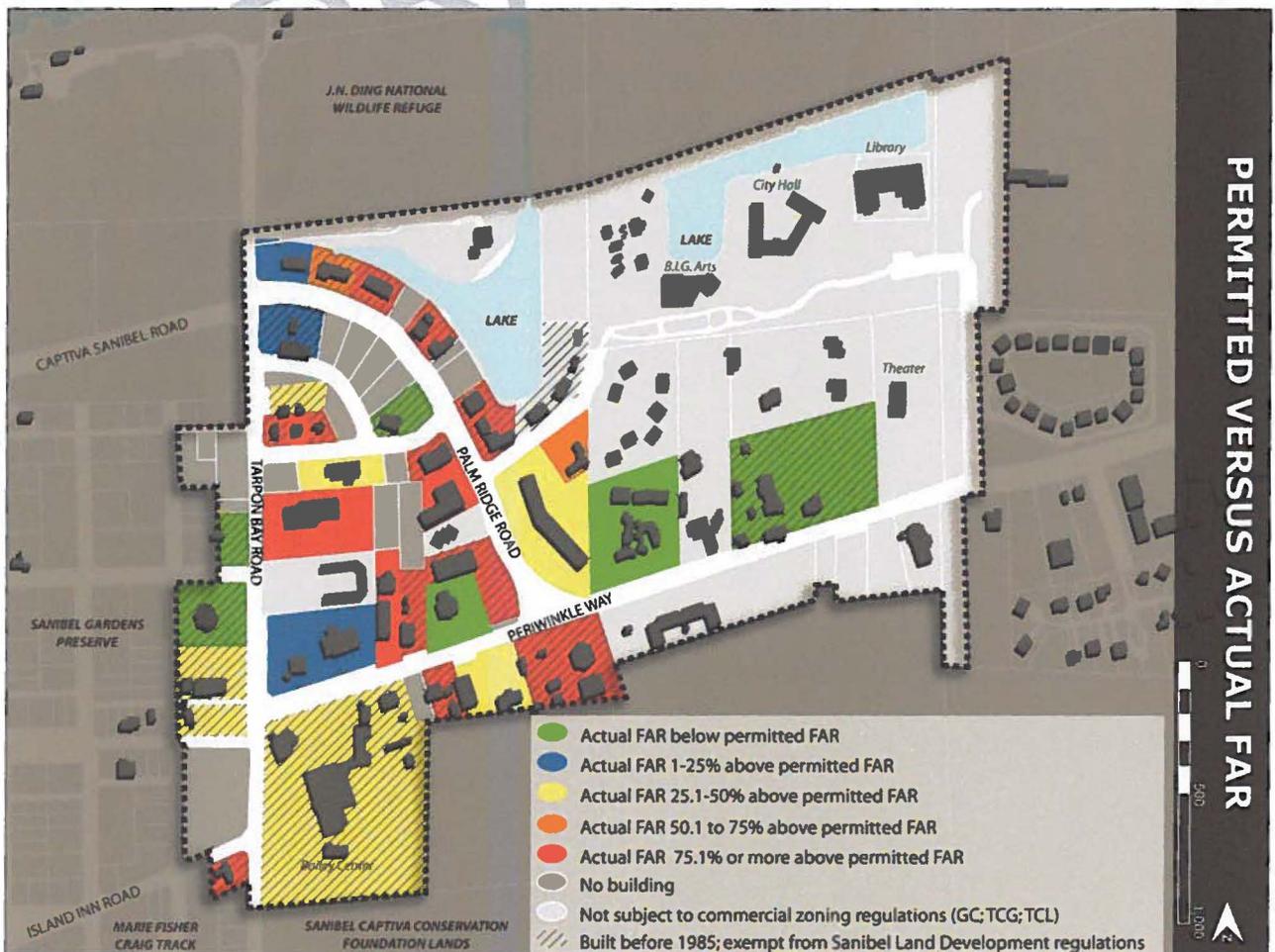
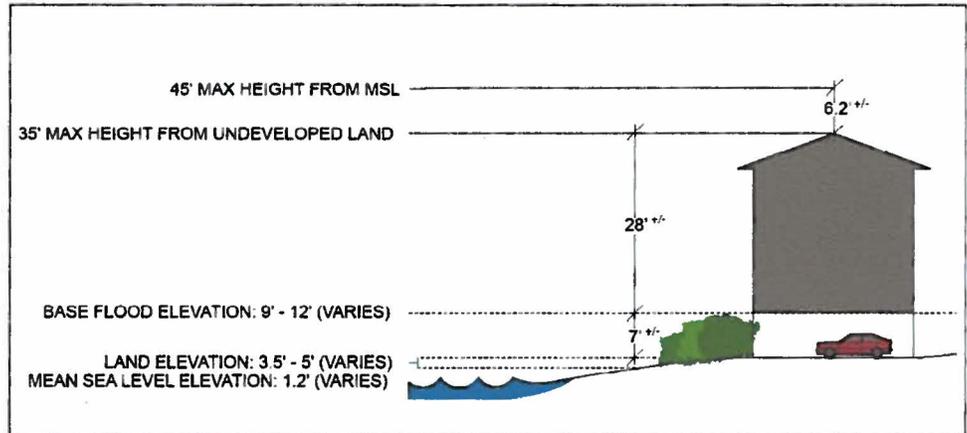


Figure 11: Permitted Vs. Actual Development Intensity

### ***Commercial Land Use Inventory***

The following data is derived from the City of Sanibel's adopted Commercial Land Use Inventory and a Resident Survey.

- The entire retail and commercial services inventory existing on Sanibel Island totals approximately 600,000 square feet.
- Seventy percent (70%) of commercial space is comprised of retail, with the other thirty percent (30%) intended for uses that are better characterized as services.
- Surveys completed in March 2006 and updated March 2007 indicate that the amount of commercial space that is normally vacant ranges from five percent (5%) to seven percent (7%).
- Approximately 82% of the Island's commercial inventory is located within the "General Commercial (GC)," "Town Center General (TCG)," and "Town Center Limited (TCL)" districts. These three districts contain 85% of retail space, 95% of services, and 28% of miscellaneous commercial not classified as retail or services.

*The City of Sanibel will resist pressures to accommodate increased development and redevelopment that is inconsistent with the Sanibel Plan, including this Vision Statement.*

*Sanibel Vision*

---

## **OPPORTUNITIES and CONSTRAINTS**

Based on preliminary findings and input from the community and research, a summary of preliminary district opportunities / constraints have been identified (see Figure 7) for further discussion. The summary represent a broad range of issues and recommendations; from site specific, to development codes, to land use and zoning.

### ***District Wide***

The following is a brief description of the identified District-wide opportunities and constraints:

#### ***Constraints:***

##### **FAR:**

The majority of retail and commercial properties within the District exceed the Floor Area Ratio (FAR) designated for that parcel. This has resulted in a disincentive to new development.

##### **Mixed-Use:**

The current Land Development Code requires the reduction of allowable retail/commercial FAR by one thousand feet (1,000 feet) for every market rate residential unit included in a mix-use development. This requirement discourages the concentration of residential development within the Island's core area of primarily altered land that is consistent with the density intensity map. Concentrating residential development within the core would encourage bicycle and pedestrian circulation and reduce the amount of building, infrastructure and roadway development in greenfields.

##### **Shared Parking Prohibitions:**

The current development code prohibits shared parking between zoning and land use classification, which limits opportunities for mixed-use development, and the creation of shared parking pools that could simultaneously serve civic, residential and parking needs.

**Wayfinding and Signage:**

The City does not have clear and consistent wayfinding and signage that would help circulation of residents and visitors through the District.

**Building Setbacks on Arterial Roads:**

Properties abutting an two-lane arterial roadway are required to be set back 100-feet from the centerline of the roadway. This results in large areas of surface parking fronting buildings.

**Lack of Comprehensive Design Guidelines:**

Inconsistent development, redevelopment and renovation of district properties: Architecture, open space, landscape, sustainable building, green infrastructure, stormwater, etc.

**Poor connectivity between different district areas:**

Linkage to civic and cultural uses  
Linkage between district and surrounding conservation areas  
Fragmented shared-use pathway system

**Transfer Development Rights (TDR):**

Internal district  
External district

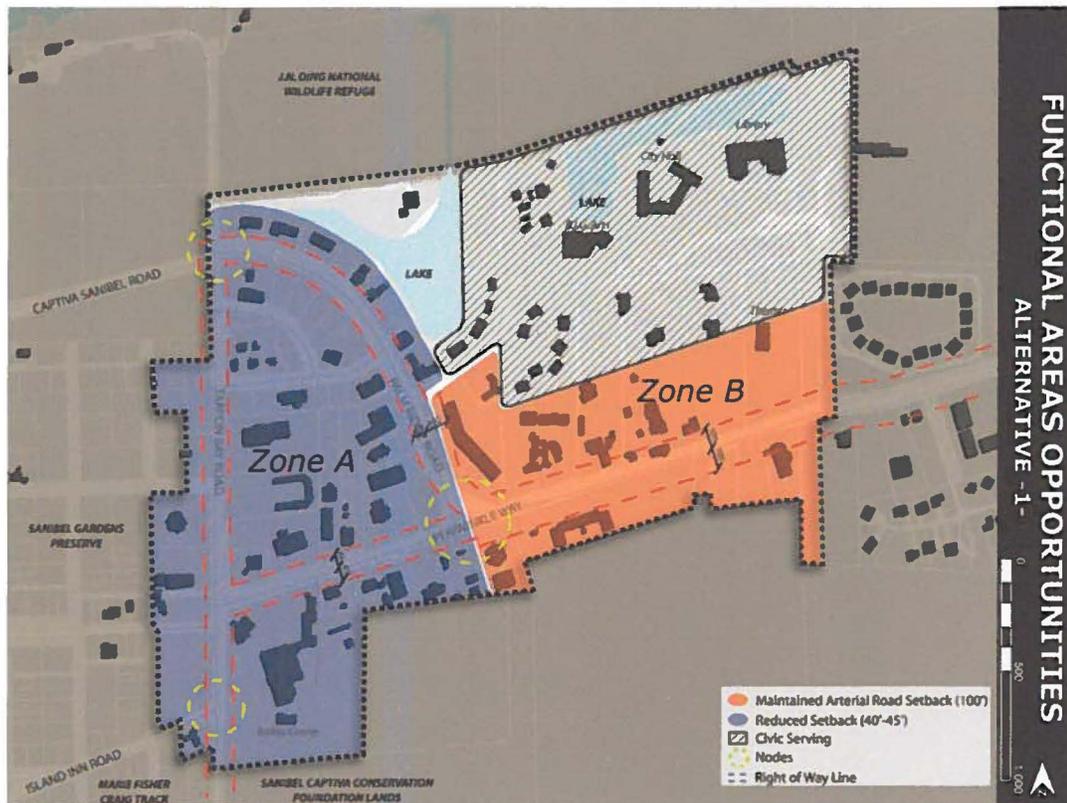


Figure 12: Functional Areas Option 1

**Opportunities:**

**Functional Use Options:**

Two different scenarios that re-define the District into two broad development categories defined by new building setbacks (see Figures 12 & 13):

**Zone A:**

Modified development regulations would focus development closer to streets, creating a pedestrian oriented and more human scale environment.

**Zone B:**

This area would retain the deep 100' setbacks required along minor arterial roads and include significant native vegetation buffers with integrated shared-use pathways. These zones are signature gateways.

**Dunlop Road Improvements:**

Reconfigure Dunlop Road into a continuous bifurcated roadway from Periwinkle Way to Palm Ridge Road, with significant center median bio-swales with wetland native plants. The newly configured roadway would ease movement through the civic area and provide a clear wayfinding and directional hierarchy that is currently missing.

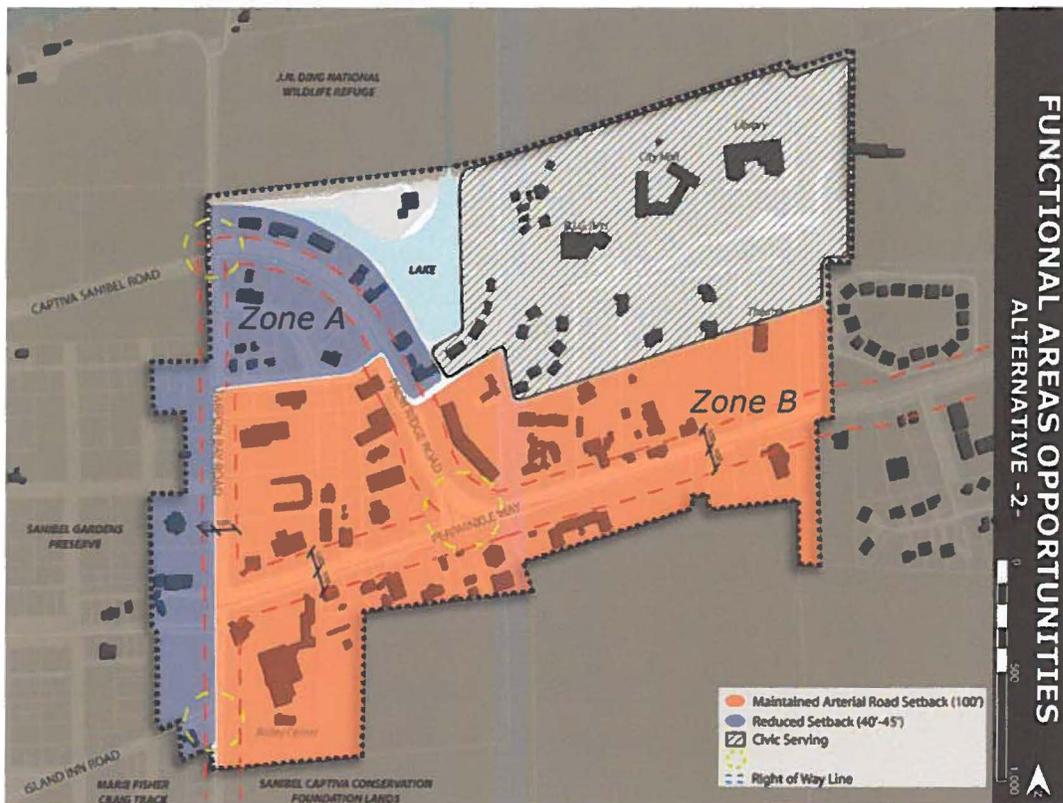


Figure 13: Functional Areas Option 2

**Palm Ridge Road Improvements:**

Reconfigure the public realm rights-of-way (+-80 feet) into a more human-scaled corridor that provides street vegetation and safe shared-pathways. The new cross-section would retain current vehicular traffic lanes, but transform the remaining rights-of-way of approximately 29 feet into a vegetated shared-use pathway, that would consist of:

*A 9.5-foot native vegetation buffer strip along the roadway edge, with an adjacent 10-foot wide porous pavement shared-use pathway, and then another 9.5-foot native vegetation strip to buffer users from private property parking, etc.*

Palm Ridge Road Improvements



Before



After



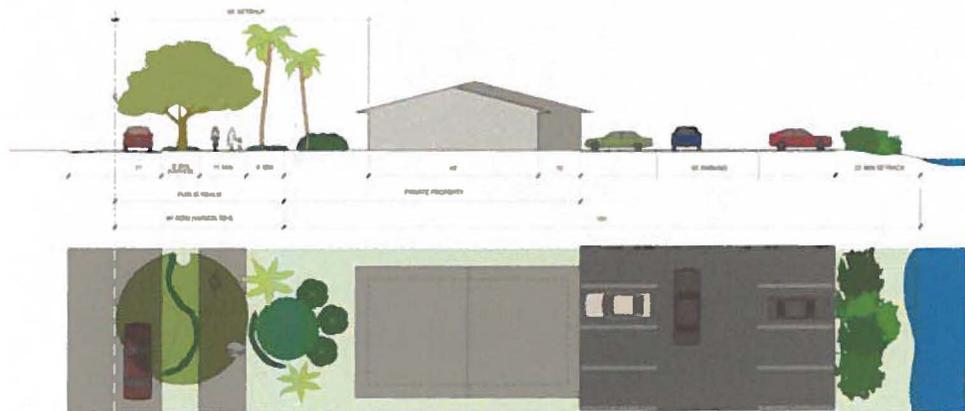
Cross Section & Plan View of Improvements within Existing Rights-of-Way



Before



After



Cross Section & Plan View of Improvements with New Rights-of-Way

**Recycling Center:**

Relocate and expand the Recycling Center to land adjacent to existing Public Works Department facility. This will allow access and use of this centrally located open space that links the civic complex with the theater and other areas to the south.

**Vehicular ingress/egress limits to properties:**

Restrict the number and size of vehicular access points into individual properties, which would provide larger areas for vegetation and reduce shared-use path/vehicular conflicts. The number and size of access points would be based on the linear length of property along a minor arterial roadway.

**Green Building Incentives:**

The City and Chamber of Commerce should investigate the development of Green Building incentive programs and policies that would encourage sustainable renovations, additions and new construction. This would help reduce ecological impacts to the island and be consistent in spirit with the original and amended versions of the Sanibel Plan.

### ***Focus Area***

A diagram of each Focus Area and the impacts of the current development code were created to demonstrate property development to allowable standards, without a complete Build-Back due to natural disaster. The diagrams show maximum allowable commercial at one story, and where appropriate, an option that includes workforce housing, and/or market-rate housing. Each of the diagrams demonstrates the design consequences resulting from current code, which suggest a re-examination of the development code's setback and other site requirements, especially as they affect the character and quality PWWD environment.

In addition, three very preliminary organization option for Focus Area A were created that expand upon current code limitations and explore very different possible site redevelopment possibilities, including the incorporation of adjacent lands.

### ***Potential Concept 1: Community Street***

Retail and commercial services are arrayed along a narrow "village street" that meanders northward into the site from Periwinkle Way. The single story Florida vernacular style architecture is massed to create a sequence small human scaled spaces that link the different buildings, and can serve as a necklace of 'event spaces' for festivals and seasonal events (see Figure 14).



*Sketch of aerial view along the "Community" street.*

Parking for the village is located behind, and occurs in small pods that will allow for significant canopy trees to reduce 'heat island' effect, and pedestrian access to the parking pods would be by covered pass-through.

North of the commercial area and set within native vegetation habitats would be a residential mews consisting of small groupings of multi-family attached homes with parking provided at grade level. Residences that front the Village Street would engage the street and sidewalk to create neighborhood character.

The Village Street concept would establish a community promenade where residents can shop, get coffee or ice cream, and meet neighbors in a relaxed atmosphere. It also provides a vehicular and pedestrian connection between Periwinkle Way and the Historic Village and Big Arts. The "village street" may also be closed to autos to provide another venue for events. Lastly, this option would not require zoning changes or an increase in allowable development intensity limits.

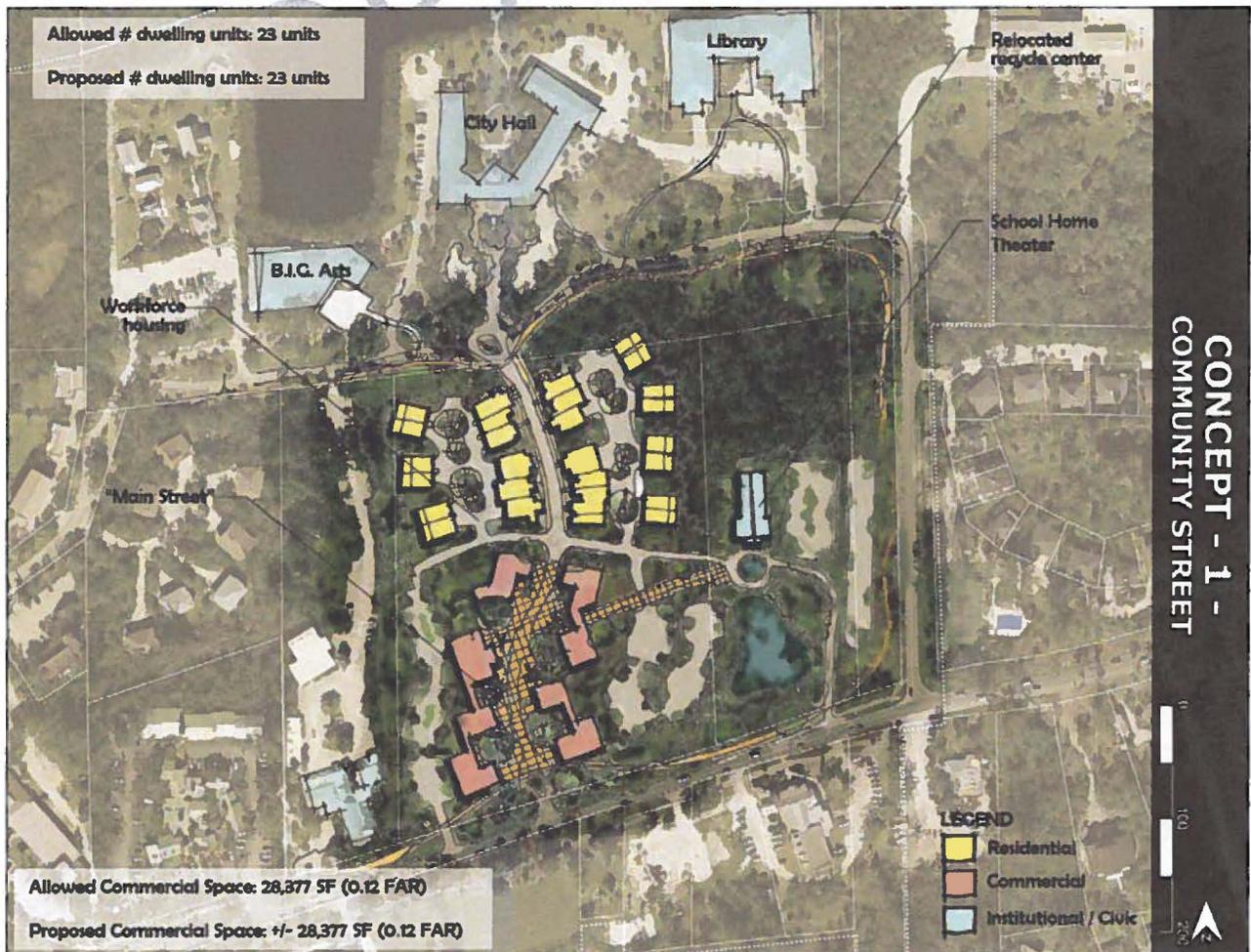


Figure 14: Concept 1 - Community Street

*Potential Concept 2: Green Commons*

Retail and commercial services are nestled within restored native mid-island ridge and upland-wetland habitats, through which pedestrians move between the various vernacular style buildings via a combination of at grade and elevated boardwalks and decks that are designed to minimize habitat impacts (see Figure 15).

Parking for the Green Commons is located behind the commercial structures, and occurs in small pods that will allow for significant canopy trees to reduce 'heat island' effect, and pedestrian access to the parking pods would be by boardwalk.

North of the area is a new civic and cultural center that would include a new Community Building that would be flexible in design to accommodate small and large events, lectures, and other civic functions. This new configuration helps integrate the existing civic and cultural facilities into the heart of the community.

Linking both the commercial and civic areas would be a large central commons that creates a community core. The design of this core would be a re-examination of what sustainable civic space can be, and as such, it would result in a uniquely Sanibel version of a commons. Rather than the traditional expanses of lawn, this



*Sketch of aerial view into the Green Commons commercial area.*

commons would be a significant wetland habitat that would attract wildlife, and it would serve a dual function as a community passive park and a storm-water management bio-swale.

The Green Commons re-creates a lush native habitat in which residents can shop and attend civic and cultural events in “green” structures that have minimal environmental impacts: Built and natural environments are seamlessly integrated. Lastly, this option would not require zoning changes or an increase in allowable development intensity limits.



Figure 15: Concept 2 - Green Commons

*Potential Scenario 3: Town Square*

Resident serving retail and commercial services frame a large open space that abuts Periwinkle Way, visually linking the Town Square with the City's new park. The large open space would include a wetland/lake, native canopy tree massings, and large areas of open lawn to accommodate civic and cultural events. In addition, this concept visually links the Theater to the "town square." An internal street surrounds the square and provides access to the commercial areas, as well as the new residential neighborhood to the north (see Figure 16).

Parking for the Town Square is located behind the commercial buildings, and the parking occurs in small pods that will allow for significant canopy trees to reduce 'heat island' effect.

The mixed-income residential neighborhood is configured along internal streets that access the internal road and Dunlop Road. This redundancy is meant to help alleviate congestion and link the neighborhood to both the Town Square and Civic Complex.

The Town Square concept embraces the idea of a "signature" civic space visible to the community. This concept does not require zoning changes or increases to development intensity limits.



*Sketch of aerial view into the Town Square.*

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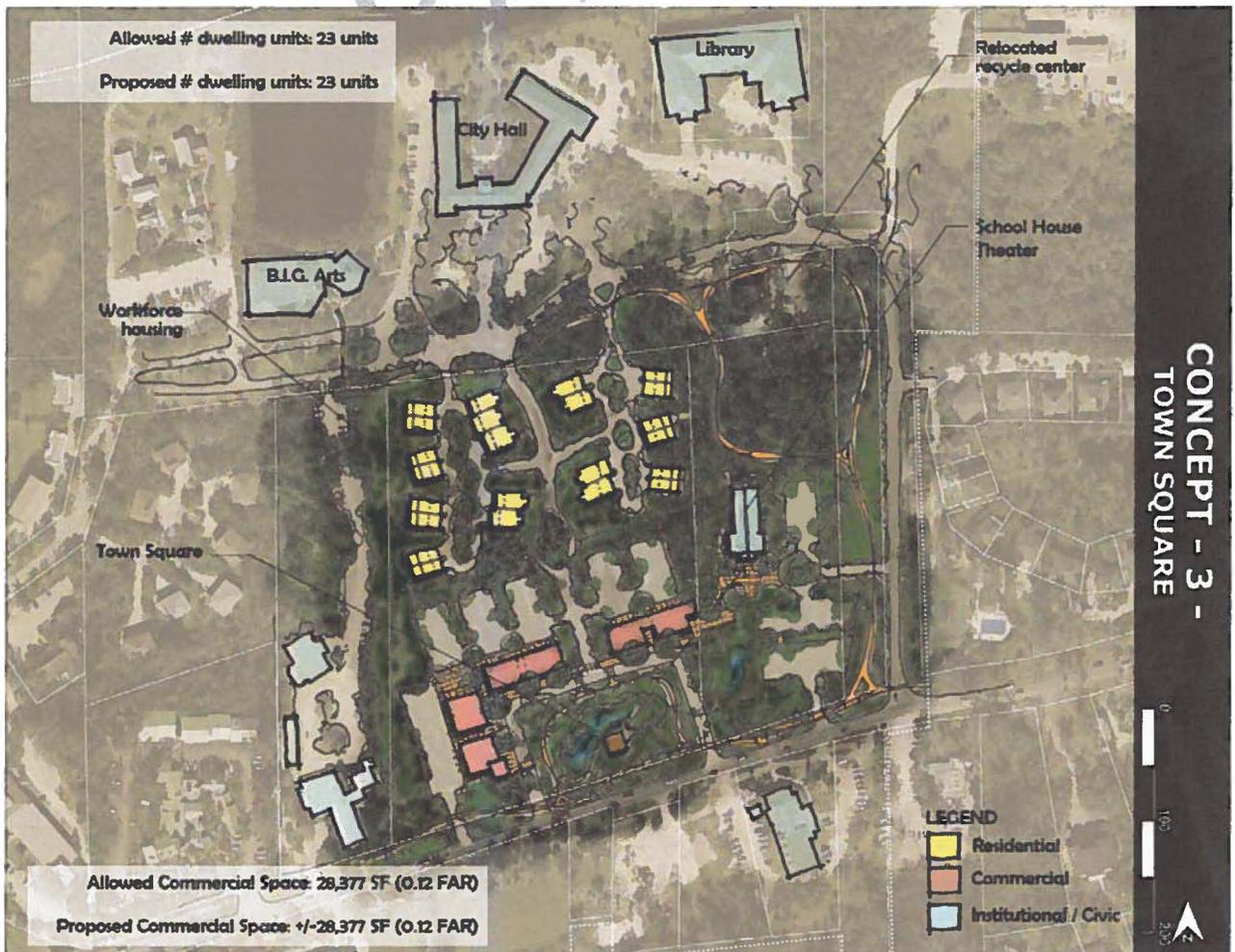


Figure 16: Concept 3 - Town Square

# City of Sanibel



## **Draft** **Periwinkle Way West** **Commercial District Plan**

*Phase II:  
Toward a Vision  
for the  
Periwinkle Way West District*



December 2007

**Phase 2:**

**Toward a Vision**

for the

**Periwinkle Way West District**

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# 1. Introduction: Purpose of the Perwinkle Way West District Plan and This Report

## A. Purpose of the Plan and This Report

*"This timely and unique planning effort is being undertaken to provide a clear, comprehensive and community based vision for the future of this important part of Sanibel. The eventual plan will articulate specific and sustainable land use, environmental, design, capital and regulatory strategies to guide future public improvements and private redevelopment efforts consistent with the Sanibel Plan."*

Sanibel Planning Department



In addition the plan is being undertaken in order to:

***Implement the Sanibel Plan, and the City Council's Fiscal Year 2007-2008 Goals for Redevelopment.***

This report provides a description of the planning activities that have occurred since the completion, in October 2007, of ***Phase 1: Existing Conditions and Opportunities and Constraints*** of the planning process, which include the following:

Section 2. of this report describes the outcomes of the two public visioning sessions that were held on Friday November 2, and Saturday November 3.

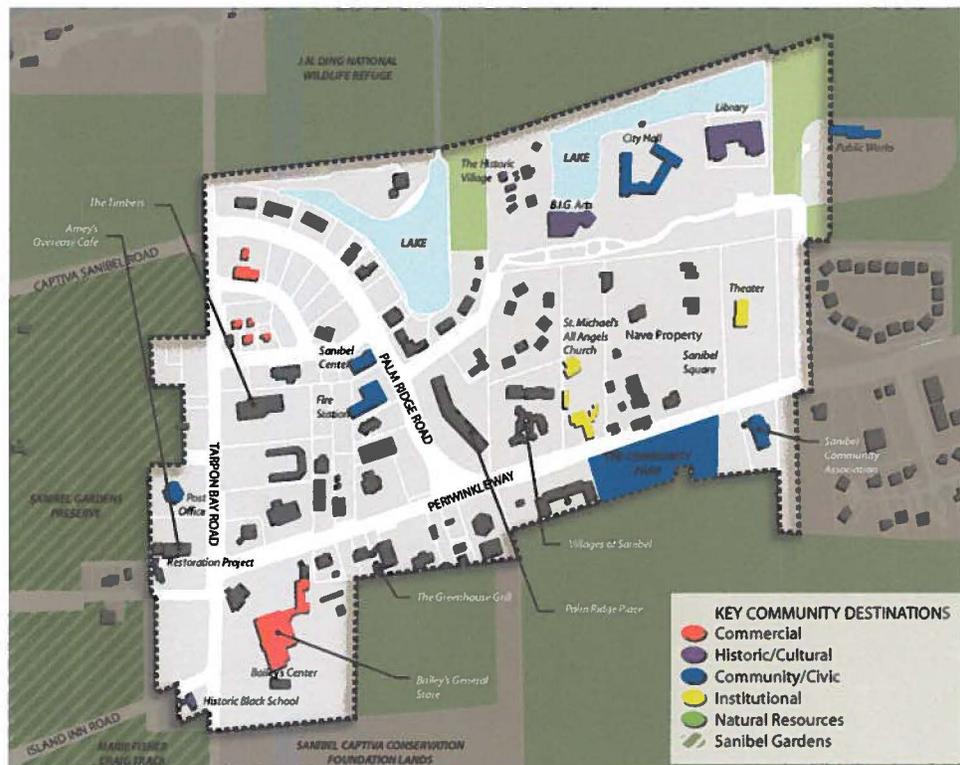
Section 3 of this report provides a summary of the supporting District economic and market analysis that has been prepared as a companion to the physical planning effort. The complete District Economic and Market Analysis is included as Appendix B. to this report.

Section 4 of this report includes illustrations of four "Vision Alternatives" and preliminary implementation strategies for the District. These alternatives were prepared in response to the comments received from the Planning Commission, City Council and the public in a joint City Council / Planning Commission meeting

held on October 16, 2007. They also incorporate several of the ideas described and discussed in the vision sessions as well as preliminary recommendations from the consultant team.

Section 5 of this report describes the prospective next step(s) in the District planning process.

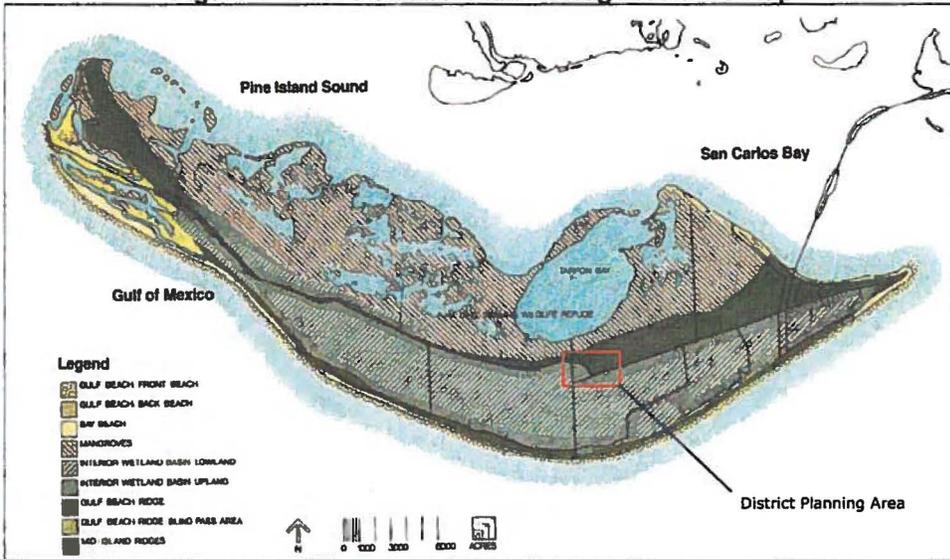
**Figure 1-1: Periwinkle Way West Commercial District Boundaries**



**B. Background**

The City Council and Planning Commission recognized the unique importance of the Periwinkle Way West area to the Island's future through their identification of the *Periwinkle Way West District Plan* as a project priority for fiscal year 2007 - 2008.

**Figure 1-2: 1976 Sanibel Plan Ecological Zones Map**



The 2007 Sanibel Plan identified the approximately 200-acre area that makes up the Periwinkle Way West District (PWWD) as the City's "Town Center" that would function as a community gathering place and public focal point primarily serving Island needs. The district is formed by the convergence of three major roadways—Periwinkle Way, Tarpon Bay Road and Palm Ridge / Sanibel - Captiva Road, and it is defined by civic, cultural and institutional activities, residential, open space, and a predominance of community-focused commercial, retail and service businesses.

Understanding the complexity of issues that needed to be addressed in this planning effort, the project was designed to include both, a district-wide view and a detailed examination of five District Focus Areas for change. The Focus Areas identified were:

- A: Nave Property
- B: Baileys Center, LLP Property (western parcel)
- C: Cross Property (Palm Ridge Road)
- D: Jean Paul French Corner Property
- E: Civic and Institutional Properties (City Hall, Big Arts, Theater, etc.)

The Sanibel Plan's Ecological Zones map identified four major land types within the district, with the largest area made up of altered land, followed in descending size by upland wetlands, mid-island ridge, and lowland wetlands. All four categories permit development of some level, from the highest intensity on altered lands to the least intensity on lowland wetlands. However, the district is bounded on three sides by environmentally sensitive areas, which require minimum-to-no development impacts from adjacent properties. As a result, a major goal of the PWWD is to establish clear recommendations for sustainable and compatible change that will not alter or disturb the delicate balance of the natural system carrying capacity, as well as to reinforce the distinctly Sanibel Island sense of place where built and natural environments are integrated.

### C. Consultant Team Experience and Commitment

In the spring of 2007, the City of Sanibel engaged the planning and design firm of WRT, LLC to assist the City's Planning Department with the preparation of the Periwinkle Way West District Plan. WRT, LLC is well familiar with Sanibel Island and its comprehensive plan, having prepared (then practicing as Wallace McHarg Roberts & Todd, or WMRT) the initial "Comprehensive Land Use Plan, City of Sanibel, Lee County Florida" in 1976. WRT also worked with the City in the development of its 1997 planning efforts, which included the writing of the Sanibel Vision Statement.

The City has also retained Real Estate Research Consultants, Inc. to collaborate with WRT, LLC and provide economic and market research necessary to evaluate and support PWWDP recommendations.

### D. Process for Plan Preparation

As originally outlined, the Periwinkle Way West District Planning process is comprised of four phases of work:

#### Phase 1: Existing Conditions, Opportunities and Constraints

The purpose of this phase of work was to develop an understanding of the functional and physical conditions and context of the District Study area and real estate and development dynamics. Stakeholder interviews were conducted to gauge the community's sense of study area issues, problems, opportunities and goals and objectives for the Plan. In addition two days of public "open houses" were held to inform residents and business owners about the planning process and to receive initial public comments and ideas. The results of Phase 1 were reported publicly in a joint meeting of the City Council and Planning Commission held on October 16, 2007.

**Figure 1-3: Palm Ridge Road Enhancement Opportunities: Before and After**



### Phase 2: Preliminary District Vision

The purpose of this Phase of work is to develop illustrations that depict potential “vision alternatives” for the District based on public input and comments, direction received from the City Council and Planning Commission, ideas generated at the two public visioning workshops held on November 2 and 3, 2007, and including independent analysis and ideas from the consultant team.

### Phase 3: Vision Refinement: Design Guidelines, Land Use and Land Development Code Recommendations

The purpose of this Phase of work, which has not yet been authorized by the City, is to refine the preliminary Vision developed as an outcome of Phase 2, and to develop preliminary District Plan recommendations. This Phase will include opportunities for further public review and comment on the Vision and preliminary recommendations.

### Phase 4: District Plan Documentation

The purpose of this phase of work, which has not yet been authorized by the City, is to prepare the documentation of the plan recommendations. The draft document will be available for public review and comment. Ultimately the intent is for the Planning Commission and City Council to adopt the plan and its recommendations.

## **E. Process for Public Involvement**

Continuous and substantial community participation is crucial to a successful outcome of this planning effort. In recognition of this, the City’s Planning Department and the consultant team strove to provide many different opportunities for community input in both Phase 1 and Phase 2 of the planning process. Input in these phases, included the following participants and forums:

### Phase 1

*City of Sanibel residents, cultural and institutional organizations, and business owners* participated through the following opportunities:

- Dialogue with the planning team during two full-day open house forums held on July 17-18, 2007;
- Responding to a questionnaire regarding the District Plan, available at City Hall, the City’s website, and in the local newspapers;

Resident responses to the Sanibel Periwinkle Way District Plan Stakeholders Questionnaire have represented a broad range of comments and recommendations. Many respondents envision residential development in the district, where housing for elderly, multi-family housing, and below market-rate housing being the most popular ones. A number of respondents think that providing additional housing opportunities for the island’s workforce is very important. Relatively the residents agree on commercial use being inappropriate for the island’s character. However, they support mixed-use developments that provide both commercial and residential occupancy in buildings.

The respondents were very positive about the need for public outdoor public spaces with added improvements such as playgrounds, gathering places with shade trees and mini parks. While parking was not specifically identified as a problem, respondents did state that there is too much of paved parking surface for the island. The respondents support the Island’s shared use path system and also encourage more shared use paths.

The respondents seem to identify the island's character as an "Island" style, old Florida vernacular architecture and native barrier island vegetation. City Hall, Library and Village Shops and Old Sanibel Shops-were often mentioned as the examples of preferred architecture and desired character of Sanibel. Numerous respondents were concerned that increases in density would change the Island's character. Sanibel's unique sense-of-place is what is described as the vision for the future of the district. A pedestrian friendly town center, improving the benefits of existing businesses and sustainable re-development with limited commercial uses are some of the major things suggested for changing and improving the district.

*City of Sanibel City Council:*

The consultant team made a project kick-off presentation to the City Council on July 17, 2007.

*City Planning Commission:*

The consultant team made a presentation of project progress to the City's Planning Commission on August 28, 2007.

*Joint City Council / Planning Commission:*

The conclusions of Phase 1 were presented at a joint meeting on October 16, 2007, at which time public comments were received and the Council and Commission also provided comments and direction for the study.

*Stakeholder Interviews:* Over the three day period of July 17, 18, and 19, 2007, the consultant team interviewed a wide range of community stakeholders, from City elected and appointed officials, to District property owners, to cultural and institutional directors. A complete list of stakeholders interviewed was provided as an addendum to the Phase 1 report.

**Phase 2**

*City of Sanibel residents, cultural and institutional organizations, and business owners participated through the following opportunities:*

*Vision Workshops:*

Two vision workshops were held on Friday November 2 and Saturday November 3. Sessions ran for approximately three hours each day and included introductory slide presentations, breakout vision "brainstorming" sessions and closing plenary "report-out" sessions. A total of 111 persons participated in the sessions over the two days.



*Joint City Council / Planning Commission:*

A presentation of the Phase 2 Report is scheduled for a joint meeting of the City Council and Planning Commission on December 18, 2007.

***Subsequent Phases***

Should the City authorize the subsequent phase(s) of the planning study, the process will be refined as appropriate to ensure a continued high level of public participation and information dissemination throughout the remainder of the planning process.

## 2. Summary of Vision Workshops

### A. Vision Workshop Process

Two visioning workshop sessions were held on Friday morning November 2 and Saturday morning November 3, 2007. The purpose of the workshops was to “step back” from the detailed background facts regarding the Study Area that were presented in Phase 1, and think broadly about the desired future character and quality of the Periwinkle Way West District. The Vision workshops consisted of a ½ hour summary presentation of the results of the Phase 1 analysis of existing conditions, opportunities and constraints, followed by 15 minute slide show introducing the topics and ground rules for the vision sessions. These presentations were followed by break-out group discussions and final report – out by each group at the end of the session. Sessions ran from approximately 9:00 AM until noon each day.

#### Vision Session Topics

Participants in the visioning workshops were asked to address the following ten potential District Plan elements and related questions regarding the desired future character and quality of the Periwinkle Way West District. Participants were encouraged to think about the study area in its entirety, and also specific properties, framed within the context of the District as a whole.

#### 1. Town Center

- a. What is a town center in the Sanibel context?



#### 2. Uses

- a. What is the range of uses appropriate in the planning area?
- b. Should there be a distinction between land use or functional sub-areas within the district?
- c. What specific additional uses should be encouraged?



**3. Civic, cultural, and governmental uses**

- a. How can we better support civic uses?
  - i. Expand B.I.G. Arts, and/or other civic and cultural uses?
  - ii. Expand/increase parking?
  - iii. Improve connections?



**4. Architectural character / style**

- a. Should the City provide more specific guidelines for architectural character and style in the district planning area?
- b. What style/character is appropriate / inappropriate?



**5. Location/Arrangement of uses**

- a. Should residential and commercial uses be separated in distinct districts?
- b. Should the City promote mixing of uses on individual properties?
- c. Should the City promote mixed-use buildings?

**6. Density/ intensity**

- a. What is the appropriate density/intensity for future development within the district planning area?

**7. Redevelopment**

- a. Should the "build-back" provisions be extended to allow redevelopment at the existing density / intensity on a given property—even if it exceeds the current zoning?



**8. Parking**

- a. Should the City allow shared use parking?
  - i. Reduce parking standards for mixed-use development?
  - ii. Encourage cross-property access to facilitate shared parking use?
- b. Should special event parking be handled differently?
- c. Should the City adopt requirements/limitations to require parking in the front? Rear? On street?



### 9. Public Realm - Open Space

- a. How can or should the natural/conservation areas be integrated into the district planning area?
- b. What types of civic spaces are desired and what should be their location, size, character and quality?



### 10. Public Realm – Streets and paths

- a. How can the district be made more pedestrian friendly?
- b. Where do pedestrian / bicycle linkages between uses, and across the district planning area need to be improved?



### Vision Session Format

Participants in the visioning workshops were divided into four groups of 10 +/- persons for the Friday sessions, and three groups of 10 – 12 persons for the Saturday morning session. Each group discussed the Vision topics for approximately 1 – 1 ½ hours. Each group discussion was facilitated by members of Wallace Roberts & Todd's professional planning and design staff, who recorded the discussions and topics on which there was agreement, or disagreement as the case may be. Following the separate group discussions, all groups reconvened and each group provided a report of its ideas, and areas of agreement / disagreement.

### **B. Summary of Vision Session Results**

The following is a summary of the outcome of the vision workshop sessions. To prepare this summary the consultant team reviewed and summarized the notes that were taken during the vision break-out sessions, then reviewed the summaries looking for ideas / topics on which there appeared to be varying degrees of agreement amongst the groups. A complete version summarizing the responses of each group to the vision topics is included in the appendix to this report.

On several topics and questions there was virtually unanimous agreement among

all individual groups. On other questions there was no unanimous agreement, but certain ideas / topics about which there was general agreement – i.e. the ideas were mentioned by more than two groups of participants. In addition there were many other ideas discussed, which are noted in the following summary. This varying degree of agreement is reflected in the following summary.

It is important to remember that the areas/ideas on which there was perceived to be general agreement reflect only the opinions of those who participated in the workshops.

In total there were 65 attendees on Friday and 46 attendees on Saturday, for a total participation of 111 persons over the two days.

**Vision topic: Town Center**  
**What is a town center in the Sanibel context?**

| Unanimous Agreement  | General Agreement  | Other Ideas  |
|--|--|--|
| <ul style="list-style-type: none"> <li>Mix of uses including housing, retail, restaurants</li> </ul> | <ul style="list-style-type: none"> <li>Area as focal point / "hub"/ central location / social meeting place /</li> <li>Mixed use buildings are okay</li> <li>Well developed (improved) pedestrian paths to connect uses</li> </ul> | <ul style="list-style-type: none"> <li>Family destination / playground / Dog Park</li> <li>Inviting commercial spaces</li> <li>Expand civic structures</li> <li>Park as focal point</li> <li>Cultural uses as focal point</li> <li>Predominantly commercial uses</li> <li>Mix of housing types – senior, market, workforce</li> <li>One way traffic, pedestrian overpasses, traffic circles</li> <li>Dog Park</li> <li>"Town Center" term creates confusion</li> </ul> |

**Vision topic: Uses**  
**What is the range of uses appropriate in the planning area?**  
**Should there be a distinction between land use or functional sub-areas within the district?**  
**What specific additional uses should be encouraged?**

| Unanimous Agreement  | General Agreement  | Other Ideas  |
|--|--|--|
| <ul style="list-style-type: none"> <li>Mixed uses – residential over commercial should be permitted</li> </ul> | <ul style="list-style-type: none"> <li>Resident serving business ("only", "mainly")</li> <li>Restaurants, outdoor dining</li> <li>Workforce housing</li> <li>Senior housing</li> </ul> | <ul style="list-style-type: none"> <li>Bookstore</li> <li>Not just another shopping center</li> <li>Upgrade existing vacant businesses</li> <li>"Main street" to have civic and commercial uses</li> <li>Encourage office space</li> <li>Convenience services</li> </ul> |

**Vision topic: Civic, Cultural and Governmental Uses**

**How can we better support civic uses:**

**BIG Arts / other civic and cultural uses?**

**Expand/increase parking?**

**Improve connections?**

| Unanimous Agreement                                      | General Agreement   | Other Ideas  |
|--|---|--|
| <ul style="list-style-type: none"> <li>• None</li> </ul> | <ul style="list-style-type: none"> <li>• Expand BIG Arts</li> <li>• Improve pedestrian connectivity and visibility of civic uses</li> <li>• Shared parking</li> </ul> | <ul style="list-style-type: none"> <li>• Move historical village</li> <li>• Move post office to east side of Tarpon Bay Road</li> <li>• Better bike paths along Dunlop and Palm Ridge Roads</li> <li>• Close Periwinkle and connect via Dunlop</li> <li>• Provide expansion for senior center and rebuild</li> </ul> |

**Vision topic: Architectural Character / Style**

**Should the city provide more specific guidelines for architectural character and style in the district planning area?**

**What style / character is appropriate / inappropriate?**

| Unanimous Agreement                                      | General Agreement  | Other Ideas   |
|--|--|---|
| <ul style="list-style-type: none"> <li>• None</li> </ul> | <ul style="list-style-type: none"> <li>• Provide architectural guidelines                             <ul style="list-style-type: none"> <li>- Not "extreme"</li> <li>- Everything should not look the same</li> </ul> </li> <li>• No "neo-mediterranean"</li> <li>• No high rise</li> <li>• Old Florida / Island style</li> </ul> | <ul style="list-style-type: none"> <li>• Design review process</li> <li>• Control color schemes to "blend in"</li> <li>• No contemporary / modern</li> <li>• Historic village, city hall, library are models</li> </ul> |

**Vision topic: Location / Arrangement of Uses**

**Should residential and commercial uses be separated in distinct districts?**

**Should the city promote mixing of uses on individual properties?**

**Should the city promote mixed-use buildings?**

| Unanimous Agreement   | General Agreement  | Other Ideas   |
|---|--|---|
| <ul style="list-style-type: none"> <li>• Endorse mixed – use development and mixed-use buildings</li> </ul> | <ul style="list-style-type: none"> <li>• Nothing additional</li> </ul> | <ul style="list-style-type: none"> <li>• Condos – no, townhouses – yes</li> <li>• Avoid strip mall type commercial development</li> </ul> |

**2. Vision topic: Density / Intensity**

**What is the appropriate density / intensity for future development within the district planning area?**

| Unanimous Agreement                                      | General Agreement   | Other Ideas  |
|--|---|--|
| <ul style="list-style-type: none"> <li>• None</li> </ul> | <ul style="list-style-type: none"> <li>• Allow density transfer within district, but no overall increase in density</li> <li>• Increase density (in the district) to facilitate mixed use development and pedestrian orientation of the district</li> </ul> | <ul style="list-style-type: none"> <li>• Provide incentives for redevelopment</li> <li>• Density of existing development is acceptable</li> <li>• Increase density for senior housing</li> <li>• Concentrate/cluster uses to create big open spaces</li> <li>• Rearrange uses but do not necessarily increase density</li> </ul> |

**Vision topic: Redevelopment**

**Should the build-back provisions be extended to allow redevelopment at the existing density / intensity on a given property – even if it exceeds current zoning?**

| Unanimous Agreement                                      | General Agreement   | Other Ideas  |
|--|---|--|
| <ul style="list-style-type: none"> <li>• None</li> </ul> | <ul style="list-style-type: none"> <li>• Allow build-back to existing density with restrictions / incentives</li> </ul> | <ul style="list-style-type: none"> <li>• Provide incentives for redevelopment</li> <li>• Provide financial incentives to businesses</li> </ul> |

**Vision topic: Parking**

**Should the City allow shared use parking?  
Should special event parking be handled differently?  
Should the City adopt requirements/limitations to require parking in the front? Rear? On-street?**

| Unanimous Agreement  | General Agreement   | Other Ideas  |
|--|---|--|
| <ul style="list-style-type: none"> <li>• Create Land Development Code provision to allow shared use parking</li> </ul> | <ul style="list-style-type: none"> <li>• Peripheral parking with shuttle/trolley (special events)</li> <li>• Encourage parking at rear of property</li> <li>• Reduce 100 foot front yard setback</li> </ul> | <ul style="list-style-type: none"> <li>• Connect parking lots on different properties</li> <li>• Reduce curb cuts</li> <li>• Expand parking for civic uses</li> <li>• No road through town center</li> <li>• Consider alternate modes of transportation (trams, golf carts)</li> </ul> |

**Vision topic: Public Realm – Open Space**

**How can / should the natural / conservation areas be integrated into the district planning area?**

**What types of civic spaces are desired and what should be their location, size, character and quality?**

| Unanimous Agreement                                      | General Agreement  | Other Ideas  |
|--|--|--|
| <ul style="list-style-type: none"> <li>• None</li> </ul> | <ul style="list-style-type: none"> <li>• Outdoor performance space (bandstand, soft space, BIG Arts as model)</li> </ul> | <ul style="list-style-type: none"> <li>• Dog Park</li> <li>• Playground north of Periwinkle</li> <li>• Low intensity lighting</li> <li>• Place for family picnic</li> <li>• Fountain</li> <li>• Pedestrian bridge</li> <li>• Outdoor dining</li> </ul> |

**Vision topic: Public Realm – Streets and Paths**

**How can the district be made more pedestrian friendly?**

**Where do pedestrian / bicycle linkages between uses, and across the district planning area, need to be improved?**

| Unanimous Agreement                                      | General Agreement  | Other Ideas  |
|--|--|--|
| <ul style="list-style-type: none"> <li>• None</li> </ul> | <ul style="list-style-type: none"> <li>• Provide interior connectivity between properties to create a network of public paths that connect more than just the Nave property</li> </ul> | <ul style="list-style-type: none"> <li>• Low level lighting</li> <li>• Separate bicycle/ pedestrian paths</li> <li>• Turn lanes</li> <li>• Pedestrian path on Dunlop</li> <li>• Traffic roundabouts</li> <li>• Consider small electric vehicles</li> <li>• No main street through Nave property</li> <li>• One way traffic loop</li> </ul> |

### 3. Summary of District Economic and Market Analysis

#### A. Introduction: Charge and Overview of District Economic and Market Analysis and Relationship to Overall District Planning Program

The overall goal of this phase of market and economic analysis for the Periwinkle Way West District Plan (PWWDP) has been to establish an effective baseline of data for existing economic conditions and market demand for various types of development within the traditional Sanibel Island boundaries, with a clear view of past, current, and future land uses trends. The extent that these trends may be related to existing or evolving policies is addressed only as potential concepts of The PWWDP are envisioned by planners, stakeholders, leadership, and citizens in general. The consultant team assembled by Real Estate Research Consultants, Inc. (RERC) has worked closely with WRT and all the above-mentioned parties to ensure that the analysis produced will be consistent with the Economic Assumptions of The Sanibel Plan and not violate conservation precepts held dear in the Sanibel Island environmentally sensitive economy.

#### Periwinkle Way West Commercial District Plan

RERC's role in this initial phase of work has been to support the efforts of WRT as that firm proceeds with the first two phases of preparing the commercial district plan, including a "preliminary district vision plans" and concepts for specific "focus areas." Generally, RERC: 1) participated as needed in the workshops and stakeholder interviews required to understand economic, market, and land use issues associated with the district plan; and 2) completed retail and commercial market analysis to provide meaningful parameters to potential redevelopment and land use programs for conceptual vision plans. The most important goal for this phase of work is to create a realistic vision that sustains and enhances the unique environmental and community character of Sanibel and reinforces The Sanibel Plan, especially identifying niches of opportunity for retaining and supporting unique island-serving commercial uses and services.

RERC has examined Sanibel Island's current environmentally based economy through the "eyes" of Sanibel's retailers, restaurateurs, other businesses, and the resident/visitor population. *More than forty primary interviews were completed by RERC's staff among local retailers, business leaders, resort operators, current and former planning commissioners and city council members, major property owners, developers, and representatives of civic organizations. As well, RERC staff reviewed the results of all locally conducted workshops, public meetings, and visioning sessions.* Much of the performance data RERC has collected and generated as a foundation for evaluating Sanibel's long-term retail/restaurant/services needs will also serve as a benchmarks against which to measure progress toward goals and policies that are established as part of The Sanibel Plan.

Retail/restaurant/services components of The PWWDP must take into consideration existing island commercial patterns and must reflect the unique niche opportunities that can be sustained by the Sanibel seasonal and off-season population base. The competitive and complementary aspects of the Periwinkle Way West District must be evaluated as part of the planning process. Specific stabilization or enhancement strategies must address the opportunities and requirements associated with diverse, multi-cultural market segments, such as island workers, primary residents, resort tourists, vacation homeowners, day visitors, and other potential elements. The RERC economic and market report summarizes the market with respect to:

- Profiles of existing commercial conditions;
- Demographics and other market dynamics;
- Prior economic and market studies;
- Opportunities and constraints for redevelopment; and
- Preliminary market strategies.

## **B. Profile: Existing Conditions Within the Commercial District**

### Commercial Supply on Sanibel Island

The entire retail and commercial services inventory existing on Sanibel Island totals approximately 600,000 square feet of retail shops, various restaurants, and numerous professional and personal services establishments, based upon building-by-building surveys of the city's planning department maintained over several years. The businesses located within this commercial space address the daily needs of full time and part-time residents, seasonal visitors, resort guests, and day-trippers on a year-round basis.

The most recent comprehensive survey was completed by staff and approved by the City Council in March 2007. There was very little change between this update and the detailed survey completed in March 2006, except for an apparent reduction in the number of vacant commercial units in the General Commercial (GC) District. RERC used the detailed breakdowns of occupied commercial establishments by location and zoning category presented in the 2006 survey to aggregate the commercial inventory into common business groupings that fall into four basic categories:

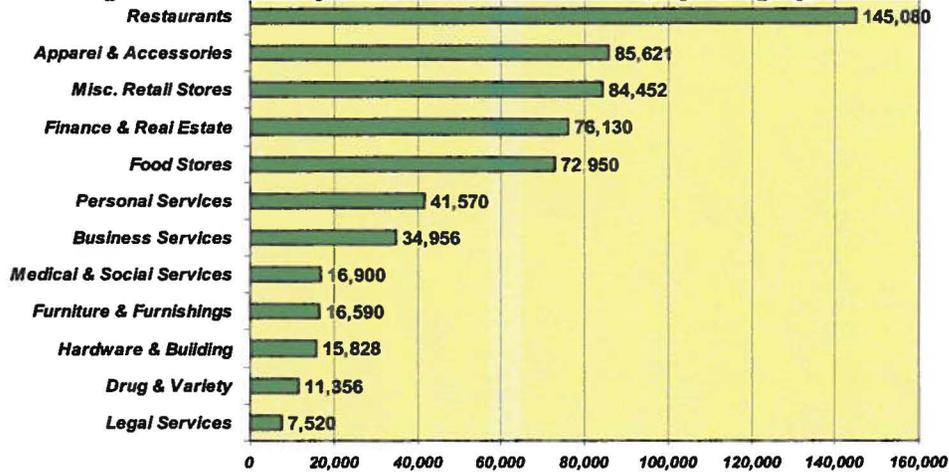
- "Convenience-goods" retailing (serving immediate and impulse-driven needs);
- "Destination" retailing (drawing shoppers to specific merchandise or appeal);
- Restaurants and food services; and,
- Business, personal, and other services (banks, attorneys, real estate, spas, etc.).

Seventy percent (70%) of this commercial space is comprised of (or intended for) uses that are described as "Retail," including restaurants and stores of all descriptions. The other thirty percent (30%) is intended for uses that are better characterized as "Services," including financial, legal, and other firms serving business and personal needs, as well as medical and other health-related facilities.

The surveys completed in March 2006 and updated March 2007 indicate that the amount of commercial space that is normally vacant ranges from five percent (5%) to seven percent (7%). The vacant space inventory declined about 40% from 2006 to 2007 to just over 31,000 square feet.

The single largest category of commercial space is restaurants, comprising a little more than 145,000 square feet. Apparel and accessories stores make up the second largest category, followed closely by "miscellaneous" retail stores (which would include gifts, novelties, souvenirs, recreational merchandise, etc.), and food stores. The largest services category is comprised of real estate offices (76,130 square feet), followed by personal services (spas, beauty shops, bicycle rentals, child care, decorators, video rentals, and entertainment), and business services (copy centers, travel agents, equipment rental, cleaning and maintenance services, repair shops, professionals, etc.)

**Figure 3-1: Inventory of Commercial Land Uses, By Category, 2007**



Sanibel Island has four primary commercial districts along Periwinkle Way between Causeway Boulevard and Tarpon Bay Road, complemented by four smaller commercial districts between the Lighthouse and Blind Pass. About 82% of the commercial inventory is located within the “General Commercial (GC),” “Town Center General (TCG),” and “Town Center Limited (TCL)” districts. These three districts contain 85% of retail space, 95% of services, and 28% of miscellaneous commercial not classified as retail or services. Roughly one-third of the restaurant space is found dispersed outside the Periwinkle commercial district(s). About one-fourth of the space dedicated to tourist-oriented stores selling gifts, souvenirs, and novelties are outside the main commercial district.

**C. Demographics, Incomes, and Other Current Market Conditions relevant to the District plan**

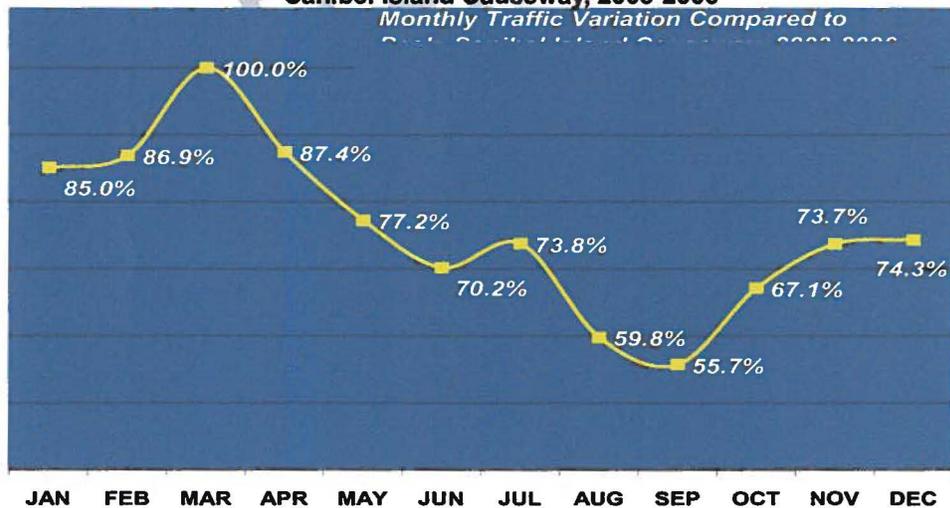
The most reliable and predictable sources of demand for commercial goods and services on Sanibel Island are residents – both full-time and part-time. Those who own homes or condominiums on the island and spend anywhere from a few weeks to twelve months living continuously on the island form the bedrock of demand for businesses that serve this “local” need. With the exceptions of restaurants, gift and souvenir shops, selected apparel and accessories stores, and certain resort-oriented services, surveys of local businesses confirm that the full-time and seasonal residents are the basic foundation of sales and revenues.

Surveys of potential shoppers for goods and services on the island reveal the personal shopping and spending habits of the island “residents” are typically quite similar to those exhibited by most residents when they are active in their “normal” home markets. In other words, these retail and service demands are a function of daily needs and household incomes, as compared to short-term visitors who shop and spend as if they are on vacation, which they are. Visitors’ spending patterns are much more oriented to dining, souvenirs, entertainment, and resort services. Thus, Sanibel sees a diversified commercial market with disproportionate amounts of restaurants, gift shops, resort apparel, and personal services, which are dependent upon the varying visitor levels dictated by unpredictable factors such as weather, environment, national economic fluctuations, tolls and gas prices, global exchange rates and alternative competitive offerings.

RERC estimates that roughly two-thirds of Sanibel's commercial space is directly supported by expenditures of full-time and part-time residents – homeowners and visitors – normally reside on the island during the winter months between Christmas and Easter. The resident population swells from its year-round base of about 6,500 persons in 3,000 households to a peak of about 18,000 persons in 8,000 households. As a result, total resident-based commercial demands for retail, restaurant, and services space grow from 800,000 square feet to more than 2.1 million square feet.

Of this total resident-based demand potential, RERC estimates that Sanibel Island's commercial offerings are only able to "capture" roughly 20%, because the mix of stores and extent of competitive offerings require many expenditures to "leak" outside the local market to major retail centers on the mainland (or to on-line shopping alternatives). As a result, RERC estimates that on-island resident demand "peaks" during prime season at about 420,000 square feet, or two-thirds of the total commercial inventory on the island. The support for the balance of the commercial space must be derived from the short-term visitor traffic, which varies daily and monthly depending on season and external influences.

**Figure 3-2: Monthly Traffic Variation Compared to Peak, Sanibel Island Causeway, 2003-2006**



**D. Adopted Plans and Policies and Previous Economic and Market Analyses that Pertain to the District**

The current assessment is not the first time that the economy and commercial market potentials of Sanibel Island have been evaluated. The consultants were introduced to the current effort through a broad selection of research and planning studies reaching back 30 years to the earliest formulation of The Sanibel Plan. Beginning with the Economic Assumptions prepared in 1976 as part of the Sanibel Plan, the fundamental guiding principles of commercial development and redevelopment in light of growth trends and periodic reviews of market conditions have been studied and tested roughly every decade, or so.

All objective and professionally prepared market studies have all concluded with the same basic observation: commercial demand growth on Sanibel is greatly limited by environmental, economic, and accessibility constraints.

In addition to formal market studies commissioned with highly qualified private consultants, through planning initiatives, citizen and business surveys, and locally based business roundtables the City has monitored consumer preferences and business issues on the island. All of the foregoing work is relevant to the current planning for the Commercial District, so findings of prior reports are briefly summarized here.

**The Sanibel Plan: Section 1.3. Economic Assumptions of the Plan** – The original document that set forth guidelines for commercial development, The Sanibel Plan recognized that the *economic base of Sanibel is the environment*. The most basic of all the economic assumptions for Sanibel's planning is that economic fortunes are directly related to the viability of the island's natural systems. Sanibel must protect the environment as a component of sound economic policy.

**Commercial District Rezoning Ordinance 06-022** – In February 2007 the City approved amended commercial district land development regulations that are intended to limit building sizes, restrict further Formula Retail, and update basic design guidelines.

**1981 Report by Barton-Ashman Associates** – In 1981, this Illinois firm was retained by the City of Sanibel to prepare an exhaustive analysis of market, economic, and land use aspects of commercial development on Sanibel. Permanent and seasonal resident, hotel guests, and shoppers were surveyed directly to gather primary research on consumption patterns and demographic data. The consultants also completed traditional market supply-demand analysis to ascertain the outlook for commercial development on Sanibel into the foreseeable future.

**Economic Possibilities, Realities, and Assumptions, 1997** – This report was prepared by Dr. James C. Nicholas for the City of Sanibel to reexamine the economic performance of the island's economy in the 20 years following preparation of The Sanibel Plan in 1976. The consultant reviewed updated data regarding housing, incomes, property values, traffic counts, and tourism to test continuing viability of the island's economic base.

**Land Use Data Base, Market , and Recommendations, 1996** – This report was prepared by a local real estate consultant for the Sanibel/Captiva Chamber of Commerce to profile residential and business real estate trends on Sanibel Island.

**Locally Owned Business Initiative, 2005-2006** – In 2005, the City established a small business initiative for creating on-going dialogue with citizens and businesses regarding issues impacting the local business climate. Findings of the Resident Survey and Local Business Roundtables have yielded useful input and insight on current conditions important to both constituencies.

#### **E. Market and Economic Trends: Opportunities and Constraints Impacting Redevelopment**

In some respects, the location and popularity of Sanibel Island would appear to offer a broad range of opportunities for new development and commercial land uses. Whatever these opportunities may *appear* to be, the *most appropriate use* for specific sites or general development districts is carefully and explicitly limited by zoning and growth management regulations imposed by the will of the island's residents, the Sanibel Plan and Land Development Code. The Sanibel Plan has prevented the island from

being overrun by careless commercial or residential development that does not fit into the natural environment which sets Sanibel apart from all other barrier island resort communities.

Sanibel Island's new development or redevelopment potential within the commercial district is likely to depend on a combination of limited retail establishments, offices for services, or low-density residential uses. Most likely, the Sanibel Plan's regulatory guidelines and the island's limited commercial role within the greater southwest Florida coastal region will continue to limit the practical scale and nature of development which might be strategically pursued by the City and key stakeholders.

Such issues and ideas focus the research and analytical effort involved in this assignment, which consists of an investigation of the economic forces impacting the island's future; an indication of the local market's ability to support various commercial and residential land uses; a time frame in which strategic redevelopment might occur; conceptual visions of town center-building approaches, if any, that might be applicable; possible private redevelopment interests; and cost-benefit implications of alternative policy directions. All findings and conclusions of the economic and market analysis have to be balanced and reconciled within the over-riding goals, objectives, and restrictions of The Sanibel Plan.

#### Retail and Services Demand Calculation

RERC used its own proprietary retail and services demand models to calculate potential resident-based commercial space demand on Sanibel Island. *(In our experience, attempts to accurately quantify and characterize visitor spending impacts have proven difficult, although it is obvious they exist to a significant degree.)* The summary of the results of these calculations are outlined below.

Retail Demand Model: Results of the retail model are divided into categories within "Convenience Retail" and "Destination Retail". Convenience retail facilities include: food stores and groceries; beer, wine, and liquor stores; drug stores, and pharmacies; convenience stores and gasoline; and cosmetic, health and beauty stores. Shopper retail facilities include department stores; discount stores; furniture and home furnishings stores; appliances, electronics, and computer stores; building materials, hardware and garden supplies; apparel and accessory stores; and miscellaneous retail stores. A separate model is used to calculate demand for restaurants of all types and other dining and drinking establishments.

Services Demand Model: Based on our experience and observed market trends, personal services, business services, and most office space demand are typically generated by resident population and other nearby businesses in a manner not unlike retail demand. Population is the underlying factor which creates the estimated demand for most personal service components. The primary components of office and miscellaneous commercial demand are included in the employment categories of finance, insurance, and real estate (FIRE); medical services; legal services; and business services. The compilations of these data for counties come from *County Business Patterns*. The data presented for each business category is compared to overall county population figures to determine the per capita demand factors, which are also expressed in terms of square feet of demand.

In the RERC models, population, household, and personal discretionary income estimates are used to determine the retail, restaurant, and services demand generated by a specific population group, such as the Sanibel Island resident and seasonal

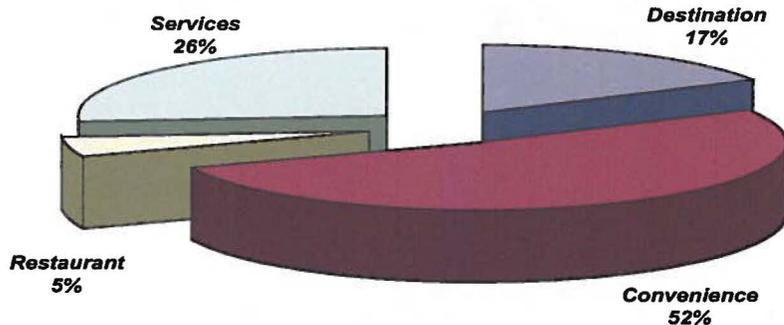
population. For the purposes of this analysis, we utilized two sets of 2007 population estimates for Sanibel – one for the average “peak” season levels and one for the average “low” season levels – in order to demonstrate the wide variation in seasonal demands for commercial goods and services. The low season estimate indicates the needs of the year-round permanent population, while the peak estimate takes into account the spending impacts of seasonal winter residents and visitors who stay longer than just a week or two. The average household discretionary income estimate was taken from CLARITAS, a third-party demographic vendor often utilized by retail market analysts when testing site location alternatives.

**Table 3-1: Sanibel Island Population and Income Estimates, 2007**

| Seasonal Variations:           | Demographic Indicator: |
|--------------------------------|------------------------|
| 2007 Peak Population           | 18,000 persons         |
| 2007 Peak Number of Households | 8,000 units            |
| 2007 Low Population            | 6,500 persons          |
| 2007 Low Number of Households  | 3,000 units            |
| 2007 Average Household Income  | \$112,000 per year     |
| SOURCE: CLARITAS; RERC         |                        |

The results of the retail and services demand models indicate the peak winter population of 18,000 residents could support about **310,000 square feet of retail and restaurant space** and approximately **110,000 square feet of office/services space** within the on-island commercial environment.

**Figure 3-3: 2007 Commercial Space Demand by Type, Sanibel Island Resident Demand Allocation**



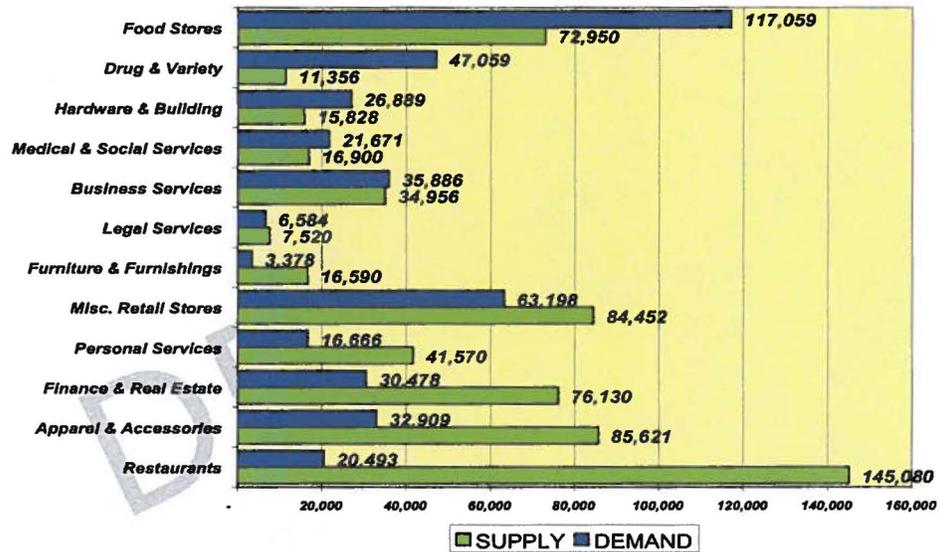
Comparison of Sanibel Island Demand and Supply

Not unlike the conclusions of the 1981 analysis of commercial market demands by Barton-Aschman Associates, in 2007 there appears to be more than enough retail, services, and restaurant space on Sanibel Island to meet the *practical needs* of full-time and part-time residents. That is not to say that *all demands* are satisfied on the island. Many of the residents’ expenditures will continue to “leak” off-island as a result of competitive retail patterns and limitations on the character of local-serving businesses on the island. However, some key day-to-day resident-based needs could be better met in appropriate commercial settings.

Based upon the results of RERC’s demand analysis and the findings of the resident

survey undertaken as part of the Locally Owned Business Initiative in 2006, it is clear that the most under-served retail categories – based only on resident demand – are groceries, variety stores, and home improvement/hardware stores. A number of retail store categories not likely to be found on the island also draw many residents to the mainland to shop. In addition to retail voids, medical care and automotive services also appear to be under-served on Sanibel Island.

**Figure 3-4: Comparison of Peak Resident Demand with Existing Commercial Inventory, 2007**



At the other end of the spectrum, there is clearly an oversupply of restaurants, resort clothing and accessories stores, specialty gifts, souvenirs, and home décor shops – compared solely to resident demands. However, most of these businesses are supported by the visitors who come to Sanibel during the year but most frequently during the peak winter season. Similarly, there is a disproportionate amount of commercial space dedicated to financial institutions, property management and real estate agencies, and personal resort services (spas, salons, bike rentals, entertainment, recreation, etc.).

The dramatic variation in the levels of residents and visitors between peak season and off season has caused a distortion in the profile of commercial space dedicated to retail shops, restaurants, and services. It appears from analysis that the amount and the character of Sanibel Island's commercial base is responsive to the demands generated during the busiest season, leaving many establishments to languish over the late summer and autumn months. This market dynamic – combined with legislated limits on future additions to the housing or resort lodging stock – makes it very difficult to justify any additional commercial development on Sanibel Island. In fact, without the prospect for significant additional visitor traffic on the island, a case can be made for allowing attrition to gradually reduce the supply of commercial space in some categories to enhance the economic viability of the overall island's commercial base and to support property values.

**That said, there are limited categories of retail demand that could support some additional development, as well as specific personal and medical services that enhance the quality of life overall for residents and seasonal visitors. As in the past, the commercial marketplace on Sanibel Island will see tenant turnover,**

**periodic vacancies, deteriorating structures, and evolving needs.**

These findings and observations should not be construed to diminish the viability and importance of the Periwinkle Way West district planning effort. The casual and non-intrusive character of the island's commercial development will continue to be an important element of its success and of the island's charm. However, better organization of key elements such as: parking, traffic management, public spaces, redevelopment, grouping of synergistic uses, and building maintenance can and should shape policies and opportunities over the next ten to twenty years. There is room to enhance and shape the "community" character for island residents, while limiting some of the more unstable "destination" uses driven by fluctuating short-term visitor levels.

DRAFT



## 4. Toward a Vision for the Periwinkle Way West District

Following the analysis of existing district conditions, constraints and opportunities prepared in Phase 1, and the completion of the Vision workshops, analysis of the workshop conclusions, and review of comments received from the City Council and Planning Commission, the consultant team developed four "Vision Alternatives". These four alternatives present a range of alternative planning and implementation strategies and illustrate varying degrees, or levels, of public action and the different outcomes that might result from those actions.

While the illustrations of the Alternatives are "plan-like" in appearance, it is not intended that one of them be selected as the "Periwinkle Way West District Plan". Rather their purpose is to assist the City of Sanibel – including its elected officials, Planning Commission and citizens, in discussing the relative merits of the physical planning concepts presented, as well as to weigh those physical concepts against the degree or level of public and private actions that may be required to implement them.

The desired outcome that should result from the review of these Vision Alternatives is to identify and select appropriate and desirable planning and design concepts and implementation strategies that can be carried forward to the next phase of the planning process. That next phase is intended to focus on further development of the physical planning concept(s) and implementation strategies and preparation of a preliminary comprehensive District Plan document that can move forward for public review and comment. The ultimate product of the planning study is intended to be a final "Periwinkle Way West District Plan" document and action plan that can be reviewed and adopted by City Council.

### A. Vision Elements

As described in Section 2 of this report, participants in the vision workshops were asked to discuss 10 topics or elements that should be addressed in the "Vision" for future development and enhancement of the Periwinkle Way West District. Those same 10 elements, listed below, have also been addressed, in differing ways, in the "Vision Alternatives" described in this section.

1. Town Center
  - a. What is a town center in the Sanibel context?
2. Uses
  - a. What is the range of uses appropriate in the planning area?
  - b. Should there be a distinction between land use or functional sub-areas within the district?
  - c. What specific additional uses should be encouraged?
3. Civic, cultural, and governmental uses
  - a. How can we better support civic uses?
    - i. Expand B.I.G. Arts?
    - ii. Manage, connect, improve parking?
    - iii. Improve pedestrian and non-motorized connections?
4. Architectural character / style
  - a. Should the City provide more specific guidelines for architectural form, character and style in the district planning area?
  - b. What style/character is appropriate / inappropriate?
5. Location/Arrangement of uses
  - a. Should residential and commercial uses be separated in distinct districts?

- b. Should the City promote mixing of uses on individual properties?
  - c. Should the City promote mixed-use buildings?
- 6. Density/ intensity
  - a. What is the appropriate density/intensity for future development within the district planning area
- 7. Redevelopment
  - a. Should the “build-back” provisions be extended to allow redevelopment at the existing density / intensity on a given property (subject to meeting new zoning and design standards) —even if it exceeds the current zoning?
- 8. Parking
  - a. Should the City allow shared use parking?
    - i. Reduce parking standards for mixed-use development?
    - ii. Encourage cross-property access to facilitate shared parking use?
  - b. Should special event parking be handled differently?
  - c. Should the City adopt requirements/limitations to require parking in the front? Rear? On street?
- 9. Public Realm - Open Space
  - a. How can or should the natural/conservation areas be integrated into the district planning area?
  - b. What types of civic spaces are desired and what should be their location, size, character and quality?
- 10. Public Realm – Streets and paths
  - a. How can the district be made more pedestrian friendly?
  - b. Where do pedestrian / bicycle linkages between uses, and across the district planning area need to be improved?

## **B. Vision Alternatives**

### Vision Alternative 1: “Town Center Today”

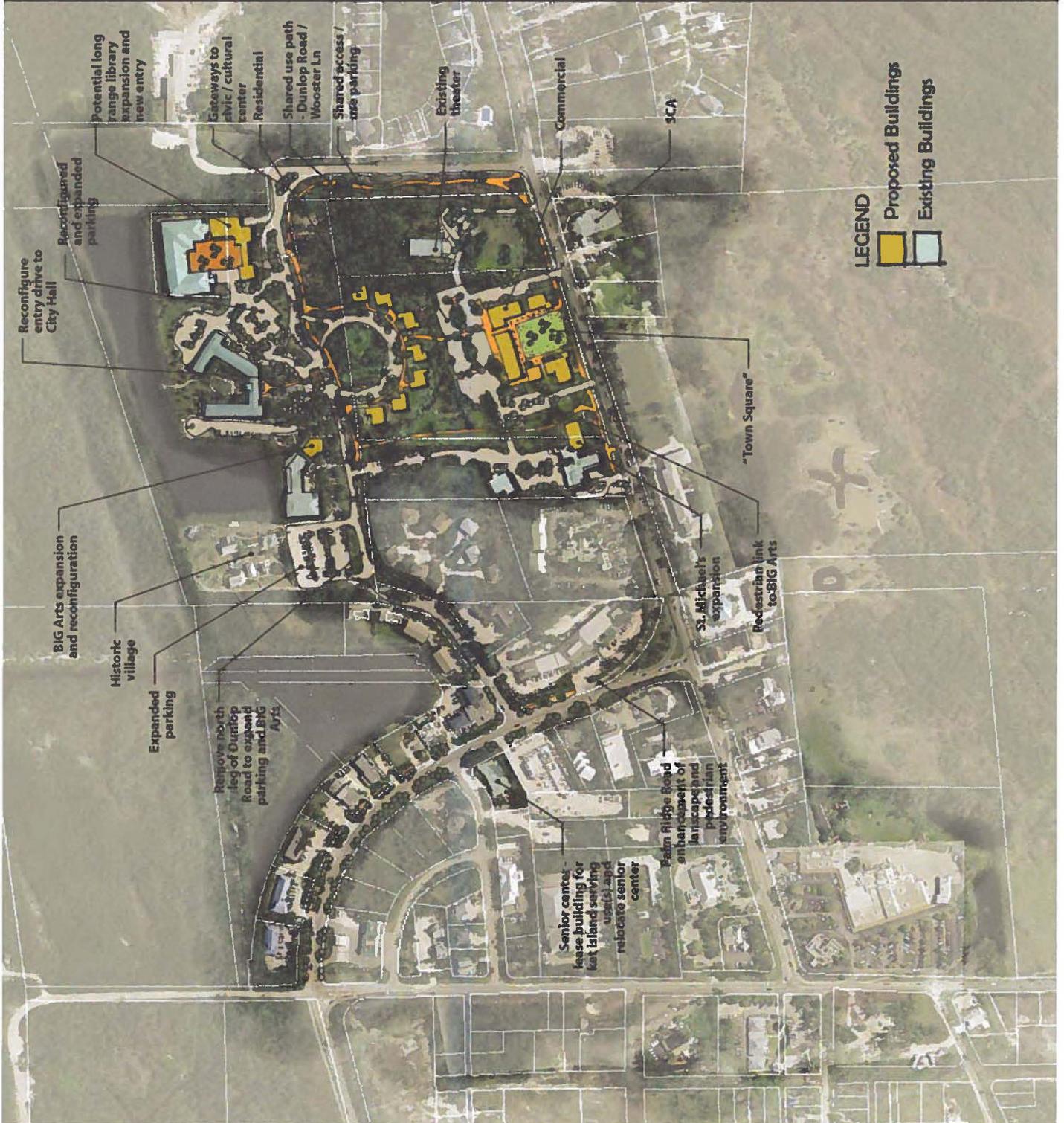
Vision Alternative 1 represents a plan that could result from relatively minor changes in public policy within the District. In this alternative the public sector will encourage change and improvements by private interests, and facilitate them by modifying several provisions of the Land Development Code. The outcome of the public actions in this alternative may seem relatively modest compared to the other vision alternatives illustrated in this report, but may be also be viewed as consistent with the Sanibel Plan and appropriate within the Sanibel island context.

This option will result in a “low density” residential development consisting of 7-8 market rate residential units on the north side of the Nave property, and a separate commercial development of some 28,000 total square feet (as allowed by zoning) on the south side of the property. The commercial development may also include market and below market rate housing units up to the maximum of 20+/- permitted by current zoning. In this alternative the commercial development on the south side of the Nave property will be encouraged to have a special public presence and “civic” open space along Periwinkle Way.

This alternative incorporates concepts for improvements to pedestrian connections across properties, and cross-property auto access to facilitate shared parking, which will be provided, in this alternative, by private property owners without regulatory changes. The City, in this alternative, will encourage private property owners to

Figure 4-1

# Vision Alternative: "Town Center Today"



provide these facilities and improvements through discussions with owners and architects during the permitting process.

This concept, as do all others, incorporates concepts for improvements to public parking, pedestrian connections and future expansion for B.I.G. Arts and the Library, as shown in the accompanying illustrations.

Major elements of this alternative at a district level include:

(\*) Denotes items that are common to all 4 alternatives

*Land Use, density and intensity, redevelopment*

- (\*) No change in the existing land use designations within the TCL and TCG districts
- No change in existing density and intensity of development currently allowed
- No change in the existing build-back provisions of the LDC

*Civic, Cultural and Governmental Uses*

- (\*) City to develop a plan to modify the configuration of Dunlop Road to accommodate expansion of the BIG Arts facilities and provide an appropriate “front door” for the Library and City Hall

*Location / Arrangement of Uses*

- (\*) City to amend LDC requirements to eliminate the 1,000 square foot “penalty” for mixed residential/commercial development

*Architectural Character and Quality*

- City to utilize standards in the existing LDC’s and, in addition, further encourage property owners to create architectural designs that are compatible with the “island style” of Sanibel

*Parking*

- City encouragement (without regulatory change - but through discussions with owners and architects during the permitting process) for private property owners to develop cross-property vehicular connections where possible to facilitate shared use of parking facilities
- (\*) City to modify LDC parking requirements to allow reduction in parking in conjunction with mixed-use development
- (\*) City to develop a plan to modify and improve the organization and connection of public parking areas north of Dunlop Road
- (\*) City to develop a plan, as part of a Palm Ridge Road corridor improvement plan, to be included as part of the Periwinkle Way West District Plan, to reconfigure private parking and open spaces to improve the character and quality of this important connector roadway.
- (\*) City to encourage (by LDC amendment/incentives) for private property owners on Palm Ridge Road to reconfigure private parking and landscaping to improve the character and quality of this important roadway

*Public Realm – Open Space*

- City encouragement (without regulatory change - but through discussions with owners and architects during the permitting process) of a development plan for the Nave property that provides a civic space along Periwinkle Way, as part of a mixed-use commercial and residential development facing the street

*Public Realm – Streets and Paths*

- City encouragement (without regulatory change - but through discussions with owners and architects during the permitting process) for private property owners to develop cross-property pedestrian paths to improve pedestrian connectivity within the district
- (\*) City will develop a plan, as part of the Periwinkle Way West District Plan, for improvements to the public Right of Way on Palm Ridge Road to improve landscape and pedestrian character and quality
- (\*) City will develop a plan, as part of the Periwinkle Way West District Plan, for improvements to Dunlop Road to include a new shared use path connecting Periwinkle Way with Palm Ridge Road, and improved pedestrian connections between the Civic and Cultural uses
- (\*) City to relax the 100 foot setback on Periwinkle Way, Palm Ridge Road and Tarpon Bay Road, with additional requirements for landscape and pedestrian access along the property frontage

Major elements of this alternative relative to the Nave property include:

- No change in the existing land use designations, density and intensity currently allowed on the Nave property
- City to modify LDC's to remove 1,000 square foot "penalty" for mixed residential/commercial development
- City to modify LDC parking requirements to allow reduction in parking in conjunction with mixed-use development
- City encouragement (without regulatory change) of a development plan that provides a civic space along Periwinkle Way, as part of a mixed-use commercial and residential development facing the street
- In addition to the market rate units, this alternative also suggests the inclusion of below market rate housing, with the exact number to be determined cooperatively between the City, Nave property owners and CHR. In conformance with the Sanibel Plan, which calls for the distribution of below market rate housing units, BMRH units will not be concentrated on the Nave property or within the Periwinkle Way West District.

## **Vision Alternative 2: “Sanibel Commons”**

Vision Alternative 2 represents a plan that could result from important changes in public policy within the District. In this alternative the public sector will encourage change and improvements by private interests, and facilitate them by modifying several provisions of the land development regulations that go beyond the modifications described in Alternative 1. In addition to public actions, the implementation of this alternative will require the cooperative efforts of the Nave property owners, St. Michael’s Church, the Schoolhouse Theater and the SCA. The outcomes of the public and private actions illustrated in this alternative will include the creation of “Sanibel Commons” – a civic green space in front of the Schoolhouse Theater. This civic space may include a bandstand and outdoor performance space along with lawn, landscaped areas and a pond or water feature. In addition this alternative will provide for shared parking among the commercial and cultural uses, expansion room for St. Michael’s Church, along with both market rate and below market rate housing.

As in alternative 1, this concept also provides for improvements to public parking, pedestrian connections and expansion for B.I.G. Arts and the Library, as shown in the accompanying illustrations.

### Major elements of this alternative at a district level include:

(\*) Denotes items that are common to all 4 alternatives

#### *Land Use, density and intensity, redevelopment*

- (\*) No change in the existing land use designations within the TCL and TCG districts
- No change in the existing build-back provisions of the LDC
- City to develop a mechanism, as part of the Periwinkle Way West District Plan, to allow transfer of only residential intensity within the District, with no net increase in the overall intensity of residential development within the District and City as a whole

#### *Civic, Cultural and Governmental Uses*

- (\*) City to develop a plan, as part of the Periwinkle Way West District Plan, to modify the configuration of Dunlop Road to accommodate expansion of the BIG Arts facilities and provide an appropriate “front door” for the Library and City Hall

#### *Location / Arrangement of Uses*

- (\*) City to amend LDC requirements to eliminate the 1,000 square foot “penalty” for mixed residential/commercial development
- City to allow a reduction in setback requirements along the east side of the Nave property, in exchange for the creation of the “Sanibel Commons” civic open space (see Public Realm – Open Space below)

#### *Architectural Character and Quality*

- City to expand the standards in the existing LDC’s to provide more explicit direction to property owners and architects regarding appropriate style and architectural characteristics

Figure 4-2



**Vision Alternative:**  
**"Sanibel Commons"**

### *Parking*

- City encouragement (by LDC amendment/incentives, the exact nature of which will be developed in subsequent plan phases) for private property owners to develop cross-property vehicular connections where possible to facilitate shared use of parking facilities
- (\*) City to modify parking requirements to allow reduction in parking in conjunction with mixed-use development
- (\*) City to develop a plan, as part of the Periwinkle Way West District Plan, to modify and improve the organization and connection of public parking areas north of Dunlop Road
- (\*) City to develop a plan, as part of a Palm Ridge Road corridor improvement plan, to be included as part of the Periwinkle Way West District Plan, to reconfigure private parking and open spaces to improve the character and quality of this important connector roadway.
- (\*) City to encourage (by LDC amendment/incentives, the exact nature of which will be developed in subsequent plan phases) for private property owners on Palm Ridge Road to reconfigure private parking and landscaping to improve the character and quality of this important roadway

### *Public Realm – Open Space*

- In exchange for a transfer of residential development intensity from other properties in the district, the owners of the Nave property, Schoolhouse Theater, SCA and St. Michael's Church will, in this alternative, agree to a cooperative and specific development plan that will create the "Sanibel Commons" civic space at the corner of Dunlop Road and Periwinkle Way. The space will be defined by the Schoolhouse Theater on the north and commercial development on the Nave property on the west.

### *Public Realm – Streets and Paths*

- City encouragement (by LDC amendment/incentives, the exact nature of which will be developed in subsequent plan phases) for private property owners to develop cross-property pedestrian paths to improve pedestrian connectivity within the district
- (\*) City will develop a plan, as part of the Periwinkle Way West District Plan, for improvements to the public Right of Way on Palm Ridge Road to improve landscape and pedestrian character and quality
- (\*) City will develop a plan, as part of the Periwinkle Way West District Plan, for improvements to Dunlop Road to include a new shared use path connecting Periwinkle Way with Palm Ridge Road, and improved pedestrian connections between the Civic and Cultural uses
- (\*) City to relax the 100 foot setback on Periwinkle Way, Palm Ridge Road and Tarpon Bay Road, with additional requirements for landscape and pedestrian access along the property frontage

### Major elements of this alternative relative to the Nave property include:

- City to modify the LDC to enable the entire Nave property to be developed as a single planned development, with the commercial and residential densities and intensities to be combined and distributed across the district

- City to modify the LDC to remove 1,000 square foot “penalty” for mixed residential/commercial development
- City to modify parking requirements to allow reduction in parking in conjunction with mixed-use development
- City to modify the LDC to create a provision for transfer of only residential density within the PWWD District. With cooperative efforts between the City, and the Nave and other property owners, this will result in the expansion of residential development on the Nave property to some 38 market rate dwelling units. In addition to the market rate units, this alternative also suggests the inclusion of below market rate housing, with the exact number to be determined. In conformance with the Sanibel Plan, BMRH units should not be concentrated on the Nave property or in the Periwinkle Way West District .

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### **Vision Alternative 3: “Public Gardens”**

Vision Alternative 3 represents a plan that could result from the decisive action of a private, or other entity, to acquire the Nave property. The general theory of this option is based on such an entity purchasing the property and in-turn selling the development rights to other properties within the district. This will result in no net increase in overall development intensity in the District, and will allow the Nave property to be developed for public amenities and/or facilities that will further the goals of the Sanibel Plan, and this District Plan. In particular this concept illustrates the opportunity to connect two major conservation areas that exist both to the north and south sides of the Periwinkle Way West District. In addition to providing this significant open space connection, the sale of development rights – particularly commercial rights, may provide the basis for some older properties in the district to be redeveloped and/or significantly improved.

The outcomes of the actions illustrated in this alternative will allow the creation of an approximately 10- acre “public gardens”. The term “gardens” is used broadly. As illustrated the “gardens” may include heavily landscaped areas, informal picnic and performance lawns, a bandstand for more formal outdoor performances, among other spaces yet to be determined. In addition the plan illustrates the development of a highly visible entrance to the park along Periwinkle with two entrance pavilions that could include a number features related to the “gardens”. Also included is an extensive network of pedestrian paths extending through the property and connecting the major civic, institutional and cultural uses that surround the gardens.

As in alternative 1 and 2, this concept also provides for improvements to public parking, pedestrian connections and expansion for B.I.G. Arts, and the Library, as shown in the accompanying illustrations.

#### Major elements of this alternative at a district level include:

(\*) Denotes items that are common to all 4 alternatives

#### *Land Use, density and intensity, redevelopment*

- (\*) No change in the existing land use designations within the TCL and TCG districts
- City to develop a mechanism, as part of the Periwinkle Way West District Plan, to allow transfer of commercial and residential intensity within the District
- City to change the LDC to allow build-back to higher intensity with transfer of development rights, and with no net increase in the overall intensity of development in the District as a whole, and subject to additional zoning requirements.

#### *Civic, Cultural and Governmental Uses*

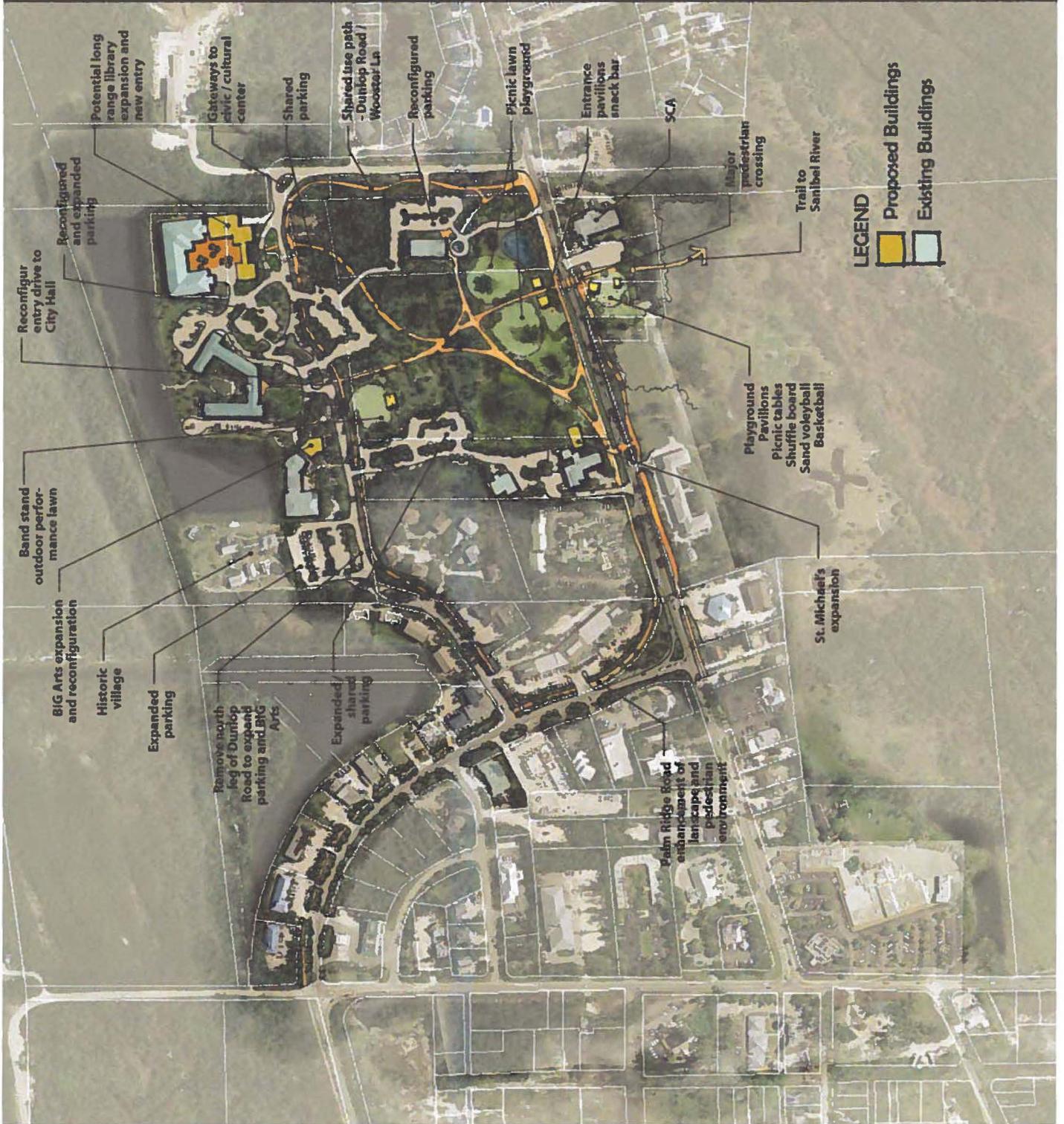
- (\*) City to develop a plan, as part of the Periwinkle Way West District Plan, to modify the configuration of Dunlop Road to accommodate expansion of the BIG Arts facilities and provide an appropriate “front door” for the Library.

#### *Location / Arrangement of Uses*

- (\*) City to amend LDC requirements to eliminate the 1,000 square foot “penalty” for mixed residential/commercial development

Figure 4-3

# Vision Alternative: "Public Gardens"



#### *Architectural Character and Quality*

- City to expand the standards in the existing LDC's to provide more explicit direction to property owners and architects regarding appropriate style and architectural characteristics

#### *Parking*

- City encouragement (by LDC amendment/incentives, the exact nature of which will be developed in subsequent plan phases) for private property owners to develop cross-property vehicular connections where possible to facilitate shared use of parking facilities
- (\*) City to modify parking requirements to allow reduction in parking in conjunction with mixed-use development
- (\*) City to develop a plan, as part of the Periwinkle Way West District Plan, to modify and improve the organization and connection of public parking areas north of Dunlop Road, in conjunction with additional public parking to be provided on the Nave property
- City to work cooperatively with SCA and the Schoolhouse Theater to develop a plan to relocate some or all of the parking for the Theater to facilitate shared-use parking for civic, cultural and special events
- (\*) City to develop a plan, as part of a Palm Ridge Road corridor improvement plan, to be included as part of the Periwinkle Way West District Plan, to reconfigure private parking and open spaces to improve the character and quality of this important connector roadway.
- (\*) City to encourage (by LDC amendment/incentives, the exact nature of which will be developed in subsequent plan phases) for private property owners on Palm Ridge Road to reconfigure private parking and landscaping to improve the character and quality of this important roadway

#### *Public Realm – Open Space*

- Acquisition of the entire Nave property by a private or other entity for the purpose of retaining this significant property as public open space, with a variety of open space activities to be included

#### *Public Realm – Streets and Paths*

- City encouragement (by LDC amendment/incentives, the exact nature of which will be developed in subsequent plan phases) for private property owners to develop cross-property pedestrian paths to improve pedestrian connectivity within the district
- (\*) City will develop a plan, as part of the Periwinkle Way West District Plan, for improvements to the public Right of Way on Palm Ridge Road, to improve landscape and pedestrian character and quality
- (\*) City will develop a plan, as part of the Periwinkle Way West District Plan, for improvements to Dunlop Road to include a new shared use path connecting Periwinkle Way with Palm Ridge Road, and improved pedestrian connections between the Civic and Cultural uses
- (\*) City to relax the 100 foot front setback on Periwinkle Way, Palm Ridge Road and Tarpon Bay Road, with additional requirements for landscape and pedestrian access along the property frontage

Major elements of this alternative relative to the Nave property include:

- Acquisition of the entire Nave property, by a private or other entity, that may be funded by the income received from sale of development rights to other properties within the District.
- City will develop a plan, as part of the Periwinkle Way West District Plan, for the improvements to be accommodated on the Nave property
- City to develop an LDC mechanism to allow for the transfer of development rights from the Nave property to other properties in the District

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#### **Vision Alternative 4: “Civic Center”**

Similar to Vision Alternative 3, this alternative represents a plan that could result from decisive action. This option explores the possibility that a private, or other entity, acquire the northern portion of the Nave property. This portion of the property will then be developed for public open space to include a variety of activities, and possibly relocated or new public facilities.

The acquisition of the northern part of the Nave property will, in conjunction with the realignment of Dunlop Road, and the reconfiguration of parking in front of City Hall, BIG Arts and the Library, allow the development of a significant public open space. This open space will extend from City Hall on the north to commercial development to be built, by the property owners, on the southern portion of the Nave property.

This alternative also shows the development of a small “commons” on Periwinkle Way as part of the commercial development on the Nave property. The commons will provide a small civic open space and serve as a “gateway” to the District and the cultural and civic uses to the north. The commercial development will be encouraged to incorporate a strong pedestrian linkage between Periwinkle Way and the new public open space proposed to the north. In addition, buildings that frame the gateway may be located close to the street to provide a strong visual sense of arrival to the District.

A minor, and optional, element of this concept may be to relocate the historic village to a more prominent location on the south side of Periwinkle Way, although accomplishing this would be difficult, if not impossible, and perhaps could only be considered in the long range future.

If such a relocation should ever occur, it would be possible to consider the transfer of some or all of the residential development rights from the Nave property to the site of the Historic Village.

Developers of the south side of the Nave property will be encouraged to work cooperatively with St. Michael’s Church and the SCA and Schoolhouse Theater to provide expansion space for the Church and an improved arrangement of parking for the Theater, along with a strong pedestrian connection between Periwinkle Way and City Hall.

#### **Major elements of this alternative at a district level include:**

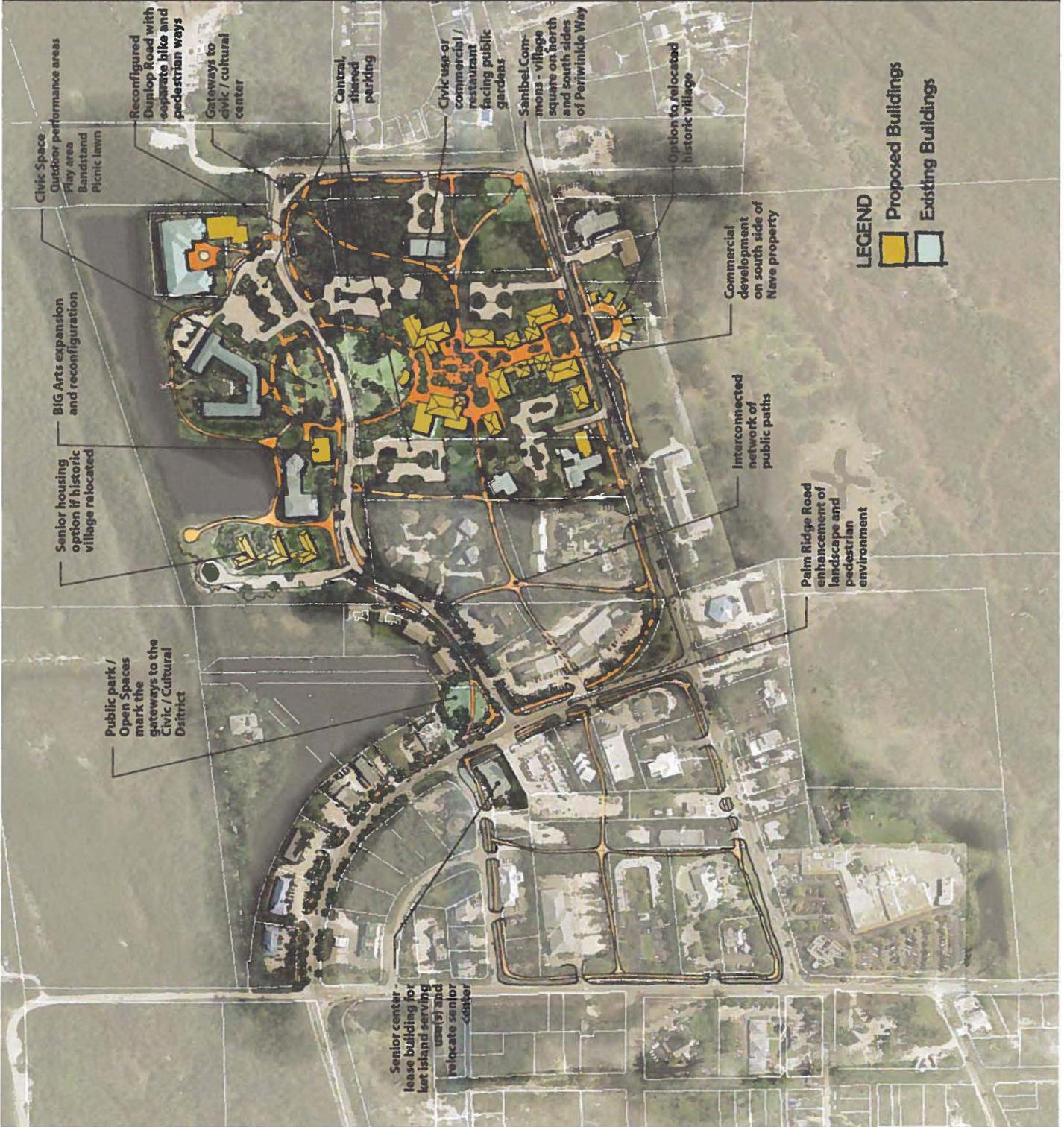
(\*) Denotes items that are common to all 4 alternatives

#### ***Land Use, density and intensity, redevelopment***

- (\*) No change in the existing land use designations within the TCL and TCG districts
- City to develop a mechanism, as part of the Periwinkle Way West District Plan, to allow transfer of commercial and residential intensity within the District
- City to change the LDC’s to allow build-back to higher intensity in conjunction with the transfer of development rights, and with no net increase in the overall intensity of development in the District as a whole

Figure 4-4

# Vision Alternative: "Civic Center"



**LEGEND**  
Proposed Buildings  
Existing Buildings

#### *Civic, Cultural and Governmental Uses*

- (\*) City to develop a plan, as part of the Periwinkle Way West District Plan, to substantially modify the configuration of Dunlop Road (made possible by the acquisition of the northern portion of the Nave property) to accommodate expansion of the BIG Arts facilities and provide an appropriate “front door” for the Library and City Hall
- Public / private partnership to undertake the relocation of the buildings currently located in the Historic Village to a site on the south side of Periwinkle Way

#### *Location / Arrangement of Uses*

- (\*) City to amend LDC requirements to eliminate the 1,000 square foot “penalty” for mixed residential/commercial development

#### *Architectural Character and Quality*

- City to expand the standards in the existing LDC to provide more explicit direction to property owners and architects regarding appropriate style and architectural characteristics
- City to create a formal process for review of architectural designs for planned or proposed developments within the District

#### *Parking*

- City encouragement (by LDC amendment/incentives, the exact nature of which will be developed in subsequent plan phases) for private property owners to develop cross-property vehicular connections where possible to facilitate shared use of parking facilities
- (\*) City to modify parking requirements to allow reduction in parking in conjunction with mixed-use development
- (\*) City to develop a plan, as part of the Periwinkle Way West District Plan, to modify and improve the organization and connection of public parking areas north of Dunlop Road
- City to work cooperatively with SCA and the Schoolhouse Theater to develop a plan to relocate some or all of the parking for the Theater to facilitate shared-use parking for civic, cultural and special events
- (\*) City to develop a plan, as part of a Palm Ridge Road corridor improvement plan, to be included as part of the Periwinkle Way West District Plan, to reconfigure private parking and open spaces to improve the character and quality of this important connector roadway.
- (\*) City to encourage (by LDC amendment/incentives, the exact nature of which will be developed in subsequent plan phases) for private property owners on Palm Ridge Road to reconfigure private parking and landscaping to improve the character and quality of this important roadway

#### *Public Realm – Open Space*

- Acquisition, by a private or other entity, of only the northern section of the Nave property for the purpose of retaining this portion of this significant property as public open space, with a variety of open space activities to be included

*Public Realm – Streets and Paths*

- Acquisition, by an appropriate entity, of public easements to ensure the development of cross-property pedestrian paths to improve pedestrian connectivity within the district
- (\*) City will develop a plan, as part of the Periwinkle Way West District Plan, for improvements to the public Right of Way on Palm Ridge Road, to improve landscape and pedestrian character and quality.
- (\*) City will develop a plan, as part of the Periwinkle Way West District Plan, for improvements to Dunlop Road to include a new shared use path connecting Periwinkle Way with Palm Ridge Road, and improved pedestrian connections between the Civic and Cultural uses
- (\*) City to relax the 100 foot front setback on Periwinkle Way, Palm Ridge Road and Tarpon Bay Road, with additional requirements for landscape and pedestrian access along the property frontage

Major elements of this alternative relative to the Nave property include:

- Acquisition, by a private or other entity, of only the northern portion of the Nave property
- City will develop a plan, as part of the Periwinkle Way West District Plan, for the improvements to be accommodated on the northern portion of the Nave property
- City will work cooperatively with owners of the Nave property to develop a plan for the southern portion of the Nave property that provides public access between Periwinkle Way and the public open space proposed to be created on the northern portion of the Nave property
- City to develop a mechanism to allow for the transfer of development rights from the Nave property to other properties in the District

**C. Implementation Strategies**

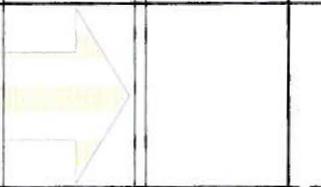
The Vision Alternatives described in the preceding section of this report present an array of varying levels of public actions that range from limited changes to public land development policy, to partial, or complete, acquisition of the Nave property. At this time, it is not so important to decide exactly what public actions should be undertaken, but rather, to decide which actions should be discarded from further consideration.

The accompanying table is a summary of the varying potential levels of public and/or private actions, arrayed against the vision “elements” discussed in the first part of this section. As a general array of actions, this matrix does not specifically reflect any one of the four Vision Alternatives. Rather the table is provided to help the City elected officials, Planning Commission and public, assess the appropriate levels of action for further refinement in the subsequent phases of work in preparing the District Plan.

Toward a Vision for the  
Pentakis Way West District

Alternative Implementation Strategies Summary

|  |   |   |  |  |   |   |  |  |   |
|--|---|---|--|--|---|---|--|--|---|
| <p><b>Elements of a Vision:</b><br/>         1. Obtain Mutual Agreement from the Vision Stakeholders</p> | <p><b>Use</b></p> <ol style="list-style-type: none"> <li>1. Resident working business</li> <li>2. Restaurants, outdoor dining</li> <li>3. Workforce housing</li> <li>4. Senior housing</li> </ol> | <p><b>CHC, Cultural and Governmental Uses</b></p> <ol style="list-style-type: none"> <li>1. Expand BO AAs</li> <li>2. Improve pedestrian connectivity between and within all sites / cultural uses</li> <li>3. Provide mechanisms for shared parking to improve parking availability for cultural uses</li> </ol> | <p><b>Architectural Character and Style</b></p> <ol style="list-style-type: none"> <li>1. Provide architectural guidelines</li> <li>2. No "Neo-modernism"</li> <li>3. No highrises</li> <li>4. Old Postcard style</li> </ol> | <p><b>Location / Arrangement of Uses</b></p> <ol style="list-style-type: none"> <li>1. Encourage mid-rise development and mixed-use buildings</li> </ol> | <p><b>Density / Intensity</b></p> <ol style="list-style-type: none"> <li>1. Increase density in the district to increase development potential</li> <li>2. Allow density transfer within the district, but no overall increase</li> </ol> | <p><b>Redevelopment</b></p> <ol style="list-style-type: none"> <li>1. Allow build-back to qualify for incentives</li> </ol> | <p><b>Parking</b></p> <ol style="list-style-type: none"> <li>1. Create provisions to allow shared car parking</li> <li>2. Encourage cross-property parking to facilitate sharing of parking</li> </ol> | <p><b>Public Parks/Open Space</b></p> <ol style="list-style-type: none"> <li>1. Collaborate with adjacent properties to create a public park</li> <li>2. Encourage private property owners to contribute to public park</li> </ol> | <p><b>Public Parks-Streets and Paths</b></p> <ol style="list-style-type: none"> <li>1. Provide mutual connectivity between public parks to create a network of public parks that encourage pedestrian use from each park</li> </ol> |
|--|---|---|--|--|---|---|--|--|---|

|  |   |  |   |  |   |  |   |   |  |
|--|---|--|---|--|---|--|---|---|--|
| <p><b>Elements of the Vision</b></p> <p>Implementing Strategy:<br/>         Increasing Levels of Public and/or Private Action</p>  | <p><b>Uses</b></p> <ol style="list-style-type: none"> <li>1. Encourage development within the district to provide the needed types of property uses (Encourage through incentives with property owners/contractors during planning process)</li> <li>2. Provide incentives to property owners to incorporate specifically-mixed-use developments with other properties with mixed-use developments (Effect return of incentives to be determined in subsequent plan phases)</li> <li>3. Acquire property and undertake development within the district to provide the exact type of uses desired</li> </ol> | <p><b>CHC, Cultural and Governmental Uses</b></p> <ol style="list-style-type: none"> <li>1. Encourage properties adjacent to BO AAs to provide space for public use for public and cultural events (Encourage through design with property owners/contractors during planning process)</li> <li>2. Allocate / reconfigure design to provide space for BO AAs and expanded public use (Effect return of incentives to be determined in subsequent plan phases)</li> <li>3. CHC to provide pedestrian walkways and bicycle lanes (Effect return of incentives to be determined in subsequent plan phases)</li> </ol> | <p><b>Architectural Character and Style</b></p> <ol style="list-style-type: none"> <li>1. Prepare non-mandatory guidelines to improve architectural performance</li> <li>2. Establish design review committee to monitor compliance with design guidelines</li> <li>3. Establish mandatory architectural style standards</li> </ol> | <p><b>Location / Arrangement of Uses</b></p> <ol style="list-style-type: none"> <li>1. Amend LDRs to allow mid-rise development and mixed-use development to be encouraged</li> <li>2. Develop incentives to encourage mixed-use development and mixed-use buildings (Effect return of incentives to be determined in subsequent plan phases)</li> </ol> | <p><b>Density / Intensity</b></p> <ol style="list-style-type: none"> <li>1. Allow build-back to building density with specific incentives for redevelopment</li> <li>2. Develop transfer of development rights mechanism to allow density transfer within the district</li> <li>3. Develop transfer of development rights mechanism to allow density transfer from other parts of the district into the district</li> </ol> | <p><b>Redevelopment</b></p> <ol style="list-style-type: none"> <li>1. Encourage redevelopment by allowing build-back to qualify for incentives</li> <li>2. Encourage redevelopment by allowing build-back to qualify for incentives</li> </ol> | <p><b>Parking</b></p> <ol style="list-style-type: none"> <li>1. Encourage development / redevelopment to provide shared parking to facilitate shared parking and reduce traffic on public streets</li> <li>2. Encourage development on public streets to provide shared parking to facilitate shared parking and reduce traffic on public streets</li> <li>3. Redesign Public Street to provide shared parking to facilitate shared parking and reduce traffic on public streets</li> </ol> | <p><b>Public Parks/Open Space</b></p> <ol style="list-style-type: none"> <li>1. Encourage through incentives with property owners to create a public park to provide a network of public parks that encourage pedestrian use from each park</li> <li>2. Encourage private property owners to contribute to public park</li> </ol> | <p><b>Public Parks-Streets and Paths</b></p> <ol style="list-style-type: none"> <li>1. Encourage landowners on Public Street Road to provide mutual connectivity between public parks to create a network of public parks that encourage pedestrian use from each park</li> <li>2. Encourage private property owners to contribute to public park</li> </ol> |
|--|---|--|---|--|---|--|---|---|--|





## **5. Next Steps**

### **A. The Plan for Subsequent Phases of Work**

As originally outlined two subsequent phases of work were defined for the Periwinkle Way West District Planning process. The tasks identified for these phases are subject to review and modification based on the outcomes of the planning process to-date. Those phases, if authorized by the City, were originally described to include the following tasks:

#### **PHASE 3: VISION REFINEMENT: DESIGN GUIDELINES, LAND USE AND LAND DEVELOPMENT CODE RECOMMENDATIONS (Schedule to be determined)**

The purpose of this Phase of work is to refine the preliminary Vision developed as a result of Phase 2, and to define preliminary plan recommendations.

##### *3.1 Focus Area Concept Refinement*

The purpose of this task is to refine the District Vision by further refining the potential development of specific property "focus areas" identified by the City

##### *3.2 Market / Economic Study Coordination*

WRT will coordinate market / economic evaluation of the concepts with the City's Economic Consultant.

##### *3.3 Preliminary Recommendations: Design Guidelines, Land Use and Land Development Regulations*

Based on the outcome of preceding tasks, consultant will prepare preliminary recommendations for:

- Land Use / Land Development Regulations – potential modifications to the land use districts including potential changes in district boundaries, permitted uses, incentives etc.
- Design Guidelines – potential architectural, landscape architectural, and site design guidelines
- Capital Improvements – potential capital improvements to streets, civic spaces, pedestrian and non-vehicular circulation

##### *3.4 Phase 3 Presentations / Forums*

- Consultant will attend up to three meetings with City staff to review and comment on the focus area concepts and will incorporate comments and recommendations in the final product of Phase 3.
- Consultant will facilitate three community forums to present and receive comments on the preliminary Vision illustrations and focus area concepts
- Consultant will present the Vision Refinement to the Planning Commission and City Council in separate meetings to be held on consecutive days.
- Consultant will facilitate one community town hall format presentation at the conclusion of this phase of work

##### *3.5 Review Project Scope and Identify Next Steps*

Consultant will assist the City in a review of the project scope and next steps at the conclusion of Phase 3.

### 3.6 Summary Report

At the conclusion of Phase 3, consultant will prepare a summary Phase 3 Report that describes in narrative and support graphics Phase 3 tasks and products.

## PHASE 4: DISTRICT PLAN DOCUMENTATION (Schedule to be Determined)

The purpose of this phase of work is to develop the final District Plan and report documenting the findings and conclusions of the planning process.

### 4.1 Draft District Plan Document

Consultant will develop a preferred District Concept that is based on comments and recommendations identified in meetings, workshops, and presentations undertaken in Phase 3. The document will be a summary narrative with support graphics of the key elements of the Preferred District Plan and as appropriate, special attention will be given to the Focus Areas / properties. The plan document will include the following:

- **Illustrative Plan:** A color rendered district plan depicting the conceptual future arrangement of buildings, parking, streets and streetscape elements, public uses, open spaces, conservation area and civic enhancements. In addition, sketch vignettes will depict the intended design character.
- **Land Use Plan/Development Program:** An identification of the types, quantities and placement of new uses which may include housing, retail, professional office, entertainment, open space, and civic and cultural uses. Necessary modifications to zoning, land development regulations, and the Comprehensive Plan will be identified conceptually.
- **Design Guidelines:** Descriptions and depictions expressing the intent of the District Plan regarding the proposed architectural and landscape character, development placement and orientation, scale, and density/intensity, as well as access and circulation. The structure for the implementation of these principles through regulatory means will be addressed conceptually.
- **Implementation Strategy:** The District plan implementation strategy may include the following:
  - **Capital Improvements:** Identification of specific public investments necessary to support desired development / redevelopment, including provision of shared parking, street re-alignments, district signage and way-finding, new civic spaces, infrastructure and unifying elements.
  - **Identification of incentives** for the introduction of market and below-market housing and the provision of “public” amenities such as extended sidewalks, civic open space.
  - **Identification of amendments** to the Land Development Code necessary to apply the Design Principles.
  - **Identification of site specific redevelopment opportunities** along with actions necessary to induce or support desired development / redevelopment initiatives.

#### *4.2 Final Plan Review and Refinement*

- Consultant will facilitate one meeting with City staff to review and comment on the Draft Final Plan and will incorporate comments and recommendations in the Final Plan Document
- Consultant will present the Final Plan Document to the Planning Commission and City Council in separate meetings to be held on consecutive days.
- Consultant will facilitate one community town hall format presentation

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## Appendix A

### Vision Workshop: Summary of Group Conclusions

Over the course of two days, November 2 and 3, 2007 111 persons participants in two vision sessions of approximately 3 hours each. On Friday November 2, the 65 participants were divided into four discussion groups. On Saturday November 3, the 46 participants were divided into three discussion groups. Following the breakout discussions each group reported its conclusions and areas of agreement and/or disagreement to the group as a whole. The following is a summary of the conclusions of each group organized by the "vision topics" that were established at the outset of each session.

#### Vision Topic:Town Center What is a town center in the Sanibel context?

##### Group 1:

- Central location for businesses serving island residents
- Mix of residential and commercial but predominantly commercial
- Mix of all types of housing – market, seniors, workforce
- Mixed use buildings okay

##### Group 2:

- Focal attraction, draw people together as a group
- Cultural center / meeting place
- Useable open space – for kids
- Pedestrian friendly
- Mixed use buildings okay
- Housing for seniors / workforce

##### Group 3:

- Focal point
- Pedestrian friendly, relaxed atmosphere
- Mixed use buildings okay
- Inviting commercial spaces

##### Group 4:

- Mix / blending / concentration of activities
- Park once for multiple destinations
- Focal point is the cultural area needs to be better connected
- Mix of housing – senior, market, workforce within walking distance = reduced auto trips
- Tie uses together but no new road
- Shared district-wide parking with pedestrian access throughout district
- NON CONSENSUS – Trolley, dog park



**Group 5:**

- The term 'Town Center' creates confusionCongregating place / a cohesive and collective 'Hub' / central core
- Mix of shopping, restaurants...

**Group 6:**

- Opportunity to connect civic, cultural and business functions / areas
- "Center" as social entity with park as focal point
- Family destination: Park / Playground
- "Gateway" / Park – Entryway to Civic (Not business focus only)
- "Sanibel Commons"
- Seek ways to smooth traffic: One-way traffic / Overpasses / Traffic Circles
- Develop a 'Campus' – uses connected by pedestrian access
- Extend Community zone @ Sean Park?

**Group 7:**

- To include: Govt. activities; Housing; Retail and Gathering
- Uses / activities to be well connected by safe paths (close / reroute Periwinkle)
- More paths - separate Bike and Pedestrian traffic
- A 'Connecting' Greenway with areas to Congregate
- Expansion of Civic Structures to facilitate relocation / expansion – Land Swaps
- Consider FEMA elevation requirements
- Anticipate Aging and shifts in demographics

**Vision Topic: Uses**

**What is the range of uses appropriate in the planning area?**

**Should there be a distinction between land use or functional sub-areas within the district?**

**What specific additional uses should be encouraged?**



**Group 1:**

- Endorse mixed uses

**Group 2:**

- Workforce housing above commercial on Palm Ridge and Tarpon Bay
- Residential use (separate) near civic functions
- No more t-shirt shops, but hard to limit
- Encourage office space
- Resident – oriented businesses
- Preferred = ice cream, bakery, casual dining

**Group 3:**

- Below market rate housing
- Endorse mixed uses
- Only uses needed for residents
- Increase residential density to make mixed use financially feasible
- Restaurants with outdoor dining
- "Variety" of uses

**Group 4:**

- Walk – to dining before / after events
- Uses fine – provide better connections
- Housing in walk-to locations
- Mainly for residents
- No more touristy uses
- Bookstore
- Not just another shopping center
- Let market decide
- Apartments above retail okay
- Single family not appropriate

**Group 5:**

- A combination of cultural, Arts and Recreation uses – serving the residents



- Organize / upgrade existing vacant businesses and mixed use in the area; Inviting shops to walk and sit by (Coffee shops etc)
- Workforce / Senior / Assisted living in close proximity with shops and services
- Allow mix of residential and commercial
- Housing & Medical services to be combined with other amenities in Town Center Look at Philanthropists (SCCF?) interested in creating a 'Legacy' in this potential site (Nave)

**Group 6:**

- Workforce / Senior Housing
- Convenience Services like Cleaners etc, serving district wide;
- "Main Street" to have Civic and Commercial mix;
- Endorse mixed uses
- Flexibility regarding future retail commercial – consider "major" retailers with controls on signage, landscape buffers etc;
- Consider acquisition of Nave Property to make sure development is what the Community wants to see, but do not employ Eminent Domain
- Uses for Nave: Workforce / Market Housing; Some Retail and Civic Uses; "Seek its own Level"
- Focus Commercial in Loop (TCL) and Civic Focus in the rest of the area

**Group 7:**

- Preserve General District for Commercial / Service
- 'Nave' to serve residents and not become additional 'attraction'
- Mix uses – economically viable; Zoning Divisions of property do not make sense
- Medical
- Outdoor dining serving B.I.G Arts; Music / Outdoor Stage
- Information Center

**Vision Topic: Civic, Cultural and Governmental uses**

**How can we better support civic uses:**

- **BIG Arts / other civic and cultural uses?**
- **Expand/increase parking?**
- **Improve connections?**

**Group 1:**

- Move historical museum to Community Park – use site for B.I.G Arts expansion – building and parking

**Group 2:**

- Expand BIG Arts – more parking
- St Michael's Church land swap with B.I.G Arts?
- Move recycling center – replace with park

**Group 3:**

- Expand B.I.G Arts
- Better connections – shuttle bus/golf carts

**Group 4:**

- Better connectivity, visibility among existing civic uses:
- Improve existing roads – no new roads

- Central shared parking – grass, not paved
- Better use existing parking – improve pedestrian connections
- Outdoor performing arts venue? Noise?

**Group 5:**

- Coordinate the fragmented Civic functions - better connectivity and visibility Shared Parking and Landscaping between Civic Uses
- Better Bike Paths along Dunlop and Palm Ridge
- Close Periwinkle and connect through Dunlop
- Theater parking to the side and not to the rear

**Group 6:**

- Expand B.I.G Arts
- Create a 'Campus' with pedestrian friendly connections
- Concentrate Civic / Cultural @ Eastern end outside loop
- Provide expansion for Senior Center – rebuild existing building
- Move Post Office service center to the other side of the street (use Jean Pauls Alt.)
- Historic Village is "Full" – needs more room

**Group 7:**

- Safe pedestrian connections
- Expand B.I.G Arts

**Vision Topic: Architectural Style**

**Should the city provide more specific guidelines for architectural character and style in the district planning area?**

**What style / character is appropriate / inappropriate?**

**Group 1:**

- Village Hall / Library are models
- Not so regulated that it all looks the same
- More guidelines – not like Fort Myers Beach

**Group 2:**

- Guidelines plus "restrictions"
- Traditional island vernacular
- No high rise, no "neo- med"
- No contemporary / modern

**Group 3:**

- Variety of architectural styles
- Guidelines, but not extreme
- No high rise, strip malls, manufactured housing
- Design Review process

**Group 4:**

- Aesthetic compatibility with old Florida
- Subtropical character
- No mandated style
- No eyesores – "Look at me" buildings

**Group 5:**

- Old Florida style
- Control 'Color schemes' to those that naturally blend in.
- Guidelines to provide consistency;
- Encourage with 'Incentives' for: Green Architecture and Open Spaces; and to upgrade existing buildings / redevelopment

**Group 6:**

- No pseudo Mediterranean
- Island Style with overhanging hip roofs (Metal Roof)
- Public Buildings must have 'Island Style'
- Hurricane survivability
- Architectural standards to provide some consistency but also have room for diversity

**Group 7:**

- No pseudo Mediterranean
- Florida / Island Character
- 'Historic Village' and City Hall – good examples
- "Best Control"??

**Vision Topic: Location / Arrangement of Uses**

**Should residential and commercial uses be separated in distinct districts?**

**Should the city promote mixing of uses on individual properties?**

**Should the city promote mixed-use buildings?**

**Group 1:**

- Endorse mixed use and mixed use buildings

**Group 2:**

- Endorse mixed use and mixed use buildings

**Group 3:**

- Endorse mixed use and mixed use buildings

**Group 4:**

- Endorse mixed use and mixed use buildings
- Disregard existing land use distinctions

**Group 5:**

- Mixed use and mixed use buildings okay but not the driving force of development - create base (min and max) percentages to control the mix
- Change the code to allow mix of uses and avoid strip mall commercial
- Residences can be part of businesses: Condos – no; Town Houses - okay

**Group 6:**

- Endorse mixed use and mixed use buildings

**Group 7:**

- Endorse mixed use and mixed use buildings

**Vision Topic: Density / Intensity**

**What is the appropriate density / intensity for future development within the district planning area?**

**Group 1:**

- Transfer density within the district / not increase density
- Do not allow density changes outside district
- Build back to same density okay
- Height okay as – is

**Group 2:**

- Revisit density / intensity – allow some flexibility
- Do not increase residential density
- Increase density for senior housing
- Do not increase density / keep green
- Allow transfer of development rights
- Provide incentives for redevelopment

**Group 3:**

- Increase density to facilitate mixed use
- Concern about protecting open space and over population

**Group 4:**

- Willing to rethink density / intensity within district (with care)
- Revise density upward
- Trade/transfer within district

**Group 5:**

- Concentrate / Cluster Mixed uses to create big open spaces
- Look at density allowed for the entire parcel and not parts
- Density is a concern with some recent developments (Sanibel Community bank)

**Group 6:**

- Existing overall density today 'is not excessive'
- Rearrange uses - not necessarily increasing density – Post Office parking lot

**Group 7:**

- Higher density is needed in the district to make it pedestrian friendly  
Increase density as needed to make it work– yes (Raise / Reallocate)



## **Vision Topic: Redevelopment**

**Should the build-back provisions be extended to allow redevelopment at the existing density / intensity on a given property – even if it exceeds current zoning?**

### **Group 1:**

- Build back at present density is okay

### **Group 2:**

- Revisit code, allow some flexibility for commercial
- Do not change residential density
- Provide incentives for redevelopment

### **Group 3:**

- Build back to existing density okay
- Increase density “where required”

### **Group 4:**

- Build back to existing density okay

### **Group 5:**

- Incentives to Build-Back to fit in the context
- Need a Comprehensive approach
- Provide financial incentives to businesses

### **Group 6:**

- Apply ‘Build-Back’ with additional restrictions



**Group 7:**

- Apply 'Build-Back'

**Vision Topic: Parking**

**Should the City allow shared use parking?**

**Should special event parking be handled differently?**

**Should the City adopt requirements/limitations to require parking in the front? Rear? On-street?**

**Group 1:**

- Shared parking is good = less overall parking
- Peripheral parking lots with internal pedestrian / shuttle
- Mix of uses will reduce parking

**Group 2:**

- Shared use parking – yes
- Remote parking with shuttle to events
- Prefer parking in rear, not front

**Group 3:**

- Shared use parking – yes
- Peripheral parking with connections
- Reduce 100 ft setback
- Encourage parking in the rear

**Group 4:**

- Shared parking – yes
- Rear / mixed parking location
- More landscape requirements in parking lots

**Group 5:**

- Shared use parking – yes
- Connect parking lots to support big events
- Get away with 100' set-backs to avoid front parking lots
- No road through Civic space of Town Center
- Alley roads to serve parking and entries
- Alternate modes of transportation (Trams, Golf carts)

**Group 6:**

- Shared use parking – yes
- Prefer parking in rear, softer in the front
- Connect / encourage access between parking lots on different properties
- Peripheral parking lots with trolley service
- Reduce Curb cuts
- Start over with design of parking at Civic Uses and develop a flow
- More parking areas (B.I.G Arts) and to include Bicycle

**Group 7:**

- Shared use parking – yes

- Expand Parking- fill city owned 'leg' of lake near City Hall
- Peripheral parking lots with trolley service
- Reduce 100 ft setback - Encourage parking in the rear
- Encourage better impervious covers / porous asphalt / pavers (ped friendly)
- Parking at 2 levels (like Jerrys)

### **Vision Topic: Public Realm – Open Space**

**How can / should the natural / conservation areas be integrated into the district planning area?**

**What types of civic spaces are desired and what should be their location, size, character and quality?**

#### **Group 1:**

- Playground on north side of Periwinkle Way – possibly at BIG Arts, back of St. Michael's, at recycling center
- Outdoor performance space
- Outdoor dining areas – variety of types / locations
- Lakefront walkway north side of City Hall
- Dog Park
- Better use of land north of Theater

#### **Group 2:**

- Don't need to integrate natural conservation areas into district

#### **Group 3:**

- Some sort of central park
- Attractive landscape – drought/salt tolerant
- Friendly walking spaces and benches
- No playground

#### **Group 4:**

- Create Sanibel – appropriate tropical amenity / shared use area / pocket park
- NON CONSENSUS – Gazebo, dog park

#### **Group 5:**

- Maximize Natural / Open space within Town Center

#### **Group 6:**

- Open Space – not park (keep natural open space natural)
- Keep Natural Character along Dunlop
- Provide with benches and gazebos
- Low intensity lighting in public spaces
- Some focal point
- Bandstand - outdoor performing space – soft / bring your chair
- Area in front of B.I.G Arts as a model
- Use Pavers for Event parking
- Place for family picnic

**Group 7:**

- Green with benches and bandstand
- Dog park (adjacent) – back part of SCA property
- Move Historic village to park to allow B.I.G Arts to expand
- Fountain area – interactive
- Bridge / pedestrian connections

**Vision Topic: Public Realm - Streets and Paths**

**How can the district be made more pedestrian friendly?**

**Where do pedestrian / bicycle linkages between uses, and across the district planning area, need to be improved?**

**Group 1:**

- Public paths east-west through properties north of Periwinkle
- Network of public paths
- Must include bicycles – more racks etc.

**Group 2:**

- Pedestrian path on Dunlop
- Overall improvement

**Group 3:**

- Separate bicycle and pedestrian paths
- Include “small” linkages between properties
- Provide adequate, low level pedestrian lighting
- Pervious pavement
- Connect all civic uses
- Connect of move post office to central core

**Group 4:**

- Interior connectivity / walking corridors
- Create internal Palm Ridge to Tarpon Bay
- Connect all areas, not just Nave property

**Group 5: —**

**Group 6:**

- One-way loop
- Low level lighting
- Traffic roundabouts
- Access between contiguous parcels
- Consider separating bikes / pedestrians (wider paths)
- Consider small electric vehicles
- Turn lanes

**Group 7:**

- Relocate Periwinkle??
- Have more pedestrian only (connected parking)
- Shared use paths are dangerous
- Walk under raised Periwinkle
- Path from Gumbo Limbo behind Jerry’s connect to Library / City Hall
- No “Main Street” through Nave Property

**APPENDIX - B**  
**District Economic and Market Analysis**

# 2008

*January 10, 2008* Periwinkle Way District Plan Phase II  
Recommendations; Planning Department

*January 30, 2008* Periwinkle Way West District – Alternative  
Planning and Implementation Work Program

*May 6, 2008* Periwinkle Way Commercial District Plan; Part 1:  
Town Center Focus Area Redevelopment Principle and Policies

*June-July 2008* Architectural and Site Planning Design: Wallace,  
Roberts & Todd

*August 2008* Palm Ridge Road Focus Area; Planning  
Department



# City of Sanibel

Planning Department

## MEMORANDUM

DATE: January 10, 2008

TO: Judie Zimomra, City Manager

FROM: Robert J. Duffy, AICP, Planning Director

RE: **Periwinkle Way West District Plan**  
**Phase II: Toward a Vision for the Periwinkle Way West District**  
**Work Sheets for Preliminary Conclusions and Recommendations**

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On Tuesday, January 15, 2008, City Council and the Planning Commission will convene a joint meeting at 2:00 PM in Mackenzie Hall to continue the review of the Draft Phase II Periwinkle Way West District Plan report prepared by Wallace Roberts & Todd, LLC (WRT) and Real Estate Research Consultants (RERC).

The subject report, previously provided to City Council and the Planning Commission prior to the December 18, 2007 joint meeting, provides the following:

- Profile of existing conditions, opportunities and constraints previously reported as part of the Draft Phase I report
- Summary of the community visioning workshops
- Preliminary economic and market analysis
- Preliminary district plan vision alternatives and strategies

The vision alternatives address the following key elements of the ultimate Periwinkle Way West District Plan:

1. Definition of a Town Center in the Sanibel context
2. The range of appropriate commercial land uses
3. Plans for civic, cultural and governmental uses
4. The desired architectural character and style of the district
5. The appropriateness, location and arrangement of mixed commercial and residential uses
6. Density and intensity of future development
7. Redevelopment of preexisting nonconforming properties
8. Parking
9. Public realm – open and civic spaces
10. Public realm – streets, shared use paths and pedestrian connections

To assist City Council and the Planning Commission with the important deliberations that will address many of the important planning and policy questions posed by the vision alternatives and elements defined above, the Planning Department in consultation with WRT, has prepared the enclosed report

which consists of a series of worksheets for the key district planning elements. Each worksheet identifies a district planning element and, most importantly, briefly defines preliminary policy and planning conclusions and recommendations that are necessary to guide the formulation of the preliminary district plan and supporting implementation strategies. Alternative planning and policy choices are also provided including the definition of specific sections of the Land Development Code that may require revisions.

The worksheets are designed to enable City Council and the Planning Commission to define preliminary conclusions and recommendations that will guide early implementation actions to be undertaken by the Planning Department and specific next step to be pursued by WRT and RERC as part of Phase 3 of the Periwinkle Way West district planning work program.

In addition, two attachments are provided. Attachment 1 summarizes the Land Development Code's current regulation (Sec. 126-87) associated with combined or mixed commercial and residential use developments and a possible amendment to support mixed use structures within commercial districts. Attachment 2 briefly describes the potential application and revisions to the Land Development Code's Planned Unit Development regulations (Chapter 126, Article XVI) that could serve as a possible District Plan implementation strategy.

Please contact the Planning Department if you have questions regarding the enclosed report.

C:       City Council  
          Planning Commission  
          Planning Department  
          WRT  
          RERC

*Preliminary—For Discussion Only*

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Work Sheets for Preliminary Conclusions and Recommendations**

Joint Meetings of City Council and Planning Commission

December 18, 2007  
January 15, 2008

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**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Work Sheets for Preliminary Conclusions and Recommendations**

Joint Meetings of City Council and Planning Commission

December 18, 2007

January 15, 2008

| Preliminary<br>Vision Elements and Alternatives  | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |  |                |
|--|--|--|----------------|
|  | WRT  | RERC   | PLANNING DEPT. |
| <b>Economic and Market Analysis</b><br><br>Complete a basic economic and market feasibility analysis that will assist WRT during the preparation of alternative conceptual plans for the district. |  | <ul style="list-style-type: none"><li>• Clarify preliminary Sanibel Island population estimates for year round residents, seasonal residents, resort occupancy, daily visitors and employees.</li><li>• Revise preliminary commercial demand estimates to reflect expenditures by year round residents, seasonal residents, resort occupancy, daily visitors and employees.</li><li>• Define economic and commercial demand impacts associated with Sanibel's resort market segment.</li></ul> |                |

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Civic, Cultural and Governmental Facilities</b></p> <p>Define short and long term recommendations for maintaining, integrating, improving and expanding, as warranted, BIG ARTS, Library, Schoolhouse Theater, Historic Village, SCA and Senior Center facilities which together form the civic and cultural center of Sanibel.</p> <p>Recommendations for civic, cultural, historic and governmental facilities shall be reinforced by plans for maintaining, managing and improving this District's public spaces, pedestrian connections, shared use paths and parking facilities.<br/>(See Pages 10 – 13)</p> |  |      |                |

**Periwinkle Way West District Plan**

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives  | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|--|--|------|----------------|
|  | WRT  | RERC | PLANNING DEPT. |
| <p><b>Land Uses</b></p> <p><b>Commercial Uses</b></p> <p>Maintain the Existing Town Center General (TCG) and Town Center Limited (TCL) zoning districts as the “preferred location” for commercial and mixed use development in the geographical center of the City.</p> <p>Maintain distinction of the TCL district to support the establishment and retention of island and resident serving commercial and service uses and exclude uses (souvenir, apparel, gift, novelty and sweater shops) that principally cater to day visitors to the City.</p> <p>Establish incentives to retain and support Island serving commercial uses in both the TCG and TCL districts through adoption of new commercial redevelopment standards that enable improvements and reconstruction of pre-existing non-conforming structures at a higher floor area ratio. (See Redevelopment, Page 8)</p> |  |      |                |

**Periwinkle Way West District Plan**

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations             |      |  |
|---|---|------|--|
|   | Early Implementation Actions and Phase III Work Program |      |  |
|   | WRT   | RERC | PLANNING DEPT.   |
| <p><b>Land Uses (Cont'd.)</b></p> <p><b>Mixed Uses</b></p> <p>Encourage mixed use structures consisting of commercial space, market rate and/or below market rate housing by eliminating the 1000 sq. ft. reduction in permitted commercial floor area for each market rate dwelling unit as defined by LDC Chapter 126, Conditional Uses, Sec. 126-87 Combined Commercial and Residential Development. (See Attachment 1, Page 14)</p> |   |      | <p>Prepare amendment to the LDC for Public Hearings with the Planning Commission and City Council.</p> |

**Periwinkle Way West District Plan**

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives  | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|--|--|------|----------------|
|  | WRT  | RERC | PLANNING DEPT. |
| <p><b>Residential Density and Commercial Intensity</b></p> <p><b>Residential Density</b></p> <p><b>Alternative 1</b></p> <p>Maintain existing permitted residential density pursuant to the adopted Sanibel Plan (Official Density Intensity Maps) and consistent with LDC Chapter 126, Sec. 126-976 which stipulates that the maximum number of dwelling units permitted on a <u>lot or parcel</u> which consists of areas having different residential densities shall be the total of the dwelling units permitted by those areas.</p> <p><b>Alternative 2</b></p> <p>Maintain existing permitted residential density pursuant to the adopted Sanibel Plan (Official Density Intensity Maps) and adopt a specific "Master Redevelopment Plan" for a defined Planned Redevelopment District to be adopted and incorporated as part of LDC Chapter 126 Zoning, Article XVI Planned Unit Development (PUD). The Planned Redevelopment District would define the specific total residential density permitted for all of the lots or parcels included within the District consistent with the adopted Sanibel Plan. Transfer of residential density between lots within the District would be permitted consistent with the District's adopted Master Redevelopment Plan and defined conditions and standards. (See Attachment 2)</p> |  |      |                |

**Periwinkle Way West District Plan**

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Residential Density and Commercial Intensity (Cont'd.)</b></p> <p><b>Residential Density (Cont'd.)</b></p> <p><b>Alternative 2 (Cont'd.)</b></p> <p>Specific long form development permit applications would be subject to conditional use approval by both the Planning Commission and the City Council.</p> |  |      |                |

**Periwinkle Way West District Plan  
Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <b>Residential Density and Commercial Intensity (Cont'd.)</b><br><br><b>Commercial Intensity</b><br><br><b>Alternative 1</b><br>Maintain the current Town Center General (TCG) and Town Center Limited (TCL) permitted commercial Floor Area Ratios (FAR) of 12% for the commercially designed portion of a lot or parcel.<br><br><b>Alternative 2</b><br>See Redevelopment, Page 8 |  |      |                |

**Periwinkle Way West District Plan**

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Redevelopment</b></p> <p><b>Alternative 1</b></p> <p>Redevelopment of pre-existing non-conforming structures within the planning district shall only occur pursuant to the City's adopted "Build-Back" regulations.</p> <p><b>Alternative 2</b></p> <p>Define specific redevelopment site planning and design standards, pursuant to an adopted District Plan and the Sanibel Plan, as part of the Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts. The Planning Commission may consider long form applications for redevelopment of pre-existing non-conforming structures and sites that currently exceed the permitted 12% Floor Area Ratio. The total floor area of the redevelopment application would be limited to the existing non-conforming floor area or a maximum percentage increase in floor area above the current 12% FAR. Also, commercial floor space would be dedicated to Island service commercial uses.</p> |  |      |                |

**Periwinkle Way West District Plan**

Work Sheets for Preliminary Conclusions and Recommendations

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Architectural Character</b></p> <p>Define specific design, architectural, and landscape architectural design and site planning guidelines, in both text and illustrated formats, for the Town Center General (TDG) and Town Center Limited (TCL) districts. The guidelines will address specific sub areas of the district such as Periwinkle Way and Palm Ridge Road to reflect recommended District redevelopment objectives.</p> <p>The guidelines will be established pursuant to LDC Chapter 126 Zoning, Sec. 126-1028 and 1029 which stipulate that “City Council may adopt and, from time-to-time, amend an illustrated guide of architectural standards to aid in the administration and interpretation” of commercial district regulations.</p> <p>Define a specific District design review process and associated procedures and responsibilities necessary to effectively administer and achieve the District Plan’s redevelopment objectives.</p> |  |      |                |

**Periwinkle Way West District Plan  
Work Sheets for Preliminary Conclusions and Recommendations**

| Vision Elements and Alternatives   | Conclusions and Recommendations                         |      |                |
|--|---|------|----------------|
|  | Early Implementation Actions and Phase III Work Program |      |                |
|  | WRT   | RERC | PLANNING DEPT. |
| <p><b>Public Realm – Open Space</b></p> <p><b>Goal:</b> The District Plan shall identify strategies to fully integrate the surrounding environmentally sensitive lands and natural area into the City's commercial and civic center.</p> <p><b>Alternative 1</b></p> <p>The District Plan shall also recommend short and long range strategies to maintain and improve the existing civic, park and recreation spaces and facilities that serve Sanibel residents and visitors. Recommendations for improving pedestrian and landscape connections between these important public spaces and existing and future private residential and commercial development.</p> <p><b>Alternative 2</b></p> <p>The District Plan shall also define short and long term strategies for not only maintaining and improving existing civic, park and recreation spaces and facilities. The District Plan will also provide recommendations for the location, size, character and quality of expanded and/or new civic spaces that will complement and reinforce the center of Sanibel and support the range of programs, events and activities that serve Island residents and visitors.</p> |   |      |                |

**Periwinkle Way West District Plan  
Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Public Realm – Streets and Paths</b></p> <p>The District Plan will define a comprehensive set of inter-related recommendations to improve and expand pedestrian and bicycle accessibility and connectivity between civic, cultural, governmental, park, recreation, residential and commercial uses. The Plan will be integrated with recommendations for managing and improving open spaces and the public and private parking locations.</p> <p><b>Specific Recommendations Will Address:</b></p> <ul style="list-style-type: none"> <li>a. Dunlop Road</li> <li>b. Palm Ridge Road</li> <li>c. Shared Use Path improvements along Periwinkle Way and Tarpon Bay Road</li> <li>d. Pedestrian connections between the Historic Village, BIG ARTS, City Hall, Library, SCA, Schoolhouse Theater and commercial and residential properties within the District.</li> </ul> |  |      |                |

**Periwinkle Way West District Plan  
Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Parking</b></p> <p><b>Shared Parking</b></p> <p>Amend LDC Chapter 126 Zoning, Article XVI Off-Street Parking and Loading to enable the Planning Commission to approve shared parking plans that will recognize varying parking demands associated with mixed use development and between adjoining commercial properties to achieve the objective of the District Redevelopment Plan and the Sanibel Plan.</p> <p><b>Civic, Cultural and Government Facility Parking</b></p> <p>Define shared and long range parking management and improved plans to improve access and connectivity between the 460 parking spaces dedicated to the District's Civic, Cultural and Governmental facilities.</p> |  |      |                |

**Periwinkle Way West District Plan**

**Work Sheets for Preliminary Conclusions and Recommendations**

| Preliminary<br>Vision Elements and Alternatives   | Preliminary Conclusions and Recommendations<br>Early Implementation Actions and Phase III Work Program |      |                |
|---|--|------|----------------|
|   | WRT  | RERC | PLANNING DEPT. |
| <p><b>Parking (Cont'd.)</b></p> <p><b>Special Event Parking</b></p> <p>Prepare a special event parking location and management plan to support the Island's major seasonal special events, insure pedestrian safety and accessibility and minimize traffic congestion and circulation.</p> <p><b>On-Site Commercial Parking Locations</b></p> <p>Prepare revisions to LDC Chapter 126, Article VIII Commercial Districts, Sec. 126-494(c), 514(c) and 534(c) to enable modification of the existing 100 ft. setback from the center line of a minor arterial or collector road in order to eliminate the strip commercial appearance of commercial properties and centers and provide revised management, landscaping, site planning and design standards and/or guidelines to enable the Planning Commission to consider long form applications.</p> |  |      |                |

*Preliminary—For Discussion Only*

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Summary of Existing Regulations and Potential Revisions  
Land Development Code Chapter 126 Zoning,  
Article IV Conditional Uses, Sec. 126-87  
Combined Residential and Commercial Development**

The following is a summary of both the existing and potential regulations of the Land Development Code that pertain to Mixed Residential and Commercial Development.

**1. Existing Mixed Use or Combined Residential and Commercial Development Regulations (LDC Sec. 126-87)**

- **Combined (Mixed Use) residential and commercial development may be permitted as a conditional use subject to approval by the Planning Commission and the following conditions:**
  - (1) Only one dwelling unit permitted unless the hours of the commercial uses are between 8:00 A.M. and 9:00 P.M., or unless the commercial uses and parking are separated from the residential units by 100 feet or more.
  - (2) Site plan is designed to minimize detrimental impacts of commercial activity on residential uses.
  - (3) Site plan is designed to provide a “pleasant” residential environment.
  - (4) Provide total required parking for both commercial and residential uses.
  - (5) **Dwelling units may be permitted up to a maximum number of dwelling units permitted by the development intensity map, provided the maximum permitted commercial floor area is reduced by 1,000 square feet for each dwelling unit.**

*Example: If a parcel or lot is zoned for 6,000 sq. ft. of commercial development and 2 dwelling units, the resulting conditional use application could enable 4,000 square feet of commercial space and 2 dwelling units.*

**2. Potential Amendment to the Land Development Code, Chapter 126 Zoning, Section 126-87 Combined residential and commercial development.**

A preliminary recommendation from the Draft Periwinkle Way West District Planning effort is as follows:

- (a) Amend Sec. 126-87 to define the conditions by which the Planning Commission could approve future plans for mixed residential and commercial structures without imposing the 1000 sq. ft. reduction of permitted commercial floor area for each dwelling unit provided.

Preliminary—For Discussion Only

**Periwinkle Way West District Plan**

**Phase II: Toward a Vision for the Periwinkle Way West District**

**Summary of Existing Regulations and Potential Revisions  
Land Development Code Chapter 126 Zoning,  
Article IV Conditional Uses, Sec. 126-87  
Combined Residential and Commercial Development**

**Example 1:** If a parcel or lot is zoned for 6,000 sq. ft. of commercial development and 2 dwelling units, the resulting conditional use application could enable 6,000 sq. ft. of commercial space and 2 dwelling units if the commercial floor area would be dedicated to Island serving commercial uses and the development plan would only enable a mixed use structure consistent with specific site planning, architectural, landscape architectural, parking and other standards and conditions.

**Example 2:** Nave Property (See Page 16)

Permitted Commercial Floor Area = 28,000 Sq. Ft.  
Permitted Residential Density = 23 dwelling units

Under current regulations the range of permitted commercial floor area and dwelling units would be as follows:

23 dwelling units and 9,000 sq. ft. of commercial floor area to 5 dwelling units and 27,000 sq. ft. of commercial floor area.

With the potential elimination of the 1,000 sq. ft. commercial floor area penalty for each dwelling unit, the following alternative would be possible.

**Alternative:** On the commercially zoned (Town Center General) portion (5.4 acres at 12% Floor Area Ratio) of the Nave property a total of 28,000 Sq. Ft. of commercial floor area and 19 market rate dwelling units would be permitted as part of mixed use structures under the following conditions:

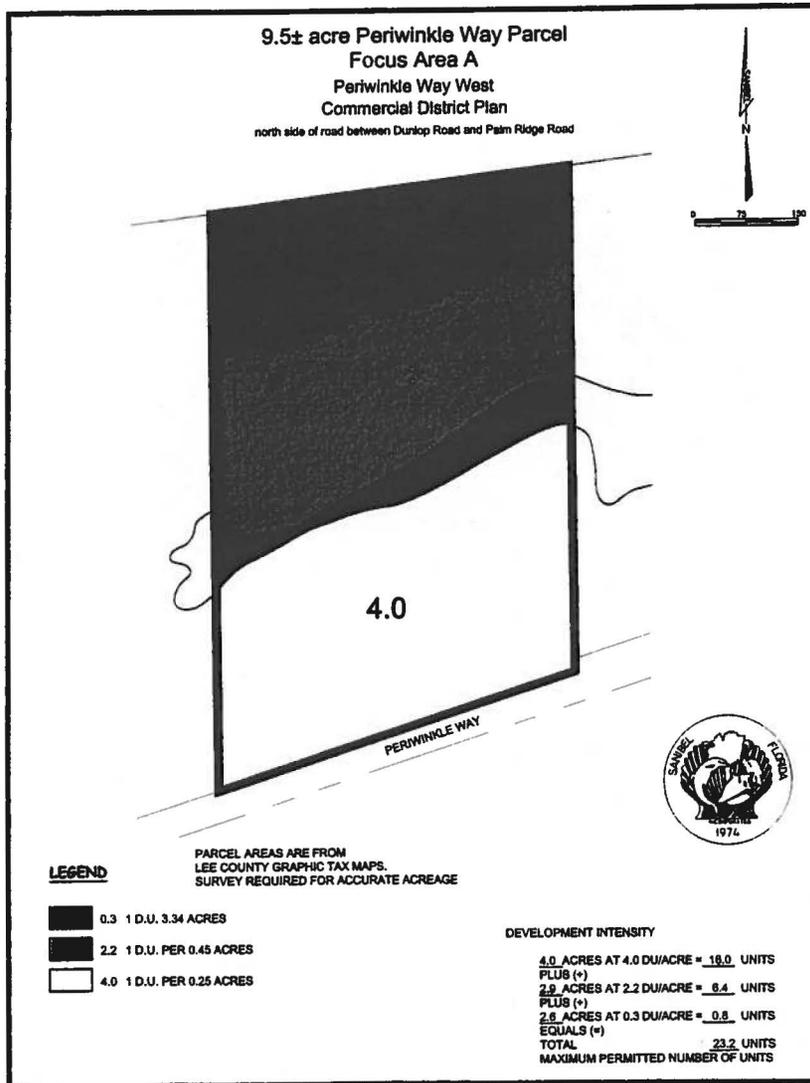
- a. Island serving commercial floor area
- b. Subject to Town Center General commercial district regulations
- c. Shared parking plan
- d. Subject to new mixed use site planning and design standards



*Preliminary - For Discussion Only*

**Periwinkle Way West District Plan  
Update for Focus Area A (Nave Property)  
2240 Periwinkle Way (Tax Parcel No. 26-46-22-T2-00009.0000)**

Source: Planning Department  
January 2008



**A. EXISTING CONDITIONS:**

|  |  |
|--|--|
| <b>1. Parcel Size</b>  | 9.5 Acres (estimate)   |
| <b>2. Ecological Zones</b>   | Lowland Wetlands; Upland Wetlands and Mid Island Ridge   |
| <b>3. Development Intensity</b><br><i>(See LDC Section 126-976 Applicability of regs. to parcels ... w/ varying residential densities)</i> | 4.0 DUs/Ac or 1 DUs/.25 Acres<br>2.2 DUs/Ac or 1 DUs/.45 Acres<br>0.3 DUs/Ac or 1 DUs/3.34 Acres   |
| <b>4. Existing Land Uses</b><br>Residential<br>Commercial (Sanibel Square Center)  | 3 Single Family Residential Units<br>17,100sf Commercial Floor Area  |
| <b>5. Commercial Zones</b>   | Town Center General (TCG)<br>5.4 Acres @ 12% Floor Area Ratio  |
| <b>6. Permitted Land Uses</b><br>Residential   | Single Family and Two Family<br>Multi-Family (w/in 400' of Periwinkle not in Lowlands)<br>Cluster Housing (See LDC Section 86; Art III; Div 3)<br>Below Market Rate Housing<br>All Permitted Commercial Uses |
|  | Commercial (See LDC Ch 126; Art VIII)  |

**B. PERMITTED DEVELOPMENT**

|  |   |
|--|---|
| <b>1. Residential</b><br>4.0 Acres @ 4.0 DUs/Acre<br>2.9 Acres @ 2.2 DUs/Ac<br>2.6 Acres @ 0.3 DUs/Ac<br>Total (See LDC Section 126-976) | 16 Dwelling Units<br>6.4 Dwelling Units<br>0.8 Dwelling Units<br>23 Dwelling Units  |
| <b>2. Commercial</b>   | 28,000sf of Commercial Floor Area<br><i>(See LDC Ch 126; Art VIII Permitted &amp; Conditional Uses)</i>   |
| <b>3. Combined Residential &amp; Commercial</b><br><i>(Conditional Use - See LDC Section 126.87)</i>                                     | 1 Du, in addition to the 4 DUs permitted outside the TCG District, can be developed for every 1,000sf reduction of permitted com. floor area (not to exceed the total of 23 DUs for the entire 9.5 acre parcel). Ergo:<br><b>23 DUs &amp; 9,000sf of Com. Floor Area to 5 DUs &amp; 27,000sf of Com. Floor Area</b> |

L.kap: zoning density nave prop

Attachment 2

*Preliminary—For Discussion Only*

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Summary and Outline of Potential  
Planned Redevelopment District Amendment  
To Land Development Code Chapter 126 Zoning  
Article XVI Planned Unit Development**

The following is a preliminary summary and outline of the potential purpose, objectives, location, master redevelopment plan, land uses and required conditions, standards and guidelines that would be associated with a new Division 4 Planned Redevelopment District that would be an amendment to Article XVI of the Land Development Code.

**A. Potential Amendment 1 – Establish Specific Purpose and Objectives for a Planned Redevelopment District**

Amend Division 1. General, Section 126-1431 to include the following:

1. Statement of specific purpose and objectives for Divisions 2 and 3.
2. Statement of specific purpose and objectives for a new Division 4 Periwinkle Way West Planned Redevelopment District.
  - District defined for redevelopment by the Sanibel Plan (See Page 237)
  - Must implement the Sanibel Plan's, Vision, Goals and Policies
  - Incorporates a specific Master Redevelopment Plan recommended by the Planning Commission and approved by City Council
  - The Master Redevelopment Plan will produce one or more of the following explicit public benefits including: dedication of land for public use; conservation or restoration of environmentally sensitive land; provides for improved pedestrian and bicycle access and safety; reduces vehicular trips and congestion; establish a unified and shared parking plan; provides for Island sensitive and "green" site planning and design; and enables a comprehensive, coordinated and sustainable land use plan.
  - Expressly limited to the Periwinkle Way West District and distinct sub-areas including the Town Center and Palm Ridge Road areas as defined by the Sanibel Plan. (See Pg. 257)

Attachment 2 (Cont'd.)

*Preliminary—For Discussion Only*

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Summary and Outline of Potential  
Planned Redevelopment District Amendment  
To the Land Development Code Chapter 126 Zoning  
Article XVI Planned Unit Development**

**B. Potential Amendment 2 – Establish a Specific Periwinkle Way West Redevelopment District.**

Adopt a new Division 4. Periwinkle Way West Planned Redevelopment District as part of Article XVI Planned Unit Development with the following Sections:

**Sec. 126-1476 District Purpose and Objective**

- Area defined for redevelopment by the Sanibel Plan
- Implementation of the Sanibel Plan
- Implementation of a specific redevelopment master plan recommended by the Planning Commission and approved by City Council
- Must implement a redevelopment plan that defines one or more of the following explicit public benefits including: dedication of land for public use; conservation and/or of existing environmentally sensitive land; provides for improved pedestrian access and safety; reduces vehicular trips and congestion; unified parking plan; provides for Island sensitive and “green” site planning and design; and enables a comprehensive, coordinated and sustainable land use plan.

**Sec. 126-1477 District Boundary**

See enclosed map. Boundaries must include City properties that will **directly benefit** from the proposed Planned Redevelopment District.

**Sec. 126-1478 Applicability**

All provisions of Land Development Code to apply except as otherwise specified by this Article.

**Sec. 126-1479 Master Development Plan**

To be recommended by Planning Commission and adopted by City Council pursuant to final recommendations of the Periwinkle Way West District Plan.

Preliminary—For Discussion Only

**Periwinkle Way West District Plan  
Phase II: Toward a Vision for the Periwinkle Way West District**

**Summary and Outline of Potential  
Planned P Development District Amendment  
To Land Use Ordinance Chapter 126 Zoning  
Article XVI Planned Unit Development**

**Sec. 126-1480 Density and Intensity**

Permitted overall District residential density shall be based on Sanibel Plan and Development Intensity Maps.

Permitted residential density may be transferred between properties within the district subject to the following:

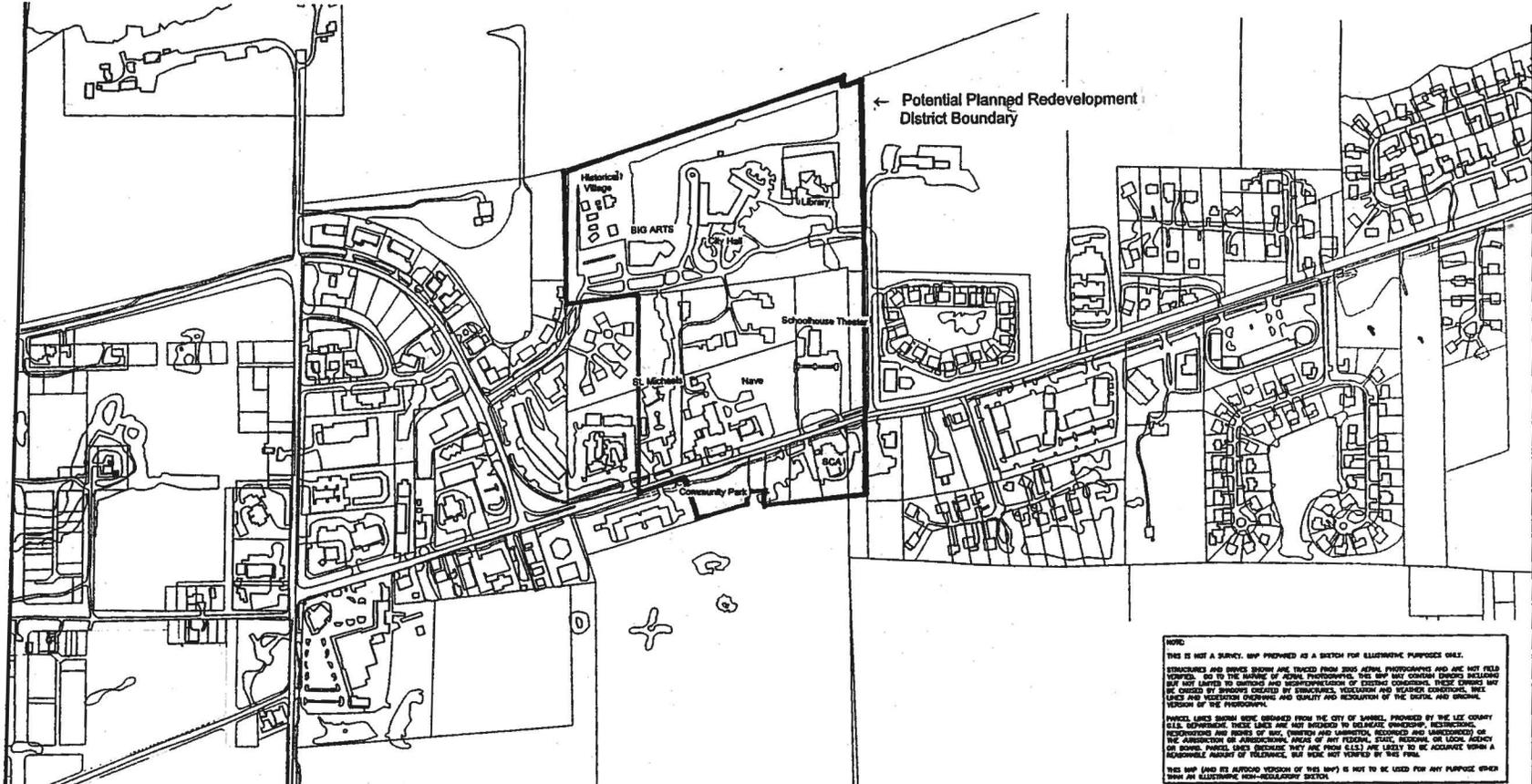
- Overall maximum permitted density shall comply with Development Intensity Maps
- Consistent with approved Periwinkle Way District Plan and Master Redevelopment Plan
- The density transfer to a specific receiving property will be limited to a specific percentage (to be determined) of the overall density yield from a sending property.
- Residential densities permitted on lands currently used for alternative non-residential uses shall be reduced proportionately by the intensity of the existing non-residential use.

**Sec. 126-1481 Permitted Conditional and Accessory Uses**

Permit uses enabled by the Town Center General (TCG) commercial district and the residential districts (Ecological Zones) within the boundary of the Planned Redevelopment District.

**Sec. 1482 Required Conditions**

Define conditions pertaining to specific floor area (FAR – 12%), height, set back, coverage, vegetation, environmental performance, parking, design and other appropriate standards based on the following: approved Master Development Plan; Town Center General commercial district regulations; and residential zoning regulations.



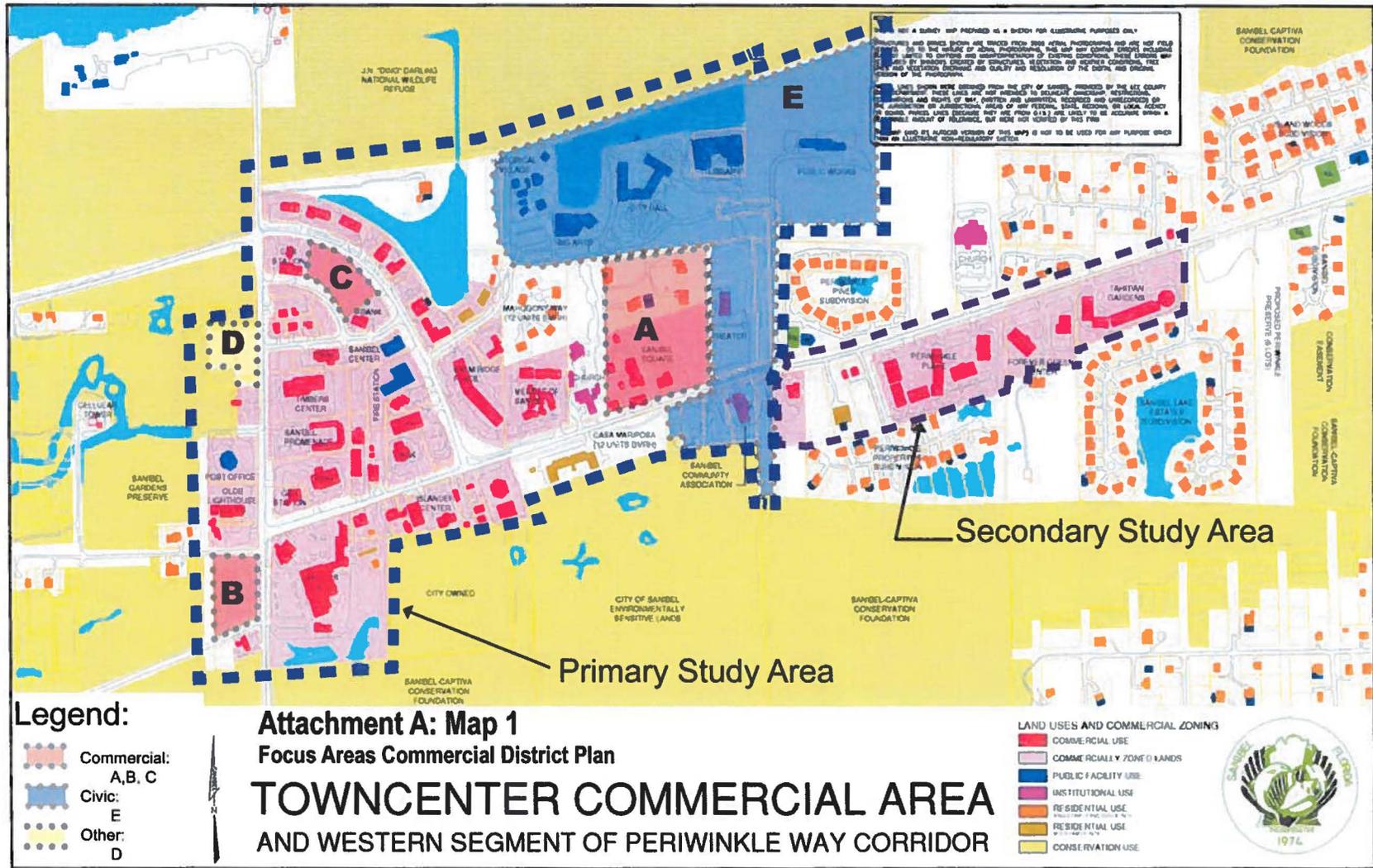
← Potential Planned Redevelopment District Boundary

**NOTE:**  
 THIS IS NOT A SURVEY. MAP PROVIDED AS A SKETCH FOR ILLUSTRATIVE PURPOSES ONLY.  
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**PERIWINKLE WAY WEST DISTRICT PLAN**  
**POTENTIAL PLANNED REDEVELOPMENT DISTRICT**  
 PERIWINKLE WAY, PALM RIDGE ROAD, TARPON BAY ROAD  
 AND DUNLOP ROAD

**NOT TO SCALE**  
 COMPILED BY:  
 Dean, Whitaker, Lutz & Kersh, Inc. 84990  
 ENGINEERS-SURVEYORS-PLANNERS  
 12041 MCCREARY ROAD, SUITE 1000, PALM BEACH, FLORIDA 33411-8710  
 561-851-1121





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# 2008

*January 10, 2008* Periwinkle Way District Plan Phase II  
Recommendations; Planning Department

*January 30, 2008* Periwinkle Way West District – Alternative  
Planning and Implementation Work Program

*May 6, 2008* Periwinkle Way Commercial District Plan; Part 1:  
Town Center Focus Area Redevelopment Principle and Policies

*June-July 2008* Architectural and Site Planning Design: Wallace,  
Roberts & Todd

*August 2008* Palm Ridge Road Focus Area; Planning  
Department



# City of Sanibel

Planning Department

## MEMORANDUM

DATE: January 30, 2008

TO: Judie Zimomra, City Manager

FROM: Robert J. Duffy, AICP, Planning Director

SUBJECT: **Redevelopment Planning Work Program and Priorities  
- Progress Report and Next Phases**

**Periwinkle Way West District Plan  
- Alternative Planning and Implementation Work Programs**

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Enclosed for review and consideration by City Council at the February 5, 2008 meeting are the following reports.

**Attachment 1: Redevelopment Planning Work Program and Priorities  
- Progress Report and Next Phases**

This brief report summarizes the progress that has been achieved over the past two years to implement the City of Sanibel's four part redevelopment planning work program. The report outlines the priority order for build-back, commercial, resort and residential redevelopment planning efforts resulting from the joint meetings of City Council and the Planning Commission in late 2005 and early 2006. The report notes both progress to date and next phases of work now underway or to be initiated during Fiscal Year 2007-2008.

**Attachment 2: Periwinkle Way West District Plan  
- Alternative Planning and Implementation Work Programs**

As a result of the completion of Phases One and Two of the Periwinkle Way West District Planning effort and the joint meetings of City Council and the Planning Commission, the Planning Department has prepared the enclosed brief report which summarizes three alternative courses of action designed to address three key issues or opportunities defined by the planning efforts completed by Wallace Roberts & Todd, LLC. The alternatives focus on the following: design guidelines for the Town Center commercial zoning districts; revised front yard set back regulations; and the preparation of a plan for maintaining, connecting and improving the public facilities, civic spaces, streets, shared use paths and parking areas that serve Sanibel residents.

Please contact me if you would like to review the enclosed reports prior to City Council's meeting.

Atch (2)

C: Planning Department

L:RJD: RedPlanWkProgsadPr2 5 08



# City of Sanibel

Planning Department

## **REDEVELOPMENT PLANNING WORK PROGRAM AND PRIORITIES PROGRESS REPORT AND NEXT PHASES**

February 5, 2008

### **1. Build Back**

#### Progress Report

- City Council adopted (Ord. No. 05-017) Build Back amendments to the Land Development Code on January 4, 2006.
- Home Owners and Property Owners Guide to Build Back regulations completed and distributed in May 2006.

### **2. Commercial Redevelopment**

#### Progress Report

- City Council adopted (Ord. No. 06-022) amendments to the Land Development Code's Commercial District regulations on February 20, 2007.
- Inventory of Commercial Land Uses approved by City Council on January 4, 2006 and March 20, 2007 (Res. No. 07-040).
- Business Round Tables Conducted on June 23, 24 and 26, 2006.
- City Council adopted (Ord. No. 06 - 009) amendments to Land Development Code on August 15, 2006 to enable General Restaurants to provide bonus seating for outdoor dining.
- Report on Alternative Zoning Approaches for Mixed Commercial and Residential Uses completed and presented to Planning Commission and City Council in May 2007.
- Periwinkle Way West District planning project initiated in July 2007. Phase 1: Existing Conditions, Opportunities and Constraints report completed and presented to joint meeting of City Council and Planning Commission in October 2007. Phase 2: Toward a Vision for the Periwinkle Way West District report completed and presented to City Council and Planning Commission in December 2007.
- Planning Commission approved Resolution No. 08 -01 recommending revisions to the Land Development Code to enable outdoor seating for Carry Out Restaurants. City Council to consider adoption of recommended revisions on February 19, 2008.

## **REDEVELOPMENT PLANNING WORK PROGRAM AND PRIORITIES PROGRESS REPORT AND NEXT PHASES**

### **2. Commercial Redevelopment (Cont.)**

#### Next Phases

- City Council to consider alternative planning and implementation work programs (See Attachment 2) on February 5, 2008 for next planning and implementation phases of the Periwinkle Way West District Plan.
- Planning Commission's Land Development Code Review Subcommittee to meet on February 12, 2008 to initiate review and revisions to the Land Development Code's commercial site planning and architectural design review standards and procedures.

### **3. Resort Redevelopment**

#### Progress Report

- Updated inventory of Resort Housing completed and submitted to Planning Commission and City Council in September 2007.
- Updated survey of pre-existing non-conforming uses and structures within Resort Housing District to be completed by September 2008.

### **4. Residential Redevelopment**

#### Progress Report

- Updated Inventory of Housing Stock in the City of Sanibel completed and submitted to the Planning Commission and City Council in September 2007.
- Revisions and consolidation of cost estimate forms and review procedures completed by Planning and Building Departments in July 2007 to improve permitting process associated with short form applications for the redevelopment, including additions and alterations, of pre-FIRM single family residential dwelling units.

#### Next Phases

- On February 26, 2008 the Planning Commission will conduct a public hearing on a proposed amendment to the Land Development Code to enable unified Long Form review by the Planning Commission of applications for the single family residential construction involving both principle and accessory structures.
- On February 12, 2007, the Planning Commission's Land Development Code Review Subcommittee to meet to initiate the review of current Land Development Code regulations associated with the size, scale, massing and design of single family residential construction and potential alternative amendments to address neighborhood compatibility and conservation.



# City of Sanibel

Planning Department

Attachment 2

*Preliminary – For Discussion Only*

## **Periwinkle Way West District Plan Alternative Planning and Implementation Work Programs**

February 5, 2008

**Alternative 1: Finalize Phase 1 and 2 Reports prepared by Wallace Roberts & Todd, LLC and Real Estate Research Consultants**

**Planning Department and Planning Commission to Prepare Front Yard Setback and Design Guideline Amendments to the Land Development Code**

**Planning Commission to Conduct Public Meetings and Hearings on proposed Amendments to Land Development Code and Submit Recommendations to City Council**

This alternative would conclude the contract and scope of work between the City of Sanibel and Wallace Roberts & Todd LLC and Real Estate Research Consultants. The consultants will complete final report editorial and content revisions. The final Phase 1: Existing Conditions, Opportunities and Constraints and Phase 2: Visioning reports will be compiled as resources to assist with preparation of Land Development Code amendments.

The Planning Department will proceed with preparation of revisions to the following section of the Land Development Code (LDC).

LDC Chapter 126, Article VIII Commercial Districts, Sec. 126-494(c), 514(c) and 534(c) to enable applicants to seek a reduction of the existing 100 ft. setback from the center line of a minor arterial or collector road. Long Form applications will be considered by the Planning Commission and subject to specific site, landscape and design standards.

The Planning Department will also prepare site, landscape and design guidelines in text format for the Town Center Limited and Town Center General commercial zoning districts. The guidelines will be prepared pursuant to LDC Chapter 126 Zoning, Sec. 126-1028 and 1029 which stipulate that "City Council may adopt and, from time to time, amend an illustrated guide of architectural standards to aid in the administration and interpretation of commercial district regulations."

The range of potential guidelines will address the following site, building and landscape characteristics.

- Site Planning (Front, Side and Rear Yard Setbacks)
- Driveway Location and Orientation
- Exterior Architectural Detailing and Building Materials Used
- Roof Characteristics
- Appearance of Side Walls
- Building Scale, Massing and Form
- Building Height and Angle of Light
- Building Location and Orientation
- Parking Design Location and Width
- Building Fenestration (Arrangement, Proportioning and Design of Window and Doors)
- Landscaping and Vegetation

The Planning Commission's Land Development Code Review Subcommittee will be convened to develop, review and recommend the general site, landscape and design guidelines for consideration and public hearing by the Planning Commission.

The Land Development Code Review Subcommittee will submit preliminary recommendations regarding both the 100 setback regulations and Town Center commercial design guidelines for consideration by the Planning Commission in April 2008.

**Alternative 2: Finalize Phase 1 and 2 Reports prepared by Wallace Roberts & Todd, LLC (WRT) and Real Estate Research Consultants**

**Revise Scope of Work to enable WRT to assist the Planning Department and Planning Commission with Preparation of Design Guideline Amendments to the Land Development Code**

**Planning Commission to Conduct Public Meetings and Hearings on proposed Amendments to Land Development Code and Submit Recommendations to City Council**

This alternative is similar to Alternative 1 except that a contract amendment with WRT would be approved by City Council enabling the firm to provide professional architecture, landscape architecture and design services to assist the Planning Department and Planning Commission with the preparation of a more comprehensive and illustrated set of design standards for the Town Center commercial districts, including sub-districts such as Palm Ridge Road. The set of design guidelines would also be expanded to

address best “green” building and infrastructure practices consistent with the Sanibel Plan.

**Alternative 3: Finalize Phase 1 and 2 Reports prepared by Wallace Roberts & Todd, LLC (WRT) and Real Estate Research Consultants**

**Revise Scope of Work to enable WRT to assist the Planning Department and Planning Commission with the Following Tasks:**

- 1. Preparation of Commercial District Design Guideline Amendments to the Land Development Code.**
- 2. Prepare Both Preliminary and Final District Plans and Recommendations that will Focus on Civic and Cultural Facilities, Public Spaces, Public Right of Ways, Shared Use Paths, Pedestrian Accessibility and Parking.**

**Planning Commission to Conduct Public Meetings and Hearings on Proposed Plans and Amendments to Land Development Code and Submit Recommendations to City Council.**

This alternative will expand Alternative 2 and will require a contract amendment with WRT to enable the firm to assist the City of Sanibel with the preparation of both preliminary and final district plans that will address the following.

**Public Realm - Civic and Cultural Facilities**

Define short and long term recommendations for maintaining, integrating, improving and expanding, as warranted, BIG ARTS, Library, Schoolhouse Theater, Historic Village, SCA and Senior Center facilities which together form the civic and cultural center of Sanibel.

Recommendations for civic, cultural and historic facilities shall be reinforced by plans for maintaining, managing and improving this District’s public spaces, pedestrian connections, shared use paths and parking facilities.

**Public Realm – Open Space**

Identify strategies to fully integrate the surrounding environmentally sensitive lands and natural areas into the City’s commercial and civic center.

Define short and long term strategies for maintaining and improving existing civic, park, recreation and open spaces. Provide recommendations for the location, size, character

and quality of expanded and/or new civic and open spaces that will complement and reinforce the center of Sanibel and support the range of programs, events and activities that serve Island residents and visitors.

### **Public Realm – Streets and Paths**

Define a comprehensive set of inter-related recommendations to improve and expand pedestrian and bicycle accessibility and connectivity between civic, cultural, park, recreation, residential and commercial uses within the district. The Plan will be integrated with recommendations for managing and improving open spaces and the public and private parking locations.

Specific Recommendations Will Address:

- a. Dunlop Road
- b. Palm Ridge Road
- c. Shared Use Path improvements along Periwinkle Way and Tarpon Bay Road
- d. Pedestrian connections between the Historic Village, BIG ARTS, City Hall, Library, SCA, Schoolhouse Theater and commercial and residential properties within the District

### **Parking**

#### **Shared Parking**

Define potential amendments to LDC Chapter 126 Zoning, Article XVI Off-Street Parking and Loading to enable the Planning Commission to consider shared parking plans that will recognize varying parking demands associated with permitted uses and between adjoining properties in order to reduce vehicular trips, minimize impervious surface coverage and support pedestrian accessibility.

#### **Civic and Cultural Facility Parking**

Define short and long range plans to improve access and connectivity between the 460 parking spaces dedicated to the District's civic and cultural facilities.

#### **Special Event Parking**

Prepare a special event parking location and management plan to support the Island's major seasonal special events, insure pedestrian safety and accessibility and minimize traffic congestion and circulation.

WRT and the Planning Department will meet with the Planning Commission to prepare preliminary alternatives, plans, and recommendations for presentation and review with City Council.

# 2008

*January 10, 2008* Periwinkle Way District Plan Phase II  
Recommendations; Planning Department

*January 30, 2008* Periwinkle Way West District – Alternative  
Planning and Implementation Work Program

*May 6, 2008* Periwinkle Way Commercial District Plan; Part 1:  
Town Center Focus Area Redevelopment Principle and Policies

*June-July 2008* Architectural and Site Planning Design: Wallace,  
Roberts & Todd

*August 2008* Palm Ridge Road Focus Area; Planning  
Department



**City of Sanibel**  
**Planning Department**

**Portwinkle Way West  
Commercial District Plan**

**Part 1: Town Center Focus Area  
Redevelopment Principle  
and Policies**

**May 6, 2008**

# **Periwinkle Way West Commercial District Plan**

## **Part I: Town Center Focus Area Redevelopment Principle and Policies**

### **Introduction**

The City of Sanibel has been proactively implementing a three part redevelopment planning program that is focused on the island's commercial, resort and residential land uses. Following the adoption of the landmark Build Back regulations that revised and clarified when and how nonconforming structures and uses can be redeveloped when substantially damaged as a result of a natural disaster, the City proceeded with commercial redevelopment planning and supporting Land Development Code amendments.

Commercial redevelopment planning efforts to date have included the following: surveys of businesses and residents regarding Sanibel's economic and market conditions, issues and opportunities; local business roundtables to define initiatives to retain and support island serving businesses; adoption of revisions to the Land Development Code's commercial district regulations, including new regulations addressing formula retail uses, maximum commercial building size and outdoor dining; adoption of architectural and site planning design standards; preparation of a supporting set of illustrated architectural and site planning guidelines; and, consistent with the Sanibel Plan, the completion of a specific plan for the Periwinkle Way West Commercial District.

The following report is the first in a series of four reports that together define specific principles, policies and concepts that will guide future private commercial and related redevelopment efforts within the Periwinkle Way West Commercial District.

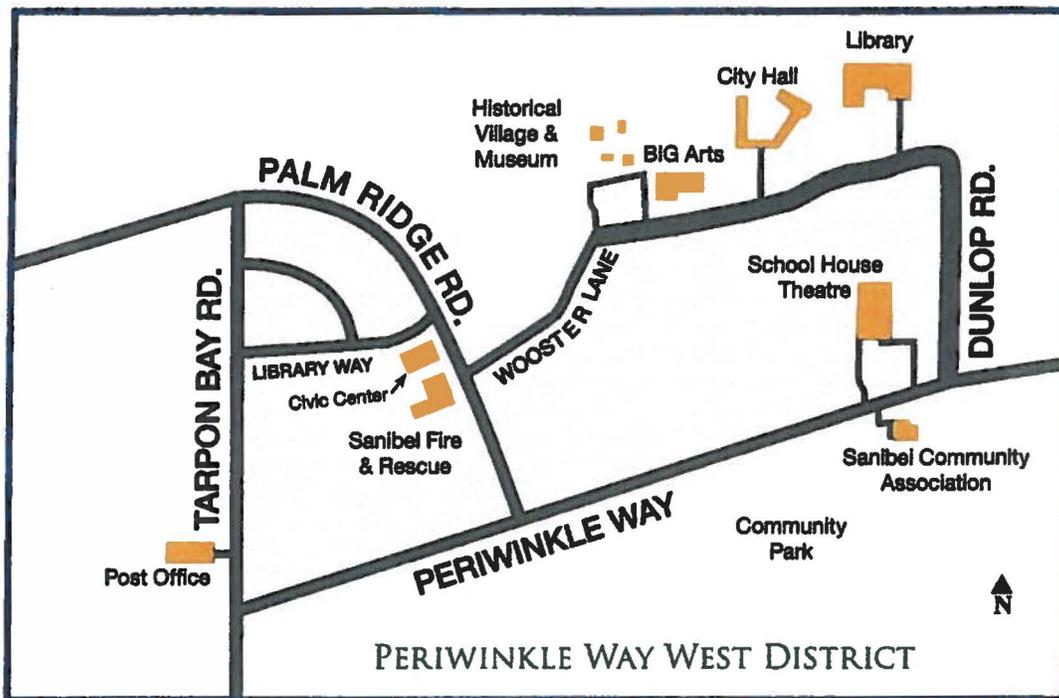
### **Periwinkle Way West Commercial District Planning Area and Process**

On September 18, 2007 City Council adopted Evaluation and Appraisal Report (EAR) based amendments to the Sanibel Plan (See Attachment 1) which include the following recommendation as part of Section 3.6.2. Future Land Use Element for Commercial Development (Page 193).

*"the City's Redevelopment Planning Work Program will include the preparation of specific district plans for Periwinkle Way, including the Town Center and Palm Ridge Road area."*

Consistent with the adopted Sanibel Plan, the Periwinkle Way West Commercial District planning effort was initiated in July 2007 to define existing conditions, issues, opportunities and preliminary redevelopment planning visions, principles, polices and concepts. Figure 1 defines the Periwinkle Way West Commercial District Planning Area which focuses on the western portion of Periwinkle Way, Palm Ridge Road, Tarpon Bay Road and Dunlop Road.

**Figure 1**  
**Periwinkle Way West Commercial District Planning Area**



The first two phases of the planning process were facilitated by the firm of Wallace Roberts & Todd, LLC. The initial reports completed as part of these supporting redevelopment planning phases are as follows.

**Phase I: Existing Conditions, Opportunities and Constraints**

**Phase II: Toward a Vision for the Periwinkle Way West Commercial District**

During the above phases of work, a series of public open houses, workshops, meetings and surveys were conducted to gather information and ideas from the community. Several visioning workshops were also held to define an initial range of redevelopment planning concepts. Work sessions with the Planning Commission and joint meetings with City Council and the Planning Commission were also conducted.

The final Phase III of the Periwinkle Way West Commercial District planning process consists of the following three parts that define the redevelopment planning principles, policies and concepts for the priority focus areas defined by both the Sanibel Plan and the previously completed supporting redevelopment planning phases.

Part One: Town Center

Part Two: Palm Ridge Road

Part Three: Tarpon Bay Road

In addition to the above reports, a Part Four report also defines planning principles, policies and concepts for the all important and interrelated open spaces, pedestrian and shared use paths, parking facilities and vehicular circulation system that together form the “public realm” that visually and physically defines and connects the three planning focus areas situated within the Periwinkle Way West Commercial District. The maintenance, design, improvement and management of these integrated public and private systems, spaces and facilities will be a high priority for the redevelopment principles, policies and concepts defined for the Periwinkle Way West Commercial District.

The following Part One: Town Center focus area report includes the following three sections.

1. Definition of the Town Center focus area.
2. Brief profile of the Town Center focus area.
3. Town Center redevelopment planning principle (Approved by City Council on February 15, 2008) and supporting policies based on the Sanibel Plan, Land Development Code and the Periwinkle Way West District planning work program.

### **Town Center Defined**

To date, the term Town Center has been utilized for different purposes and applications by the Sanibel Plan, Park and Recreation System Master Plan, Land Development Code and recent private marketing and redevelopment concepts for the Nave property.

The Sanibel Plan’s (See Attachment 1) Recreation and Open Space element previously referred to a “Town Center/Town Square” and, pursuant to the adopted EAR based amendments, recommends that the City “Consider development of an area to serve as a focal point for community activity, special events and informal assembly.” As noted above, the Sanibel Plan’s Commercial Development element also refers to the preparation of plans for “commercially zoned areas along Periwinkle Way” including the “Town Center” which refers, in part, to the commercially zoned portion of the Nave property.

The adopted City of Sanibel Parks and Recreation System Master Plan includes recommendations for a "Town Green Special Events Area" that would "dedicate open space between/in front of City Hall and Library as the Sanibel Town Green" (See Attachment 2).

The City of Sanibel's Land Development Code (LDC) also utilizes the term Town Center to define the Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts (See Figure 6 included as part of Attachment 4) which include properties along Periwinkle Way, west of Dunlop Road, and Palm Ridge and Tarpon Bay Roads.

Finally, the term Town Center has also been applied to the Nave property by a recent real estate marketing campaign and a preliminary mixed residential, commercial and retail redevelopment concept plan prepared by Town Center of Tomorrow, Inc.

For the purposes of this report, the term Town Center is utilized to describe the redevelopment planning focus area which includes the following properties and land uses: Historical Museum and Village; Big Arts; City Hall; Sanibel Library; Schoolhouse Theater; Sanibel Community Association (SCA); recently completed Community Park; St. Michael's Church; and the Nave property. The enclosed Figure 2 defines the location of the Town Center redevelopment planning focus area.

#### **Profile of the Town Center Focus Area**

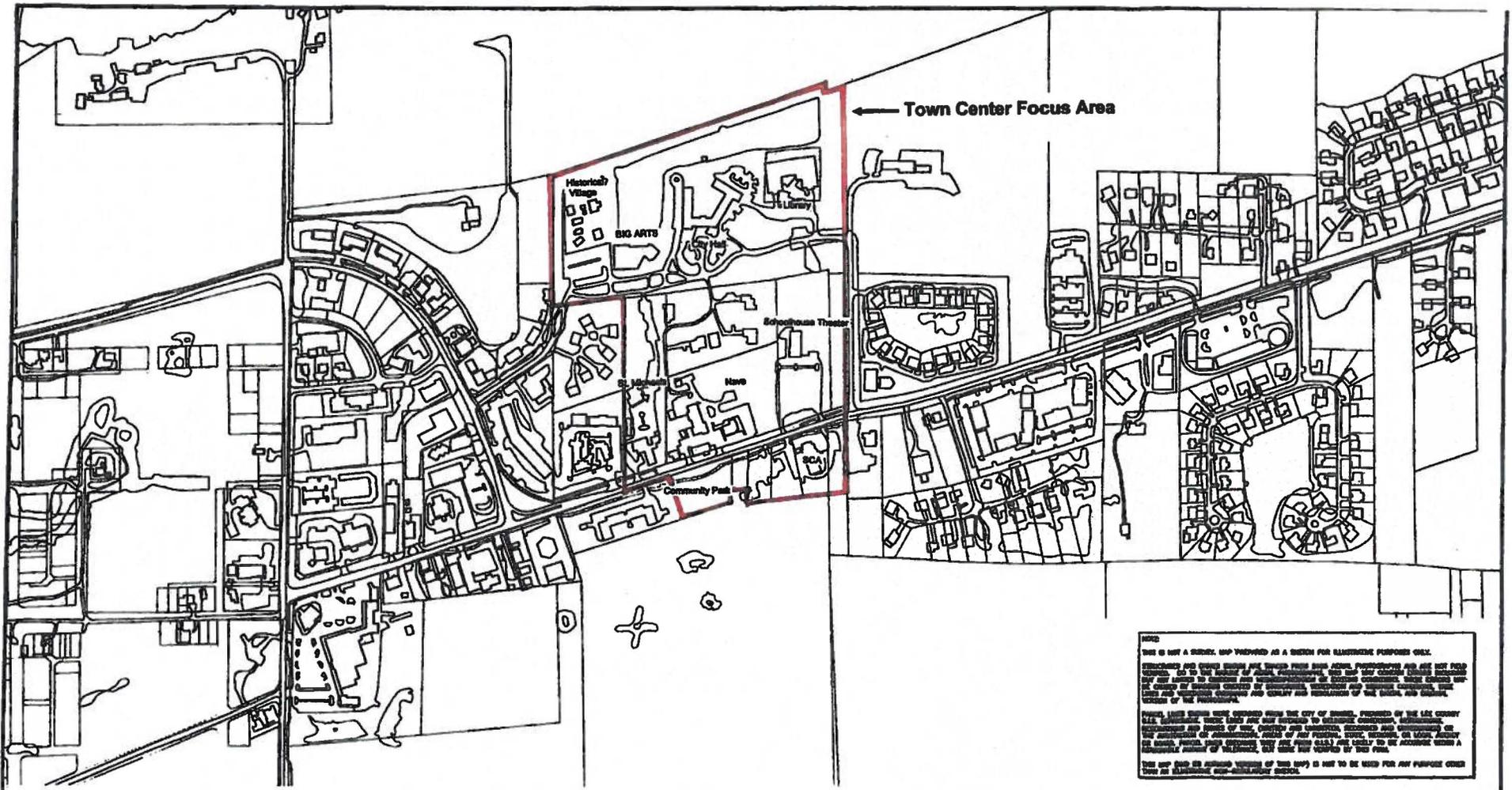
The Town Center redevelopment planning focus area is centered around the approximate 9.7<sup>1</sup> acre Nave property which is currently developed with approximately 16,891sq. ft.<sup>1</sup> of commercial (retail, restaurant, office and service uses) floor area and three single family residential units. Only 5.4<sup>1</sup> acres of the Nave property fronting on Periwinkle Way are zoned for Town Center General (TCG) commercial development.

The Nave property is surrounded by Sanibel's centrally located civic, cultural, historic, recreational and governmental facilities which together comprise approximately 45 acres. The proximity and concentration of these existing uses and facilities, as defined by the accompanying aerial photograph (See Figure 3), is unique to Sanibel and, together with the Nave property, present a unique opportunity for coordinated short and long term redevelopment planning.

Please consult the Phase I: Existing Conditions, Opportunities and Constraints report prepared by Wallace Roberts & Todd, LLC for additional information regarding the Town Center focus area.

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<sup>1</sup>Total acreage and leasable square feet defined by Appraisal Report prepared by Carlson Norris and Associates, Inc., April 14, 2006.



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**TOWN CENTER FOCUS AREA  
 Periwinkle Way West District Plan**

**PERIWINKLE WAY, PALM RIDGE ROAD, TARPON BAY ROAD  
 AND DUNLOP ROAD**

**NOT TO SCALE**

COMPILED BY:  
 Dean, Whitaker, Lutz & Korsch, Inc. 682010  
 ENGINEERS-SURVEYORS-PLANNERS  
 12045 WASHINGTON BOULEVARD, WEST PALM BEACH, FLORIDA 33411-2040  
 (561) 871-1520

**FIGURE 2**



**Figure 3**

**Aerial Photograph of Town Center Focus Area  
Existing Conditions, Uses and Facilities**



A more detailed profile and a summary analysis of the current conditions and relevant provisions of the Land Development Code that pertain to future private redevelopment of the Nave property located at 2240 Periwinkle Way (Tax Parcel No. 26-46-22-T2-00009.0000) is provided by Attachment 3 (See Table 1 and Figures 4 and 5) of this report.

**Redevelopment Planning Principle and Policies**

On February 5, 2008, City Council approved the following statement of principle related to future private redevelopment of the Nave property which is centrally located within the Town Center focus area:

*“The Sanibel Plan commits to a Town Center and a hierarchy of needs to preserve the scarce natural systems and spaces in commercial areas and Council expresses in principle the willingness to work with the seller and buyers of the Nave property to look at the possibility of paths, pocket parks and conservation areas that would connect with cultural institutions and businesses within the existing permitted density.”*

The following redevelopment planning policies have been prepared to support the adopted Sanibel Plan and City Council's approved Town Center (See Figure 2) redevelopment planning principle which is intended to guide private redevelopment of the Nave property consistent with the current Land Development Code and in a fully integrated and coordinated manner with the surrounding civic, cultural, recreation and historic uses and facilities.

**1. Preserve, Restore and Connect with Environmentally Sensitive Lands**

- 1.1 Preservation of the unique environmental characteristics associated with each of the properties within the Town Center (See Figure 2) focus area and the incorporation of additional green space, particularly within the commercially zoned area of the Nave property, must be a priority.
- 1.2 Future redevelopment and improvements should employ site planning and design strategies consistent with the Sanibel Plan and Land Development Code that will preserve, restore and connect with surrounding environmentally sensitive lands and wildlife habitat.

**2. Maintain, Integrate and Improve Public Spaces**

- 2.1 The wide range of public spaces within the Town Center focus area (See Figure 2), which consist of roads, shared use paths, sidewalks, walkways and open spaces, should be maintained, integrated and improved to provide a unified network that supports and invites public interaction and pedestrian connections both during the daytime and evening.
- 2.2 Consistent with the adopted Recreation and Open Space element of the Sanibel Plan (See Attachment 1) and the Parks and Recreation System Master Plan (See Attachment 2), the feasibility of creating a centrally located open space or spaces should be considered as a focal point and key organizing design and site planning element as part of the future redevelopment of the Nave property. The open space or spaces will serve a wide range of activities and be integrally connected with the adjoining civic, cultural, recreational, historic, residential and commercial uses and facilities.

**3. Enhance and Expand Pedestrian and Bicycle Accessibility**

- 3.1 Enhance and expand pedestrian and bicycle accessibility and connectivity between existing and future civic, cultural, recreation, governmental, residential and commercial uses through both private and public strategies and partnerships that

focus on: internal connections that link properties, land uses and facilities; and along the Dunlop Road and Periwinkle Way right-of-ways consistent with the updated Shared Use Path Master Plan.

- 3.2 Maintain, improve and expand pedestrian and bicycle connections between the Town Center (See Figure 2), Palm Ridge and Tarpon Bay focus areas as well as with other commercial districts and properties in order to achieve the goals, policies and recommendations of the Sanibel Plan and the Shared Use Path Master Plan to insure Sanibel “will be a walkable and bikeable community.”

#### **4. Provide Opportunities for Shared Parking**

- 4.1 Future redevelopment plans within the Town Center (See Figure 2) focus area should introduce opportunities to: minimize lot area coverage dedicated to off-street parking; provide for reduced impermeable surfaces; eliminate multiple vehicular trips that contribute to congestion; encourage pedestrian and bicycle activity and connectivity; and enable cross access and parking agreements, where appropriate, that will enable the shared use of the 460 existing parking spaces located today within the focus area.
- 4.2 Shared parking plans that recognize varying parking demands associated with existing and future permitted land uses should be developed for consideration by the Planning Commission pursuant to Land Development Code, Chapter 126. Article XVI. Off-Street Parking and Loading.

#### **5. Continue to Introduce Parking Management Strategies**

- 5.1 The City of Sanibel, property owners and facility managers of both existing and future private, public, civic, cultural, recreation and historic properties within the Town Center (See Figure 2) focus area should continue to work in partnership to implement joint parking management strategies that maximize utilization of the daytime, evening, seasonal and off-seasonal parking supply.

#### **6. Support Seasonal Special Events and Provide Safe and Efficient Pedestrian and Vehicular Access and Off-Street Parking**

- 6.1 The Town Center (See Figure 2) focus area will continue to be Sanibel’s primary location for staging special events that are enjoyed by Island residents and visitors. Efforts to develop and manage special event parking will continue to be a high priority to insure pedestrian accessibility and safety and to minimize traffic congestion and unnecessary vehicular circulation.

**7. Retain and Support Island Serving Commercial Uses**

- 7.1 The City is committed to the retention, start-up and successful operation of independent and island serving businesses and entrepreneurs that are essential to the character and quality of life on Sanibel.
- 7.2 The Town Center (See Figure 2) focus area and surrounding Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts (See Attachment 4) will continue to be, as recommended by the Sanibel Plan, the primary location for retaining and supporting Island serving commercial uses.
- 7.3 Future Island serving commercial redevelopment within the Town Center (See Figure 2) focus area shall be consistent with: Section 3.6.2. Future Land Use Element of the Sanibel Plan; Land Development Code Chapter 126, Zoning, Article VIII. Commercial Districts, Division 3. TCG Town Center General Commercial District (See Attachment 4).
- 7.4 In order to maintain Sanibel's environmentally based economy, community character and unique composition of Island serving commercial land uses, the introduction of new formula retail uses shall not be permitted unless conditional use approval is granted by City Council pursuant to Land Development Code, Sec. 126-102. Formula Retail Stores.
- 7.5 As defined by the Sanibel Plan and Land Development Code, Chapter 126. Zoning, Article XIV. Supplementary District Regulations, Division 5. Commercial Uses Generally (See Attachment 4), future commercial redevelopment shall be designed to insure compatibility with standards that address: commercial unit size; maximum building size; economic and traffic impacts; maximum street frontage; architectural character and site planning standards and guidelines; and compatibility with wildlife habitat, conservation areas and residential land uses.
- 7.6 The total permitted commercial floor area (Floor Area Ratio (FAR)) within the Town Center General (TCG) commercially zoned portion of the Nave property shall not exceed 12% as defined by Land Development Code, Chapter 126. Zoning. Article VIII. Commercial Districts, Division. TCG Town Center General Commercial District (See Attachments 3 and 4).

**8. Support Mixed Use Site Plans and Structures Consistent with the Sanibel Plan and Land Development Code**

- 8.1 Mixed use structures consisting of commercial space, market rate and/or below market rate housing shall be consistent with Land Development Code, Chapter 126,

Conditional Uses, Sec. 126-87 Combined Commercial and Residential Development and Chapter 86. Development Standards, Sec. 86-1. Combined residential and commercial development.

**9. Residential Densities within the Town Center Focus Area shall be Consistent with the Sanibel Plan and Land Development Code.**

9.1 Maintain the existing permitted residential density pursuant to the adopted Sanibel Plan and consistent with Land Development Code, Chapter 86. Development Standards, Article III. Residential, Division 2. Density and Chapter 126, Sec. 126-976 which stipulate that the maximum number of dwelling units permitted on a lot or parcel which consists of areas having different residential densities shall be the total of the dwelling units permitted by those areas (See Attachment 5).

**10. Below Market Rate Housing**

10.1 A total of 26 Below Market Rate Housing (BMRH) units have been developed to date within the Periwinkle Way West Commercial District planning area. The Sanibel Plan envisions that, at build out, BMRH housing will be available to 3% (104 Dwelling Units) of the Island's residential households. BMRH opportunities should continue to be distributed Island-wide and not concentrated within any one area of Sanibel, including the Town Center (See Figure 2) focus area.

10.2 Future opportunities for the addition of BMRH within the Periwinkle Way West District will conform to the provisions of the Land Development Code, Chapter 102. Housing, Article II. Below Market Rate Housing.

**11. Improvement and Expansion of the Town Center's Civic and Cultural Facilities.**

11.1 The City will continue to work in partnership to define short and long term strategies and opportunities for maintaining, integrating, improving and expanding, as warranted, BIG ARTS, Sanibel Library, Schoolhouse Theater, Historic Museum and Village, SCA and Senior Center facilities which together form the civic and cultural center of Sanibel.

11.2 The Town Center (See Figure 2) focus area's civic, cultural, historic and recreational facilities shall be reinforced by plans for maintaining, managing and improving public spaces, pedestrian connections, shared use paths and parking facilities.

- 11.3 Opportunities to provide joint programming and utilization of existing civic, cultural and related facilities within the Town Center (See Figure 2) focus area should continue to be a high priority.
- 12. Future Town Center Redevelopment shall be Consistent with the City's adopted Architectural Design and Site Planning Standards and Guidelines.**
- 12.1 Future improvements, construction and site planning within the Town Center (See Figure 2) focus area shall be consistent with the specific design, architectural, and landscape architectural design and site planning standards and guidelines adopted for the Town Center General (TCG) Commercial Zoning District pursuant to Land Development Code, Chapter 126. Zoning. Sec. 126-1028 and 1029.
- 12.2 Architectural standards and guidelines shall encourage future improvements, additions and alterations within the Town Center (See Figure 2) focus area to employ green building design and infrastructure features, energy efficiency, and climate and weather resistant materials and construction techniques.

L:rjd:Town Cntr Profile and Red Objec 3 08 Revised 3 27 08

**ATTACHMENT 1**

**Sanibel Plan**

**Section 3.3.7. Recreation and Open Space Element**

**Section 3.6.2. Future Land Use Element**

## **ATTACHMENT 1**

### **Sanibel Plan**

#### **Section 3.3.7. Recreation and Open Space Element**

#### **Section 3.6.2. Future Land Use Element**

Supporting City Council's approved Town Center redevelopment planning principal and policies are the following recommendations from the Sanibel Plan's Section 3.3.7 Recreation and Open Space Element and Section 3.6.2 Future Land Use Element.

#### **Section 3.3.7. Recreation and Open Space Element**

##### **Plan for Recreation and Open Space (Page 158)**

The components of the City's Plan for Recreation and Open Space (See Attachment 2) are as follows

15 .Consider development of an area to serve as a focal point for community activity, special events and informal assembly.

#### **Section 3.6.2. Future Land Use Element**

##### **Background Discussion (Page 223)**

The development of the Periwinkle Way West Commercial District Master Plan, including the Palm Ridge Area, called for in the Plan for Commercial Development will be included as part of the City's Redevelopment Planning Work Program.

##### **Background Discussion (Page 224)**

The community's interest in the development of a Town Center/Town Square, considered in the Plan for Community Design, has evolved. The *Master Parks and Recreation Plan* recognizes the community benefit in providing a place to serve as a focal point for community activity, special events and informal assembly. Implementation of the *Master Parks and Recreation Plan* is a major issue in the 2004/2005 Evaluation and Appraisal Report of the *Sanibel Plan*.

##### **Commercial Development (Page 232)**

Further retail development should be discouraged on Periwinkle Way and encouraged in the Town Center District (the Palm Ridge area) because of the latter area's relatively good access from Periwinkle Way, Palm Ridge Road and Tarpon Bay Road, and because it is the geographical center of the Island. Development regulations designed for the Town Center and Palm Ridge area should provide incentives to combine substandard (smaller) lots and to promote commercial development that primarily serves the needs of residents. In addition, the City's Redevelopment Planning Work Program will include the preparation of specific district plans for the commercially zoned areas along Periwinkle Way, including a plan for the Town Center and Palm Ridge Road area.

##### **Plan for Preservation and Community Design (Page 239)**

Consider development of a specific district plan for the Periwinkle Way West Commercial District, including the Palm Ridge area, which will include strategies to improve and integrate City Hall and the surrounding civic, cultural and recreational uses to serve as a focal point for community activity, special events and informal assembly.

**ATTACHMENT 2**  
**City of Sanibel**  
**Parks and Recreation System**  
**Master Plan**



**ATTACHMENT 3**

**Detailed Profile and Summary of  
Land Development Code  
Requirements and Zoning  
Analysis for the Nave Property**

**Table 1**  
**Detailed Profile and Summary of Land Development code**  
**Requirements and Zoning Analysis for the Nave Property**

**A. EXISTING CONDITIONS<sup>1</sup>:**

|   |   |
|---|---|
| <b>1. Parcel Size</b>   | 9.7 Acres   |
| <b>2. Ecological Zones</b>  | Lowland Wetlands; Upland Wetlands and Mid Island Ridge  |
| <b>3. Development Intensity (Figure 4)</b><br><i>(See LDC Section 126-976 Applicability of regs. to parcels ... w/ varying residential densities)</i> | 4.0 DUs/Ac or 1 DUs/.25 Acres<br>2.2 Dus/Ac or 1 DUs/.45 Acres<br>0.3 Dus/Ac or 1 DUs/3.34 Acres  |
| <b>4. Existing Land Uses (Figure 5)</b><br>Residential<br>Commercial (Sanibel Square Center)  | 3 Single Family Residential Units<br>16,891sf Commercial Floor Area   |
| <b>4. Commercial Zones</b><br><i>(See Attachment 4)</i>   | Town Center General (TCG)<br>5.4 Acres @ 12% Floor Area Ratio   |
| <b>6. Permitted Land Uses</b><br>Residential<br><i>(See Attachment 5)</i>   | Single Family and Two Family<br>Multi-Family (w/in 400' of Periwinkle not in Lowlands)<br>Cluster Housing (See LDC Section 86; Art III; Div 3)<br>Below Market Rate Housing (See LDC Chapter 102) |
| Commercial (See LDC Ch 126; Art VIII)<br><i>(See Attachment 4)</i>  | All Permitted Commercial Uses<br>(LDC Article VIII, division 3)   |

**B. PERMITTED DEVELOPMENT**

|  |  |
|--|--|
| <b>1. Residential<sup>2</sup> (See Figure 4)</b><br>4.0 Acres @ 4.0 Dus/Acre<br>2.9 Acres @ 2.2 DUs/Ac<br>2.6 Acres @ 0.3 DUs/Ac<br><b>Total (See LDC Section 126-976)<sup>3</sup></b> | 16 Dwelling Units<br>6.4 Dwelling Units<br>0.8 Dwelling Units<br><b>23 Dwelling Units</b>  |
| <b>2. Commercial</b><br><i>(See Attachment 4)</i>  | <b>28,000sf of Commercial Floor Area</b><br><i>(See LDC Ch 126; Art VIII Permitted &amp; Conditional Uses)</i>   |
| <b>3. Combined Residential &amp; Commercial<sup>3</sup></b><br><i>(Conditional Use - See LDC Section 126.87)</i>   | 1 Du, in addition to the 4 Dus permitted outside the TCG District, can be developed for every 1,000sf reduction of permitted com. floor area (not to exceed the total of 23 Dus for the entire 9.5 acre parcel). Ergo:<br><b>23 Dus &amp; 9,000sf of Com. Floor Area</b><br>to<br><b>5 Dus &amp; 27,000sf of Com. Floor Area</b> |

<sup>1</sup> Total acreage and leasable square feet defined by Appraisal Report prepared by Carlson Norris and Associates, Inc., April 14, 2006.

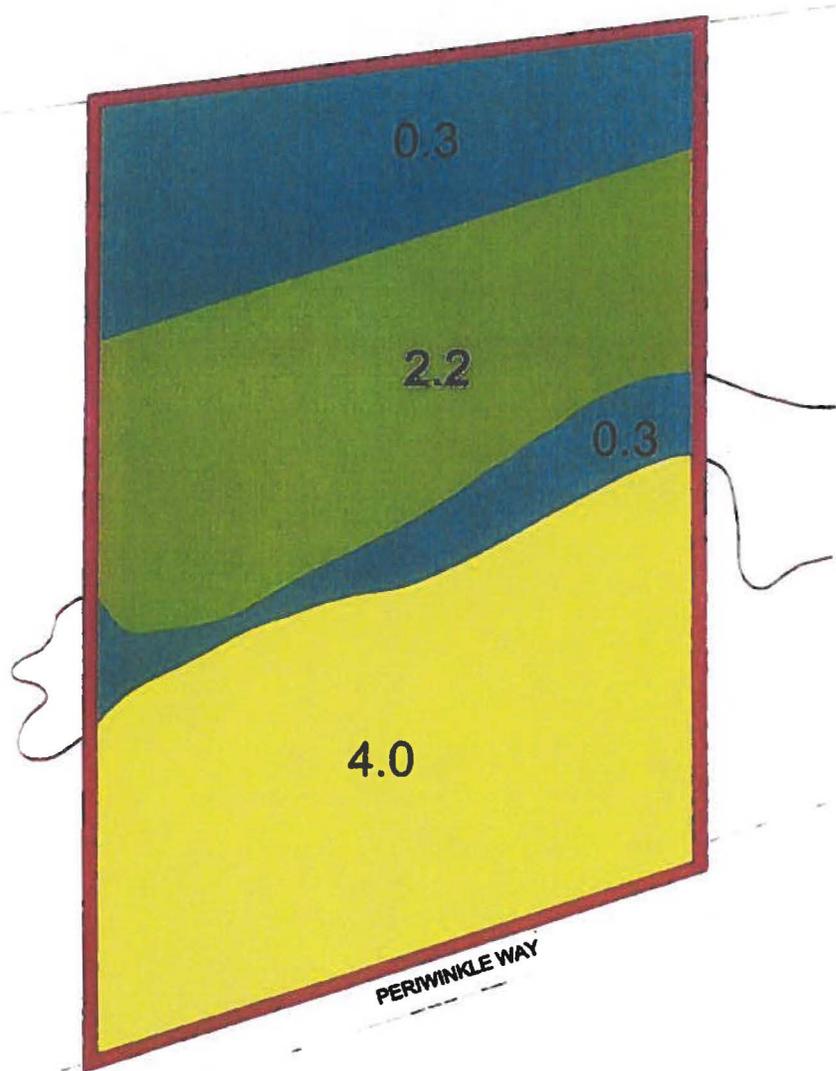
<sup>2</sup> Based on the analysis completed by bean, Whitaker, Lutz & Kareh, Inc. (December 2007)

<sup>3</sup> Survey and site plan required for computation of specific permitted residential density and commercial floor area.

**9.5± acre Periwinkle Way Parcel  
Focus Area A**

**Periwinkle Way West  
Commercial District Plan**

north side of road between Dunlop Road and Palm Ridge Road



**LEGEND**

- 0.3 1 D.U. 3.34 ACRES
- 2.2 1 D.U. PER 0.45 ACRES
- 4.0 1 D.U. PER 0.25 ACRES

PARCEL AREAS ARE FROM  
LEE COUNTY GRAPHIC TAX MAPS.  
SURVEY REQUIRED FOR ACCURATE ACREAGE

**DEVELOPMENT INTENSITY**

4.0 ACRES AT 4.0 D.U./ACRE = 16.0 UNITS  
PLUS (+)  
2.9 ACRES AT 2.2 D.U./ACRE = 6.4 UNITS  
PLUS (+)  
2.6 ACRES AT 0.3 D.U./ACRE = 0.8 UNITS  
EQUALS (=)  
TOTAL 23.2 UNITS  
MAXIMUM PERMITTED NUMBER OF UNITS

**FIGURE 4**

**Figure 5**

**Aerial Photograph of Havo Property  
Existing Conditions, Uses and Facilities**

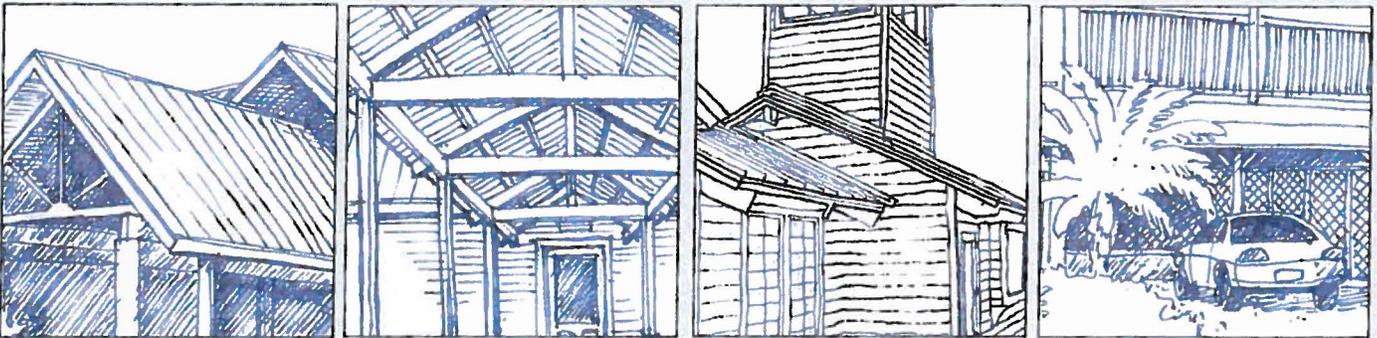


**ATTACHMENT 4**

**Summary of Current Commercial  
Land Use Regulations  
By Commercial District**

## **EXHIBIT-A**

# **ARCHITECTURAL and SITE PLANNING DESIGN STANDARDS and GUIDELINES for TOWN CENTER GENERAL (TCG) and TOWN CENTER LIMITED (TCL) COMMERCIAL ZONING DISTRICTS**



Planning Commission Resolution No. 08-11, June 10, 2008  
City Council Resolution No. 08-080, July 15, 2008

*July 2008*



# City of Sanibel



## **City of Sanibel**

### **City Council**

Mick Denham, Mayor  
Kevin Ruane, Vice Mayor  
Carla Brooks Johnston  
Jim Jennings  
Peter Pappas

### **Planning Commission**

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Tom Krekel  
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Patricia Sprankle

### **City Manager**

Judie Zimomra

### **Planning Director**

Robert J. Duffy, AICP

### **Consultant**

Wallace Roberts & Todd, LLC.

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**PART I: INTRODUCTION**



## **PART I: INTRODUCTION**

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On July 15, 2008, Sanibel City Council adopted (Resolution No. 08-080) the following architectural and site planning design guidelines to assist with the administration and interpretation of the Land Development Code's Town Center General (TCG) and Town Center Limited (TCL) commercial zoning regulations.

The purpose of the architectural and site planning design guidelines is as follows:

- To further implement the Sanibel Plan, including the adopted Vision Statement (Part II A.) and the goals, objectives and polices for commercial development (Part II B.);
- To sustain and restore the natural and built environment that is uniquely Sanibel;
- To preserve and improve the overall design character of the community;
- To recognize and reinforce the unique physical and environmental qualities that characterize the properties within the Town Center commercial zoning districts;
- To maintain and enhance property values within the overall community and the Town Center commercial districts; and
- To provide an illustrated guide to the architectural and site planning standards for property owners and businesses considering improvements within the Town Center commercial districts.

The following figure on page 9 illustrates the boundaries for the Town Center General (TCG) and Town Center Limited (TCL) commercial zoning districts. The figure also defines the relationship between the TCG and TCL commercial districts and the underlying ecological zones defined in the Sanibel Plan and Land Development Code.

Specifically, the establishment of the Town Center architectural and site planning design guidelines is enabled by Sec. 126-1028 (g) Architectural standards and 126-1029 (f) Site planning standards of the City of Sanibel's Land Development Code. The standards and supporting guidelines apply to the following: construction of new commercial buildings; redevelopment of existing commercial buildings and sites; and major improvements to the exterior of existing commercial buildings. The guidelines do not apply to interior renovations. The reader should consult with the City of Sanibel's Planning Department regarding commercial development and improvements and the application of the Land Development Code's regulations, standards and guidelines.

The following document is organized into five sections that form a guide to assist property owners, architects and contractors with the interpretation and application of the City of Sanibel's Architectural and Site Planning Design Standards adopted as part of the City's TCG and TCL commercial zoning districts.

Part II of this document includes the Sanibel Vision Statement and excerpts from the Sanibel Plan that

## PART I: INTRODUCTION

state the Goals, Objectives and Policies pertaining to commercial development. These provide an important context within which this guide has been developed.

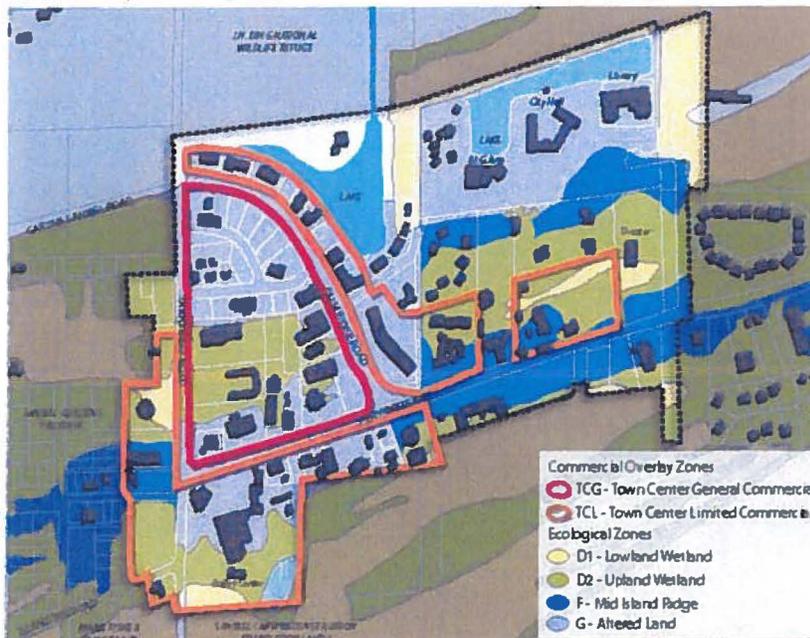
Part III of the guide defines prominent architectural characteristics that together contribute to Sanibel's "Island Styles". While architectural styles are not mandated by the Land Development Code, this guide defines for prospective owners, designers and builders the important architectural and site planning elements that plans and development permit applications for commercial development or redevelopment should address in order to conform with the unique character and quality of Sanibel.

Part IV of the guide provides an introduction and overview of green and sustainable design features and how those features may be implemented dur-

ing commercial development or redevelopment consistent with the TCG and TCL Architectural and Site Planning Design Standards and Guidelines. The design standards and guidelines address energy efficiency, water quality and conservation, site and environmental features, construction materials and techniques and weather and climate.

Parts V and VI of the guide include text and illustrations that convey the intent of the Architectural and Site Planning Design Standards. For ease of use, the full text of the Standards, excerpted from the Land Development Code, are included on the first page of each of these sections.

It is important that the reader also review the Land Development Code, as there are other requirements that will also affect future land development and construction.



*Town Center General and Town Center Limited Zoning Districts*

**PART II: SANIBEL PLAN**



## PART II: SANIBEL PLAN

---

***The following Vision Statement and Goals, Objectives and Policies for commercial development have been adopted as part of the Sanibel Plan.***

### **A. Vision Statement**

#### **Background**

The barrier island of Sanibel comprises a wide variety of natural and altered environments. The community of Sanibel strives to sustain ecological balance and preserve and restore natural settings for residents, visitors, and wildlife. The people of Sanibel are sustained by the beauty and health of the island's natural and restored habitats, and they rely on the coordinated vigilance of residents, government, and private enterprise to protect and enhance these habitats. Over the first two decades of the community's existence as a city, a tenuous balance has been maintained between development and preservation; and between regulatory control and the rights and privileges of individuals. Government and not-for-profit institutions have helped sustain the balance by purchasing and restoring to natural conditions substantial areas of open space and threatened habitats.

Limited new development and redevelopment will occur over the next twenty years. However, growth limits and locations are well established, as are regulations to minimize harm to the natural environment and to the community's character.

The specter of rampant development has diminished as the community has matured. Nevertheless, unwanted changes are occurring; visitation increases as new "attractions" are developed; beaches and refuge

areas are becoming stressed by overuse; traffic congestion is turning to gridlock; and formerly "green" scenic corridors are becoming urbanized and commercialized. These and other conditions and trends cause residents to realize that, unless protected, their island's historic and cherished way of life is in jeopardy.

To provide a sense of direction for the future, this Vision Statement is a confirmation of the community's shared values and goals, to guide future decisions.

#### **Sanctuary**

Sanibel is and shall remain a barrier island sanctuary, one in which a diverse population lives in harmony with the island's wildlife and natural habitats. The Sanibel community must be vigilant in the protection and enhancement of its sanctuary characteristics.

The City of Sanibel will resist pressures to accommodate increased development and redevelopment that is inconsistent with the Sanibel Plan, including this Vision Statement.

The City of Sanibel will guard against and, where advisable, oppose human activities in other jurisdictions that might harm the island's sensitive habitats, including the island's surrounding aquatic ecosystems.

## PART II: SANIBEL PLAN

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### **Community**

Sanibel is and shall remain a small town community whose members choose to live in harmony with one another and with nature; creating a human settlement distinguished by its diversity, beauty, uniqueness, character and stewardship.

*Diversity:* The City of Sanibel cherishes its cultural, social, ecological, and economic diversity, and will endeavor to maintain it.

*Beauty:* The City of Sanibel will foster quality, harmony and beauty in all forms of human alteration of the environment. The community aesthetic is defined as a casual style; one which is adapted to a relaxed island quality of life and respectful of local history, weather, culture and natural systems.

*Uniqueness:* The City of Sanibel chooses to remain unique through a development pattern which reflects the predominance of natural conditions and characteristics over human intrusions. All forms of development and redevelopment will preserve the community's unique small town identity.

*Character:* The City of Sanibel chooses to preserve its rural character in its setting within an urbanizing county. "Auto-urban" development influences will be avoided. The commercialization of natural resources will be limited and strictly controlled.

*Stewardship:* In keeping with the foregoing principles, the City of Sanibel affirms a land ethic that recognizes landholding--both public and private--as a form of stewardship, involving responsibilities to the human and natural communities of the island and its surroundings, and to future generations.

### **Attraction**

The Sanibel community recognizes that its attractiveness to visitors is due to the island's quality as sanctuary and as community. The City of Sanibel will welcome visitors who are drawn by, and are respectful of, these qualities; it will resist pressures to accommodate visitor attractions and activities that compromise these qualities.

### **Hierarchy of Values**

This three-part statement of the community's vision of its future is a hierarchy; one in which the dominant principle is Sanibel's sanctuary quality. Sanibel shall be developed as a community only to the extent to which it retains and embraces this quality of sanctuary. Sanibel will serve as attraction only to the extent to which it retains its desired qualities as sanctuary and community.

## PART II: SANIBEL PLAN

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### **B. Goals, Objectives and Policies for Commercial Development:**

#### PLAN FOR COMMERCIAL DEVELOPMENT:

The City desires to retain and improve the historical and visual character of the Commercial Sector.

Implement development standards which assure commercial structures do not employ what is often referred to as "cookie-cutter" architecture and do employ architecture that contributes to the maintenance of historic, visual, scenic and architectural character of the Commercial Sector of the community.

Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.

Commercial buildings shall not appear monolithic.

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and recognize and respect local character and site conditions.

Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses.

#### GOAL STATEMENT A:

The three-part statement of the community's vision of its future is a hierarchy; one in which the dominant principle is Sanibel's sanctuary quality. Sanibel shall be developed as a community only to the extent to which it retains and embraces this quality of sanctuary. Sanibel will serve as attraction only to the extent to which it retains its desired qualities as sanctuary and community.

#### Objective A1:

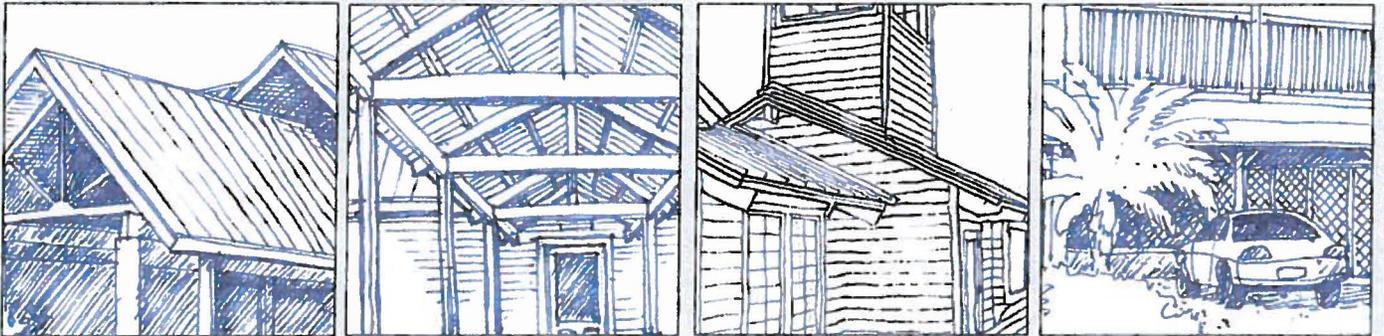
Sanibel is and shall remain a small town.

Policy A1.1. The City of Sanibel will foster quality, harmony and beauty in all forms of human alteration of the environment. The community aesthetic is defined as a casual style; one which is adapted to a relaxed island quality of life and respectful of local history, weather, culture and natural systems.

Policy A1.2. The City of Sanibel chooses to remain unique through a development pattern that reflects the predominance of natural conditions and characteristics over human intrusions. All forms of development and redevelopment will preserve the community's unique small town identity.

Policy A1.3. The City of Sanibel chooses to preserve its rural character. "Auto-urban" development influences will be avoided. The commercialization of natural resources will be limited and strictly controlled.

### PART III: ISLAND STYLES



## PART III: ISLAND STYLES

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### B. Island style

While there currently exists a diversity of building styles represented among commercial buildings within the TCG and TCL commercial zoning districts, there are some buildings that more successfully represent the “community aesthetic,” or what could be thought of as Sanibel’s “Island Style.” A review of the more successful examples results in the identification of four subcategories, or sub-styles, that together contribute to Sanibel’s “Island Style.” The sub-styles identified include Old Florida, Island Eclectic, Island Contemporary and Caribbean.

Conformance with specific architectural styles is not required by Sanibel’s Land Development Code. However they are illustrative of the overall characteristics that are considered compatible with the term “Island Style,” and inform the illustrations of the architectural and site design standards and guidelines included in this document. In keeping with the islands “rural” character, the buildings are typically smaller in stature and understated in design.

An attribute of all of these styles is their compatibility with issues of “sustainability,” or “green architecture” (See Part IV Green and Sustainable Design). For example, pronounced roof overhangs shade walls and open spaces below, providing natural cooling; sloped roofs perform better in hurricanes and can accommodate a natural ventilation space between the hot sun and living spaces below, and light colored roofs reflect the sun’s heat. When these building elements are combined with native plant species for landscaping, buildings and nature co-exist in harmony.



*A number of buildings on Sanibel represent the “Old Florida” style.*

## PART III: ISLAND STYLES

### Old Florida

The “Old Florida” style is best exemplified by a number of commercial buildings along Periwinkle Way, including buildings designated as local historic landmarks within the Historic Sanibel Village. These buildings were generally constructed of wood and designed with substantial operable windows, overhangs and porches to take advantage of island breezes for natural cooling. Character-defining elements of this style include:

- Wood frame construction with horizontal lap siding.
- Metal standing-seam, hip and gable roofs with slopes generally in the range of 3:12 to 12:12.
- Operable double hung windows with functioning shutters.
- Substantial roof overhangs with exposed rafters.
- Porches with slender, simple columns.
- Railings are made of wood with slender turned or square spindles.
- Color scheme is usually white which helps to reflect the sun’s heat.



*Building at the Historic Sanibel Village.*



*Commercial building reflecting the Old Florida Style.*



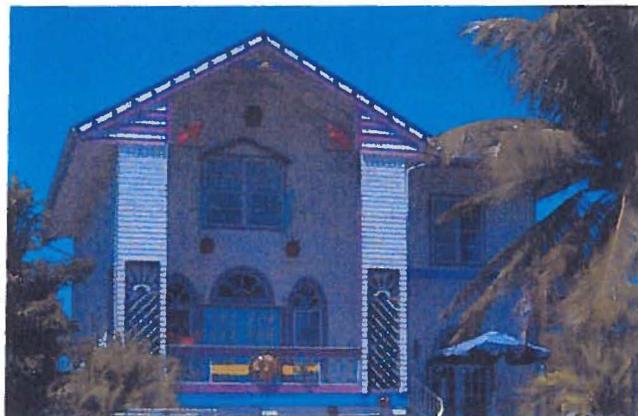
*Building on Periwinkle Way reflecting the Old Florida Style.*

## PART III: ISLAND STYLES

### Island Eclectic

The Island Eclectic style can be seen as an embellished, more playful version of the Old Florida style. The style reflects the casual lifestyle and natural setting of the island. It is colorful and playful, featuring whimsical decorative elements that often incorporate a seaside, beach theme. Character-defining elements include the following:

- Wood frame construction with horizontal lap siding.
- Playful, decorative elements used in railings, entrance features, and architectural details.
- Hip and gable roofs with slopes generally in the range of 3:12 to 12:12. Roof materials include standing seam and asphalt shingle.
- Porches with slender columns, sometimes with decorative elements included.
- Railings can be similar to Old Florida style, or more decorative incorporating various island motifs (e.g., sun, beach, tropical flora).
- Operable double hung windows.
- Multi-colored, bright paint schemes.



*Playful decorative elements are one aspect of Eclectic Island Style.*



*Porches and decorative furniture reflect the Island Eclectic Style.*



*Railings can incorporate decorative elements.*

## PART III: ISLAND STYLES

### Island Contemporary

The Island Contemporary style is a more modern variation of Florida vernacular architecture. The style incorporates some elements of the old style, particularly regarding roof forms, but utilizes more modern construction techniques including concrete and steel structural frames, simple wood elements and more modern window treatments. This style also emphasizes environmental design features that take advantage of the climate and natural landscape features. Character-defining elements include:

- Modern construction materials and techniques including use of concrete, steel and wood with more modern detailing.
- Hip and gable roofs with low to moderate roof slopes. Roof materials include standing seam and asphalt shingles.
- More variations in window types which can include larger glass areas within, casement, awning, jalousie, and double hung windows.
- Environmentally sensitive design elements such as porches, shading devices, operable windows and solar panels.
- Railings are of a simple, more modern design in wood or metal.
- Color schemes are generally more muted, featuring warm grays, subdued greens and earth tones.



*Modern Construction materials are typical of the Island Contemporary Style.*



*Subdued color schemes are generally part of the Island Contemporary Style.*



*More variation in window types characterize the Island Contemporary Style.*

## PART III: ISLAND STYLES

### Caribbean Style

The Caribbean style is indicative of architecture found in many places, including South Florida, the Caribbean and Mediterranean countries. In form and scale it is similar to the other identified island styles, but has other attributes that differentiate it from the "Florida styles." Character-defining elements include:

- Exterior walls can be stucco or painted wood siding.
- Functioning shutters, which can be "Bahama" style (hinged in the top), or traditional vertically hinged units.
- Roof forms can be hip or gable, with metal, shingle or concrete tile roof coverings.
- Railings are light in appearance and can be wood or metal.
- Typically features wood and steel columns of slender design and simple articulation. Concrete columns with stucco finish can also be utilized on the first floor of the structure.
- Color schemes feature pastel colored walls, usually with white trim.

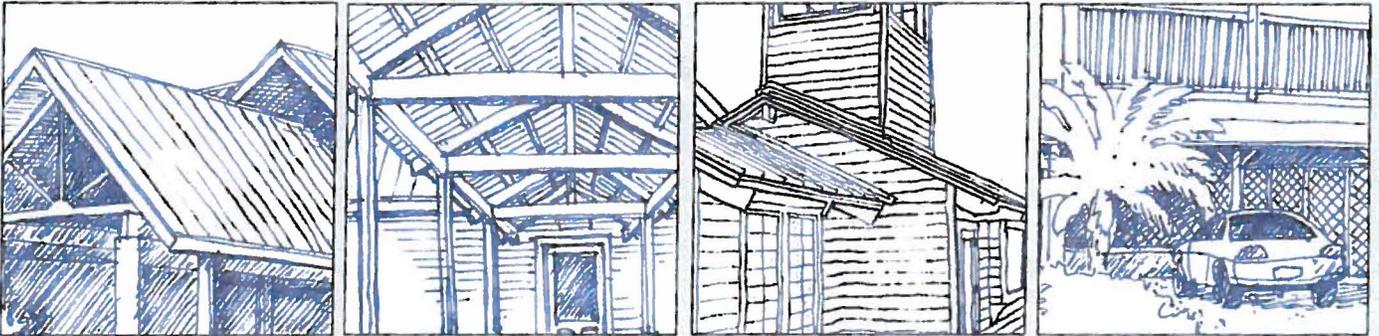


*Bahamian shutters and clean stucco walls identify the Caribbean Style.*



*Various roof forms, along with light metal railings evoke the Caribbean Style.*

## PART IV: GREEN AND SUSTAINABLE DESIGN



## PART IV: GREEN AND SUSTAINABLE DESIGN

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Green and sustainable design is a principal that is directly aligned with Sanibel's Vision Statement and the Sanibel Plan, which emphasizes that new development "minimize harm to the natural environment and to the community's character", and Sanibel's intent to "remain a barrier island sanctuary, one in which a diverse population lives in harmony with the island's wildlife and natural habitats."

### **What is sustainable or "green" building?**

Green building is a term often used today to describe development that incorporates environmentally-based design features that improve the relative sustainability of a particular project. Green building principles can be applied to new construction— including commercial, institutional and residential as well as renovations.

Communities in Florida and across the country are beginning to apply green design principles in new construction. One way to accomplish this is to use one of the several established sets of design standards for measuring "green" building. The following are references to several accepted standards that the reader may consult for more information regarding specific design features and their application.

### **United States Green Building Council LEED Standard.**

Foremost among the various standards today is the Leadership in Energy and Environmental Design (LEED) standard developed by the United States Green Building Council. Different LEED standards

have been developed for various type of construction including: new construction, existing buildings, commercial interiors, schools etc. Different levels of certification are offered.

*See [www.usgbc.org](http://www.usgbc.org) for more information regarding rating systems, levels of sustainability and requirements for certification.*

### **Florida Green Building Coalition**

A second rating system, based closely on the LEED standards, but specially adapted for construction in Florida, was prepared by the Florida Green Building Coalition (FGBC). As with LEED, the FGBC standards have been adapted to specific types of buildings including "Green Commercial Building Design Standards."

*See [www.floridagreenbuilding.org](http://www.floridagreenbuilding.org) for more information regarding rating systems, levels of sustainability and requirements for certification.*

### **American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE) Guidelines**

Other resources include the International Code Council's ASHRAE Greenguide: The Design Construction, and Operation of Sustainable Buildings, 2nd Edition.

The ASHRAE GreenGuide provides guidance to designers of heating ventilation and air conditioning systems and also covers green design techniques applicable to related technical disciplines, such as plumbing and lighting.

*Available for purchase at: <https://www.ashrae.org>*

## PART IV: GREEN AND SUSTAINABLE DESIGN

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Building owners may seek to have their projects officially certified as “green” under one of the accepted rating systems, or alternatively may elect to design and develop new and renovated construction that adheres to the design standards, and not incur the additional costs related to obtaining official certification.

### **How can green building be applied to commercial design and development on Sanibel Island?**

The preceding section provides a brief introduction to green and sustainable design principles and several national and state resources for further consideration. The TCG and TCL architectural design and site planning standards and guidelines have been developed consistent with the following five green design categories and potential design features listed on the following pages. Readers are encouraged to incorporate these or others that may be identified in the referenced design standards and guidelines for new construction and renovations within the TCG and TCL commercial districts. Doing so will directly support the Sanibel Vision Statement and the Sanibel Plan.

## PART IV: GREEN AND SUSTAINABLE DESIGN

**Energy Efficiency** – Possible design features include: increased levels of energy efficiency, use of renewable energy (using natural resources that may be naturally replenished) and green power (sources of energy which are considered environmentally friendly and non-polluting), and improved performance of mechanical equipment.

On Sanibel, using a building orientation (for new construction) that minimizes solar heat gain, use of roof overhangs for shade and use of solar power are several ways to begin to address energy efficiency and conservation that make sense in the local climate.

**Water Quality and Conservation** – Possible design features include: increased utilization of drought tolerant landscape elements, limited or efficient irrigation, reduction in the generation of wastewater, and maximizing water efficiency in the building

On Sanibel, using drought resistant vegetation and avoiding the use of irrigation are two key elements for consideration. Additional elements might include installing a water storage tank or cistern to accumulate water for reuse in the dry season, and installing water efficient plumbing fixtures.



*Solar panel*



*Roof overhang*



*Cistern*



*Drought tolerant landscape*

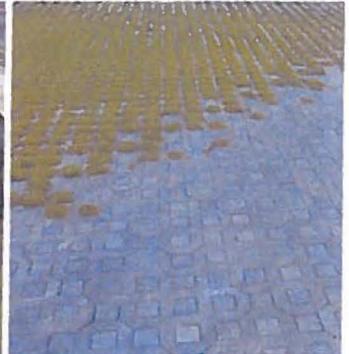
## PART IV: GREEN AND SUSTAINABLE DESIGN

**Site and Environmental Features** – Potential design features include: reducing the environmental impact of the building location on the site, providing erosion and sedimentation control, preserving habitat and natural resources, reducing automobile use by providing facilities for bicycle storage, providing alternative fuel vehicles or refueling stations, limiting site disturbance and clearing and reducing development footprint, implementing a stormwater management plan that reduces runoff and removes suspended solids, reducing heat island effects and improving night sky access by limiting light spillover onto adjacent properties

On Sanibel the reduction of impervious pavement and use of stormwater management techniques such as bio-swales are important opportunities for reducing runoff. Use of light colored roofs and shaded parking areas can help reduce the heat island effects of development. Provision of bicycle parking also fits well with the Sanibel shared use path system.



*Bio-swale*



*Reduction of impervious pavement*



*Light colored metal roof*



*Reduced Heat Islands - Covered Parking*

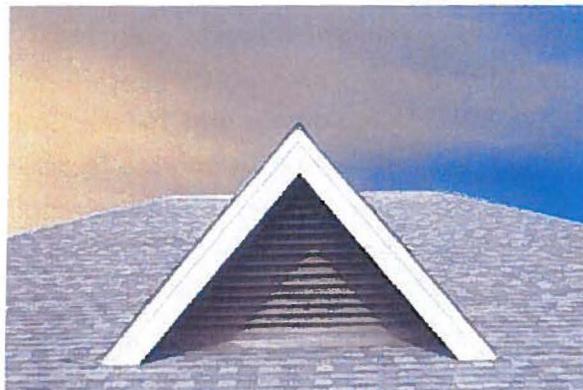
## PART IV: GREEN AND SUSTAINABLE DESIGN

**Construction Materials and Techniques** - Possible design features include: providing carbon monoxide monitoring, providing increased ventilation, implementing an indoor air quality management plan, reducing indoor air contamination by using materials with low levels of volatile organic compounds and other potentially hazardous chemicals, providing a high level of control lighting and ventilation by individual building occupants

On Sanibel, maximizing natural ventilation and daylighting are relatively easy ways to begin to address these criteria.

Possible design features related to material selection and use include: recycling construction waste, reusing building materials and products, using building products that incorporate recycled materials, providing adaptable/reusable interior partitions, providing flooring that will be recycled, using materials that are manufactured locally, using materials that are rapidly renewable (certain types of wood for example), using wood that is certified by the Forest Stewardship Council, using exterior finish materials that are durable in the local climate, and using low-maintenance interior finishes.

On Sanibel, recycling is an obvious benefit which may help reduce the amount of waste material that has to be transported off-island. In addition the use of durable exterior materials will save money in the long term by reducing the maintenance and replacement costs associated with less durable materials.



*Increased ventilation*



*Natural daylighting provide healthy environment*



*Native landscape*

## PART IV: GREEN AND SUSTAINABLE DESIGN

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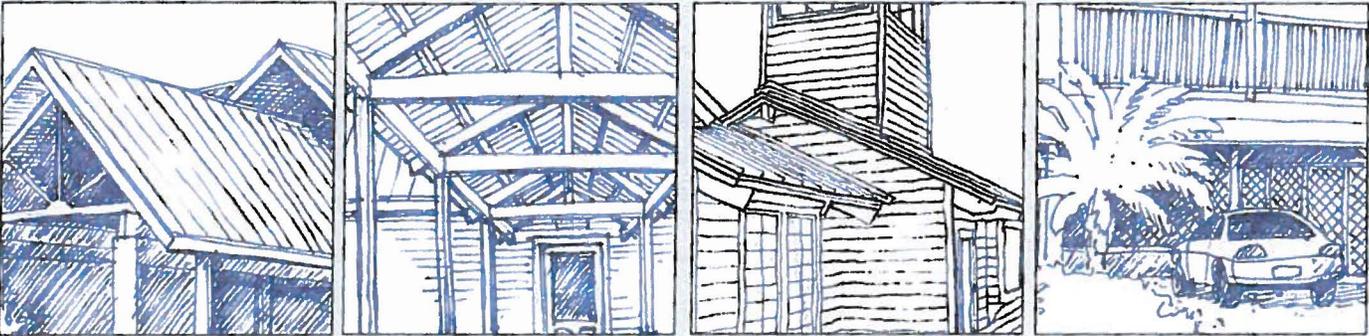
***Weather and Climate*** – Potential design features include: increasing the structural integrity of the building during high wind conditions, using wildfire –resistant exterior finishes, increasing termite resistance of the construction, or using termite resistant materials.

On Sanibel, hurricane resistance is a key design criteria for all construction. Providing for wind resistance and protection for openings are critical aspects of hurricane resistant design that must be considered for all buildings independent of other renovation or construction to ensure compliance with Chapter 16 of the Florida Building Code (2004).



*Recycled and composite materials provide improved durability in the Sanibel climate*

**PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES**



## **SANIBEL'S LAND DEVELOPMENT CODE - SECTION 126-1028: ARCHITECTURAL STANDARDS**

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The following complete text of Section 126-1028 is included for reference.

### **Reference Land Development Code**

#### *Section 126-1028 (a.)*

Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.

#### *Section 126-1028 (b.)*

Commercial buildings shall not appear monolithic.

#### *Section 126-1028 (c.)*

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and recognize and respect local character and site conditions.

#### *Section 126-1028 (d.)*

Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses. The following provides a basis for general standards:

1. Facades shall be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls.
2. Articulation of facades and roofing shall be used to vary the building's mass, in height and width, so that it appears to be divided into distinct elements and details.
3. Facades shall provide, through the use of detail and scale, visual interest that is consistent with the character of the community.

#### *Section 126-1028 (e.)*

Building entryways and windows shall be located so as not to permit noise, light and other impacts on the quiet and private enjoyment of adjacent residential uses.

#### *Section 126-1028 (f.)*

All rooftop mechanical equipment protruding from the roof must be screened from public view by integrating it into a building and roof design

## PART V: ARCHITECTURAL STANDARDS AND DESIGN GUIDELINES

The following guidelines articulate the architectural design standards included in the Land Development Code.

### Design Guidelines

### Reference Land Development Code

*Breezeways, courtyards, and decks can be used to break up building mass.*

#### Section 126-1028 (a.)

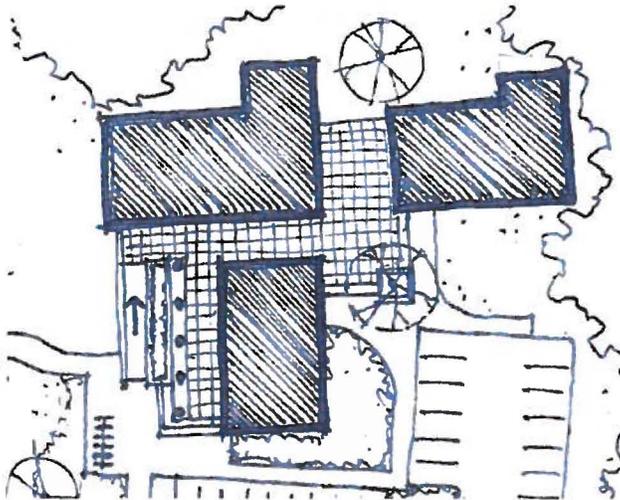
Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.



*Wood decks can connect and/or separate building elements.*



*Breezeway - a roofed open passage can connect two buildings.*



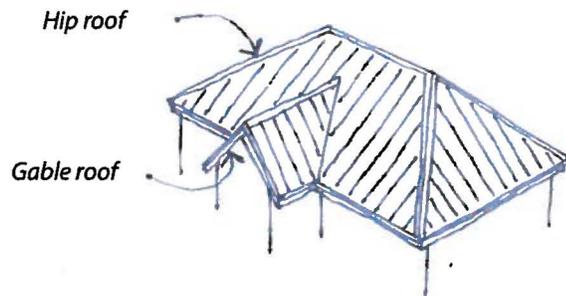
*A group of small buildings clustered around a courtyard ("Pod style") are a desirable alternative to larger buildings.*

## PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

### Design Guidelines

### Reference Land Development Code

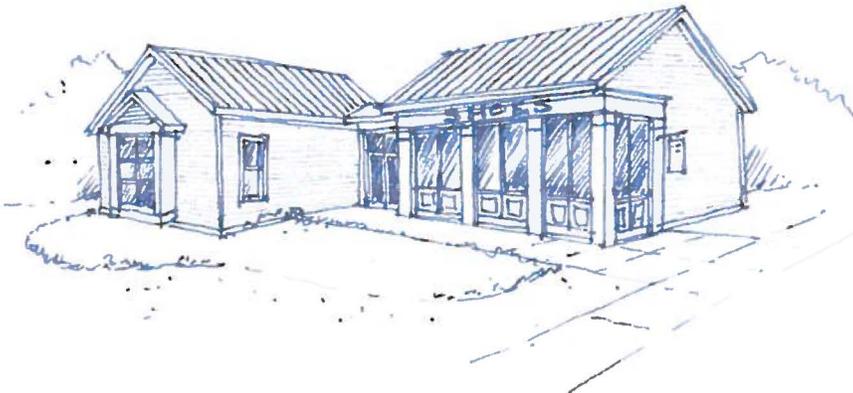
Varying roof forms break down building mass and add visual interest. Low slope roofs (i.e., "flat" roofs) with parapets may be used if they are combined with sloped roof elements.



*Hip and gable roof forms with traditional slopes reduce building scale.*



*Combination of shed and gable roof forms provide variety and break up building massing.*



*Variation in roof forms breaks down building scale.*

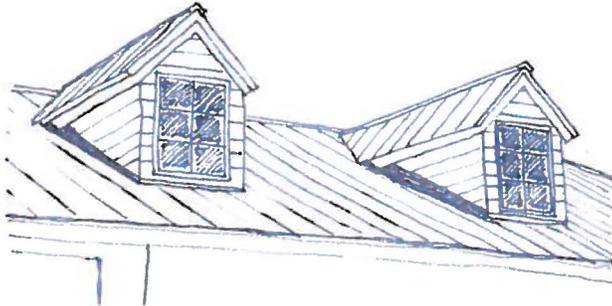
### Section 126-1028 (a.)

Large commercial buildings shall be designed to appear as a group of buildings that vary in scale and size.

# PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

## Design Guidelines

## Reference Land Development Code



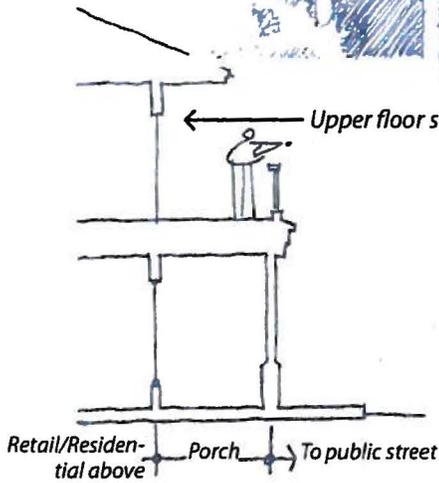
*Dormers can reduce monolithic appearance.*



*Varying facade planes and roof forms reduce building scale.*



*Varying roof forms reduce monolithic appearance.*



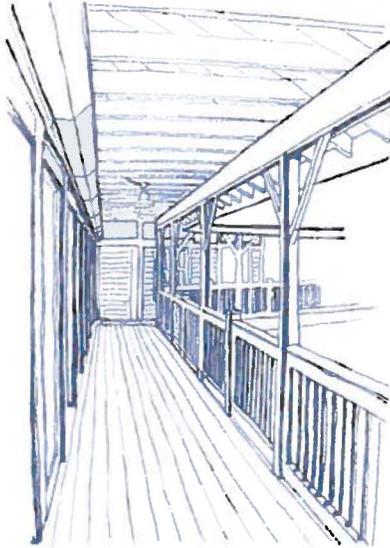
### Section 126-1028 (b.)

Commercial buildings shall not appear monolithic.

# PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

## Design Guidelines

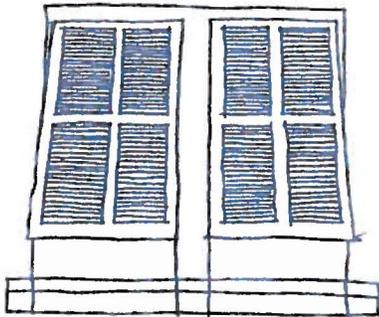
## Reference Land Development Code



*Porch featuring slender simple columns and light wood railings contribute to texture and visual interest.*



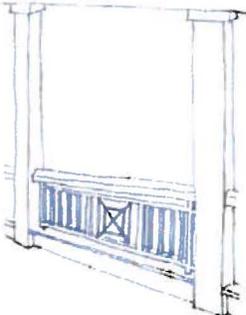
*A small tower element adds vertical interest.*



*Shutters add shadow and detailed visual interest.*



*A cupola can add visual interest to a building roof.*



*Varied railing patterns and colonnades add visual variety.*

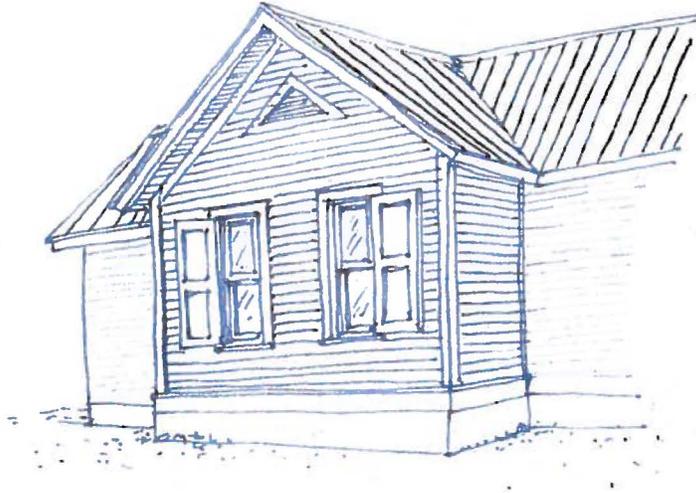
### Section 126-1028 (c.)

Commercial buildings shall have architectural features and patterns that provide: **visual interest from the perspective of the pedestrian, bicyclist and motorist**; appear to reduce building mass; and recognize and respect local character and site conditions.

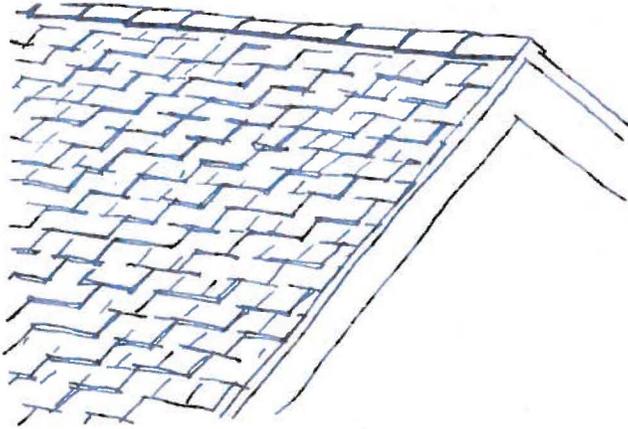
## PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

### Design Guidelines

### Reference Land Development Code



*Wood siding has a strong pattern that provides detail, shadow lines and visual interest.*



*Dimensional asphalt shingles with depth and texture provide more visual interest than standard flat shingles.*

### Section 126-1028 (c.)

Commercial buildings shall have architectural features and patterns that provide: **visual interest from the perspective of the pedestrian, bicyclist and motorist;** appear to reduce building mass; and recognize and respect local character and site conditions.

## PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

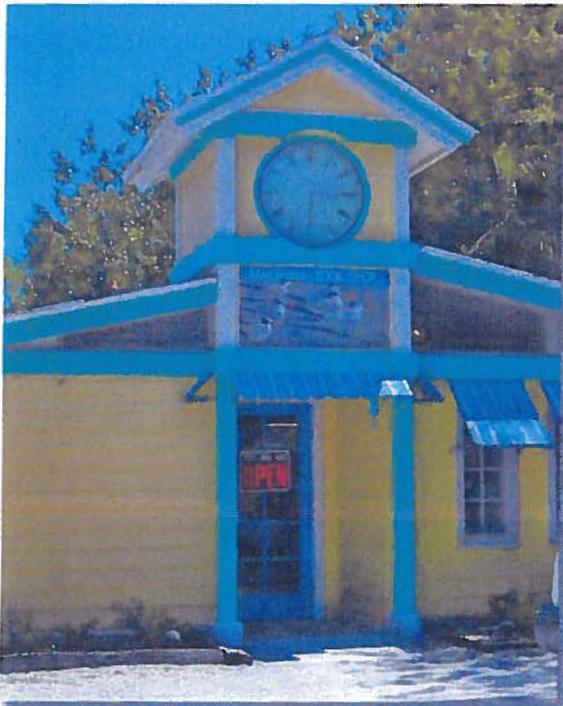
### Design Guidelines

### Reference Land Development Code



#### ***Old Florida***

*A standing seam metal roof is a traditional material and reflects intense summer heat.*



#### ***Island Eclectic***

*Playful decorative elements and a multi-colored paint scheme reflects the Island Eclectic Style*

#### **Section 126-1028 (c.)**

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and **recognize and respect local character and site conditions.**

## PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

### Design Guidelines

### Reference Land Development Code



**Island Contemporary**  
*Contemporary roof design and materials reflect traditional metal roofs*



**Caribbean**  
*Light, metal railings, pastel colors and stucco walls and cornice reflect the Caribbean style*

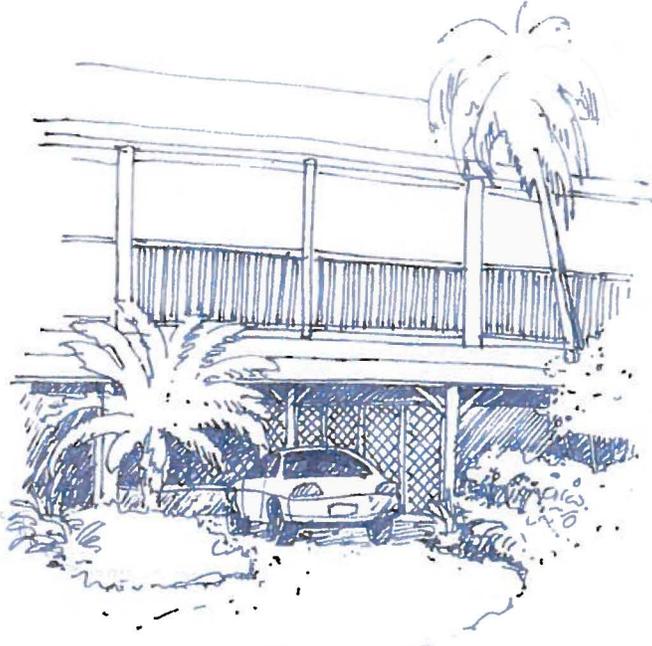
### Section 126-1028 (c.)

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and **recognize and respect local character and site conditions.**

## PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

### Design Guidelines

### Reference Land Development Code



*Parking located on the ground floor of elevated buildings should be screened from the street with landscaping, lattice, or other architectural treatments. Generous landscaping also reduces the apparent scale of a 2-story structure.*



*When possible it is preferable that commercial buildings be designed to be as close to surrounding ground level as possible. Such construction must also comply with flood criteria and building code.*

### Section 126-1028 (c.)

Commercial buildings shall have architectural features and patterns that provide: visual interest from the perspective of the pedestrian, bicyclist and motorist; appear to reduce building mass; and recognize and respect local character and site conditions.

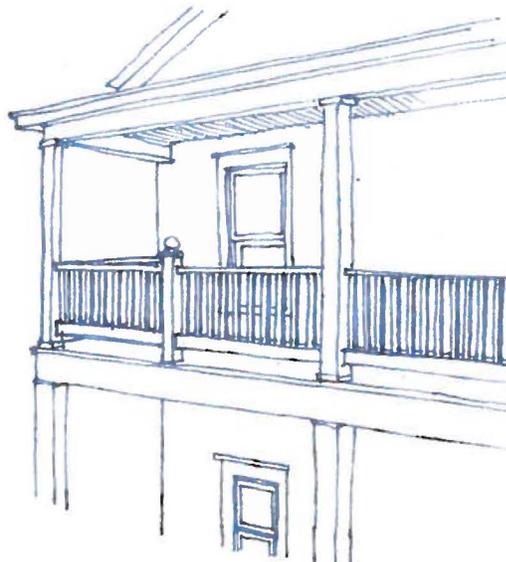
## PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

### Design Guidelines

### Reference Land Development Code



*Use architectural elements to break up building mass and create a strong entry*



*Porches relate to human scale, provide cover from sun and rain and provide architectural interest*

### Section 126-1028 (d.)

Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses. The following provides a basis for general standards:

1. Facades shall be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls.
2. Articulation of facades and roofing shall be used to vary the building's mass, in height and width, so that it appears to be divided into distinct elements and details.
3. Facades shall provide, through the use of detail and scale, visual interest that is consistent with the character of the community.

## PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

### Design Guidelines

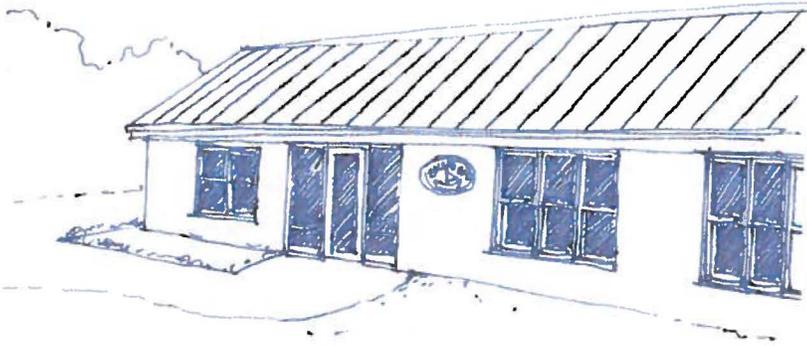
### Reference Land Development Code

*Break up facades to relate to human scale*

#### Section 126-1028 (d.)

Large facades, both horizontal and vertical, shall be broken up to present a more human scale, particularly to the public right-of-way view and the view of nearby residential uses. The following provides a basis for general standards:

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3. Facades shall provide, through the use of detail and scale, visual interest that is consistent with the character of the community.



*This facade lacks variety and articulation.*

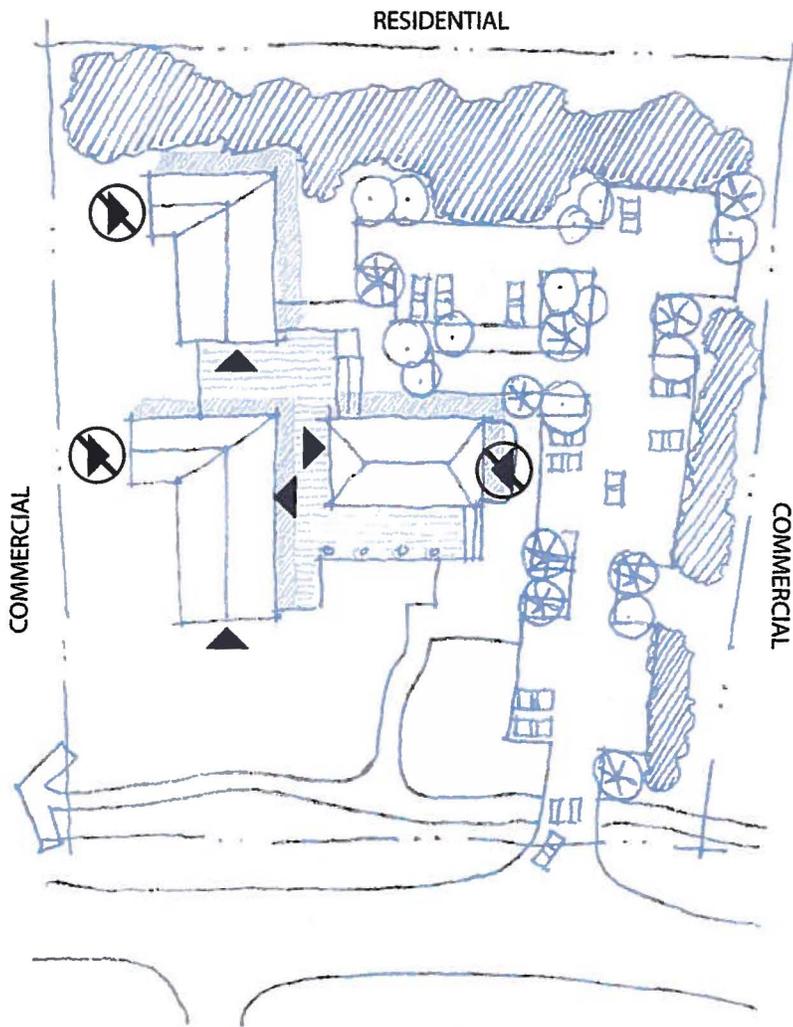


*This facade incorporates varying wall and roof planes, adding variety and visual interest.*

# PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

## Design Guidelines

## Reference Land Development Code



### Section 126-1028 (e.)

Building entryways and windows shall be located so as not to permit noise, light and other impacts on the quiet and private enjoyment of adjacent residential uses.

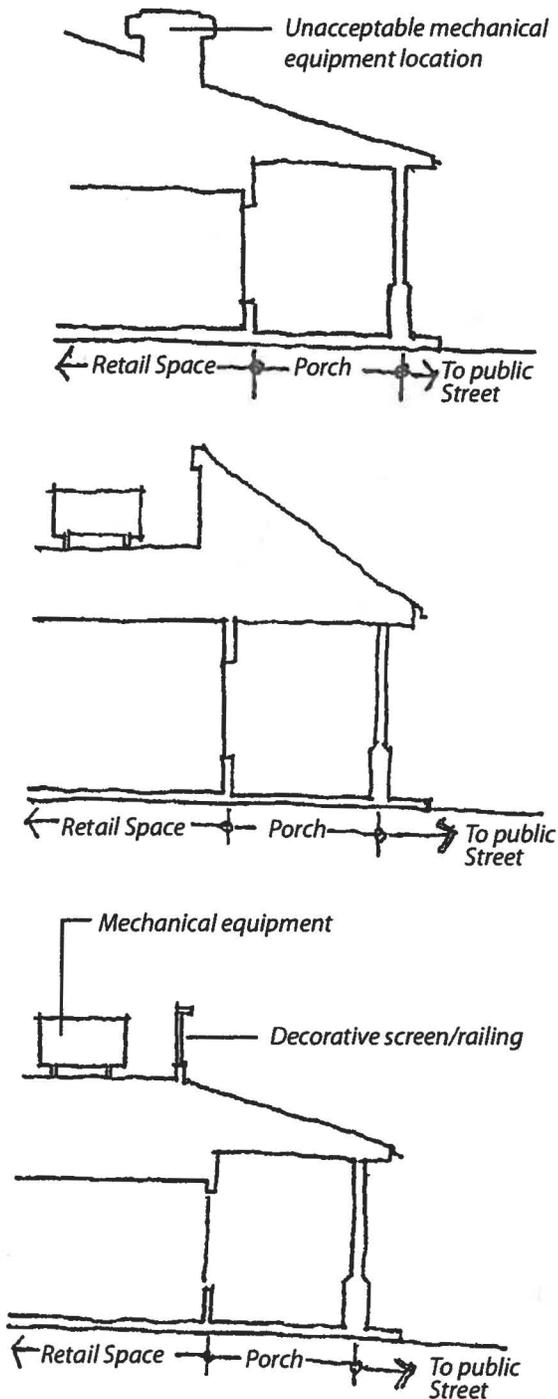
*Do not orient entries towards adjacent residential uses. Entries should orient to the public right-of-way or toward interior courtyards or decks.*

# PART V: ARCHITECTURAL DESIGN STANDARDS AND GUIDELINES

## Design Guidelines

## Reference Land Development Code

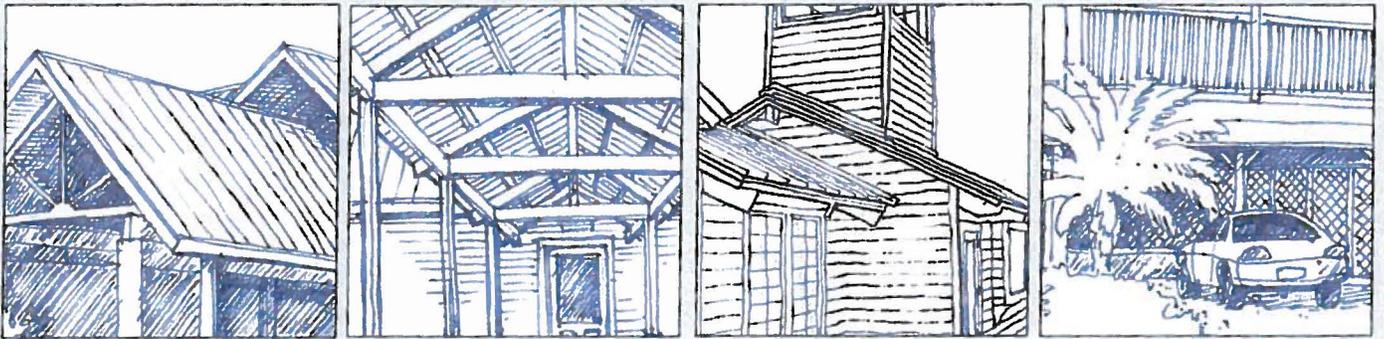
Use roof forms or screens to shield roof-top equipment



### Section 126-1028 (f.)

All rooftop mechanical equipment protruding from the roof must be screened from public view by integrating it into a building and roof design.

**PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES**



## **SANIBEL'S LAND DEVELOPMENT CODE - SECTION 126-1029: SITE PLANNING**

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The following complete text of Section 126-1029 is included for reference.

### Reference Land Development Code

#### Section 126-1029 (a.) - Location and Design of Off-street Parking

Off-street parking spaces shall be primarily located below or at the front or side of commercial buildings. The location and design of off-street parking shall not impact adjoining residential uses, conservation land or wildlife habitat.

#### Section 126-1029 (b.) - Location and Design of Off-street Loading and Service Areas.

Off-street loading and service areas shall be appropriately designed, located, landscaped and screened to ensure that adjoining residential areas and environmentally sensitive land uses will not be negatively impacted.

#### Section 126-1029 (c.) - Site Access and Internal Circulation.

1. Multiple and independent points of ingress and egress shall be avoided when possible.
2. Unobstructed sight lines at points of ingress and egress shall be provided to ensure pedestrian, bicyclists and motorist safety.
3. When possible, bicycle and pedestrian cross access between commercial sites and developments shall be established.
4. Functional and integrated access and internal circulation for people with disabilities shall be provided.
5. Safe and efficient internal pedestrian circulation to and from on-site parking spaces shall be provided.
6. Conveniently located on-site storage areas for bicycles shall be provided.

#### Section 126-1029 (d.) - On-site Utilities, Equipment, Lightning, Trash Containers, Dumpsters and Service Areas and Activities.

All above ground utilities, equipment and related service facilities and operations shall be designed, located and maintained to ensure compatibility with adjoining residential areas and other environmentally sensitive land uses will not be negatively impacted.

#### Section 126-1029 (e.) - Landscaping, Buffering and Screening.

In addition to the vegetation buffers and parking area vegetation required for commercial uses, by Chapter 122, Article II, Division 2, courtyards and lands around buildings are to be landscaped. Specific and detailed landscape plans are required for buffering and screening adjacent residential uses from negative visual and physical impacts of the commercial land uses. Side and rear yard setbacks may have to be increased to provide adequate vegetation buffering for abutting and nearby residential land uses.

## PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

The following guidelines articulate the site planning design standards included in the Land Development Code.

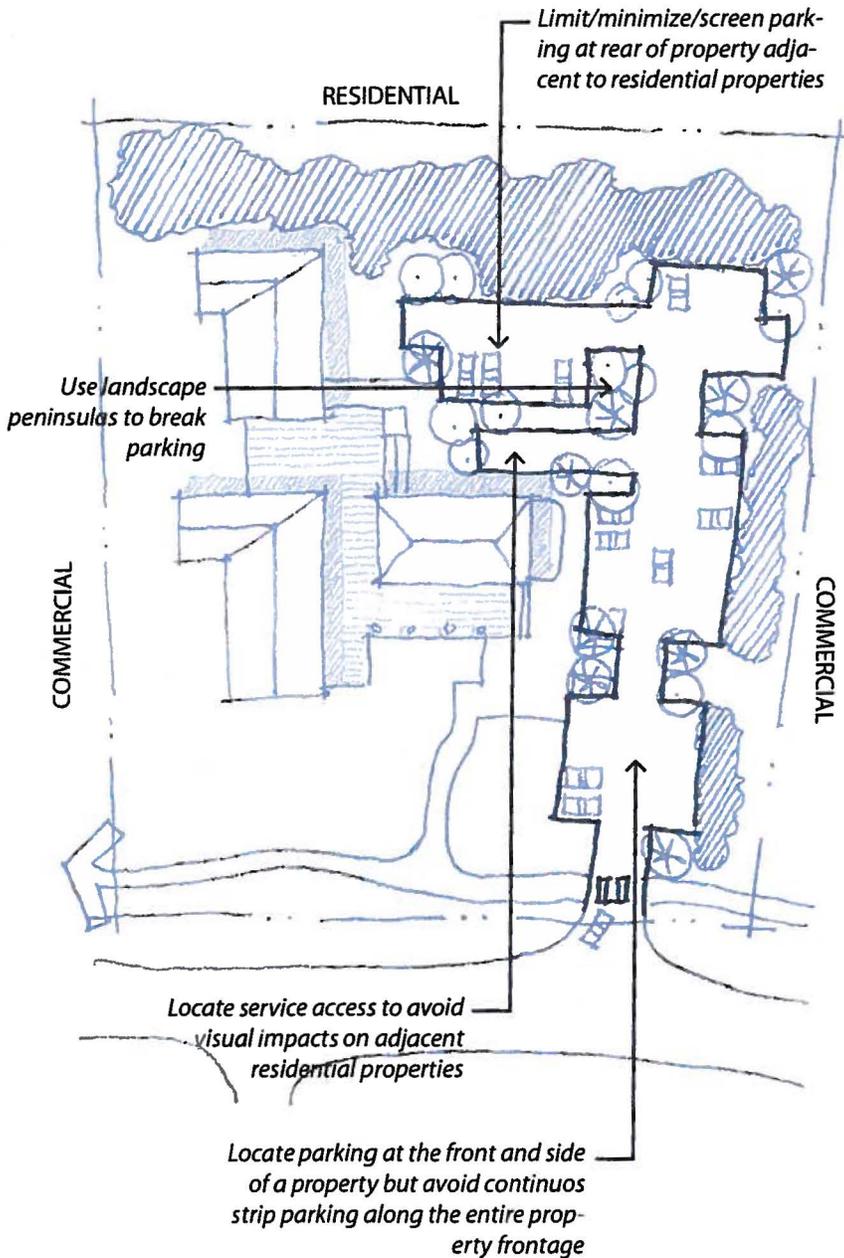
### Design Guidelines

### Reference Land Development Code

*Locate parking in a way that is sensitive to the surrounding context including residential uses, conservation and wildlife areas, and views from the street. Interrupt large parking areas with landscape medians peninsulas or medians so that large areas of paving are minimized.*

### Section 126-1029 (a.) - Location and Design of Off-street Parking

Off-street parking spaces shall be primarily located below or at the front or side of commercial buildings. The location and design of off-street parking shall not impact adjoining residential uses, conservation land or wildlife habitat.



# PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

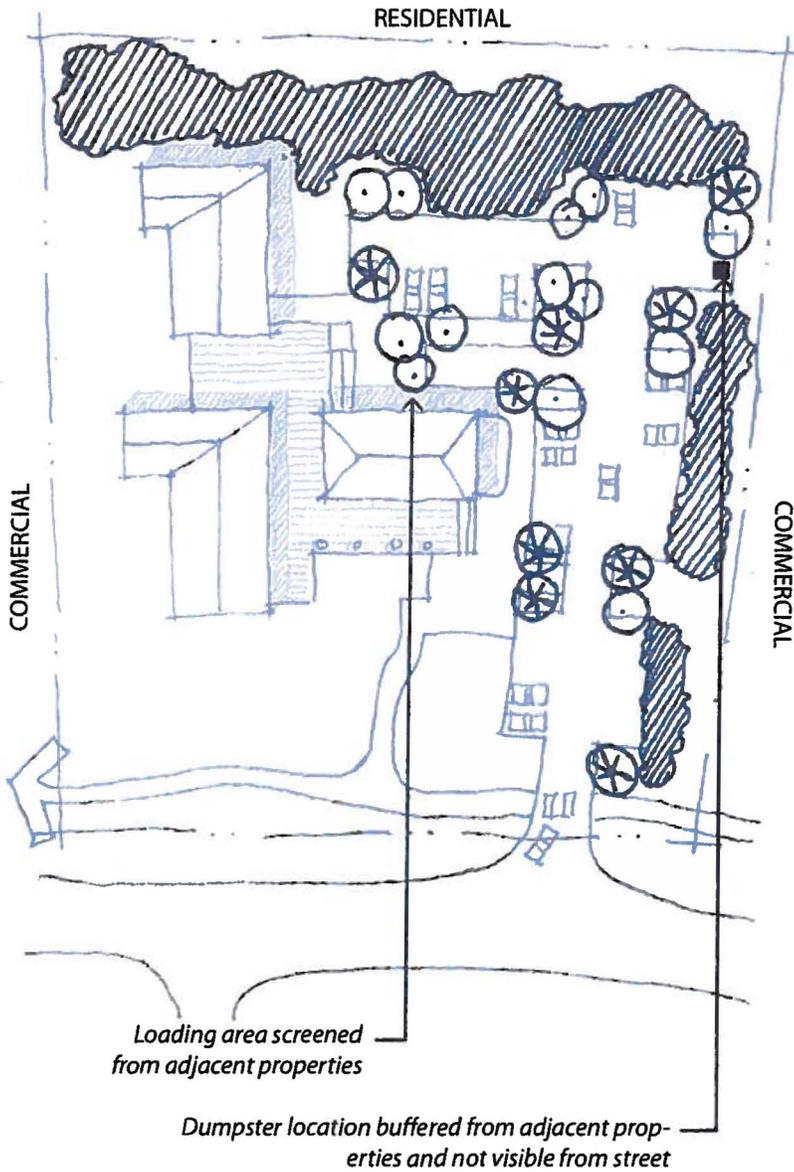
## Design Guidelines

## Reference Land Development Code

*Enclose service areas to the greatest extent possible, especially when adjacent to residential and environmentally sensitive land uses*

**Section 126-1029 (b.) - Location and Design of Off-street Loading and Service Areas.**

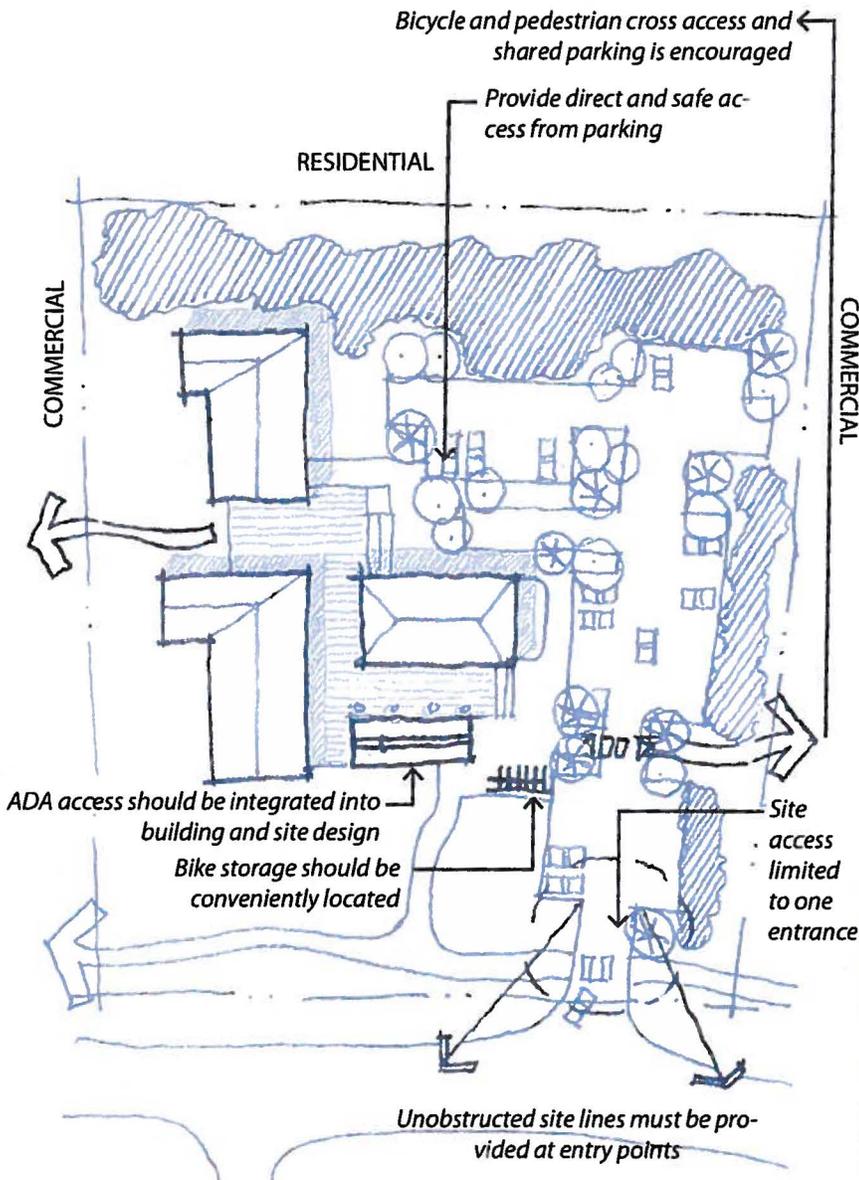
On-street loading and service areas shall be appropriately designed, located, landscaped and screened to ensure that adjoining residential areas and environmentally sensitive land uses will not be negatively impacted.



## PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

### Design Guidelines

### Reference Land Development Code



### Section 126-1029 (c.) - Site Access and Internal Circulation.

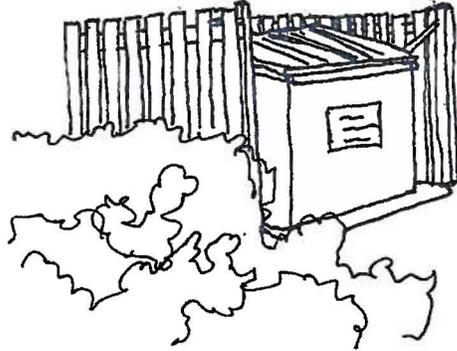
1. Multiple and independent points of ingress and egress shall be avoided when possible.
2. Unobstructed sight lines at points of ingress and egress shall be provided to ensure pedestrian, bicyclists and motorist safety.
3. When possible, bicycle and pedestrian cross access between commercial sites and developments shall be established.
4. Functional and integrated access and internal circulation for people with disabilities shall be provided.
5. Safe and efficient internal pedestrian circulation to and from on-site parking spaces shall be provided.
6. Conveniently located on-site storage areas for bicycles shall be provided.

# PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

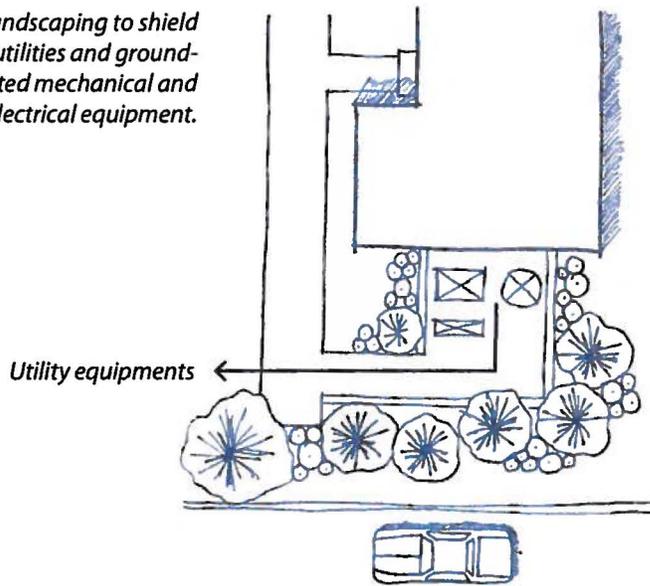
## Design Guidelines

## Reference Land Development Code

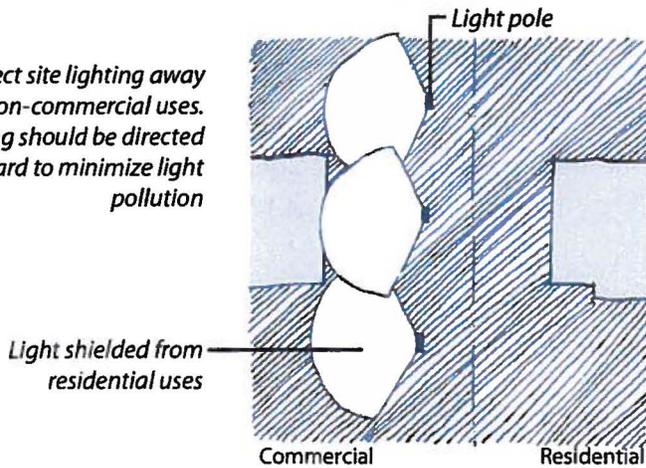
Screen dumpsters from streets and adjacent non-commercial uses



Use landscaping to shield on-site utilities and ground-mounted mechanical and electrical equipment.



Direct site lighting away from non-commercial uses. Lighting should be directed downward to minimize light pollution



**Section 126-1029 (d.)** - On-site Utilities, Equipment, Lightning, Trash Containers, Dumpsters and Service Areas and Activities.

All above ground utility equipment and operations should be screened from entrance drives, roads, shared use paths and interior pedestrian walkways.

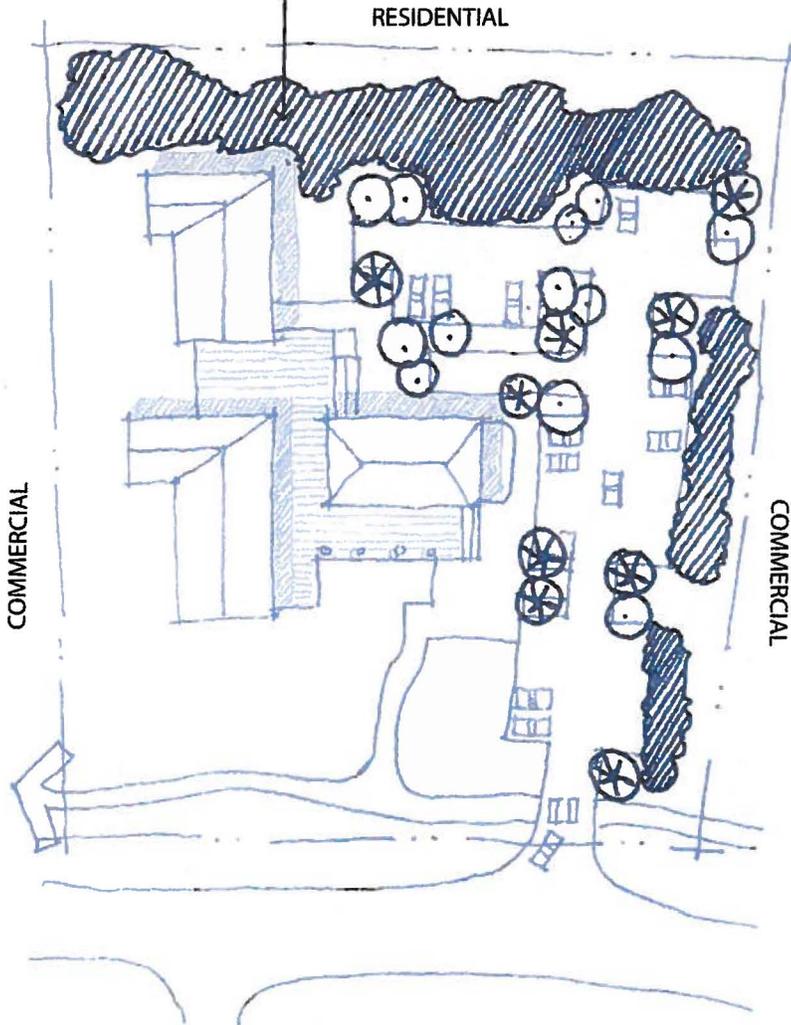
# PART VI: SITE PLANNING DESIGN STANDARDS AND GUIDELINES

## Design Guidelines

## Reference Land Development Code

The following site plan illustrates important design features

Provide landscape buffer and setbacks to screen residential uses from negative impacts of commercial development.



### Section 126-1029 (e.) - Landscaping, Buffering and Screening.

In addition to the vegetation buffers and parking area vegetation required for commercial uses, by Chapter 122, Article II, Division 2, courtyards and lands around buildings are to be landscaped. Specific and detailed landscape plans are required for buffering and screening adjacent residential uses from negative visual and physical impacts of the commercial land uses. Side and rear yard setbacks may have to be increased to provide adequate vegetation buffering for abutting and nearby residential land uses.

## Periwinkle Way West Commercial District Redevelopment Policies

### **Palm Ridge Road Focus Area Preliminary Existing Conditions, Issues and Opportunities For Review with Planning Department and WRT**

August 2008

1. Commercial center improvements completed at Town Center and Tarpon Bay Center located at intersection of Palm Ridge Road and Tarpon Bay Road.
2. Concentration of nonconforming commercial and mixed commercial/residential properties on east side of Palm Ridge Road north of Wooster Lane. Nonconforming in terms of required vegetation buffer, dimensional and intensity requirements of Town Center General commercial zoning district.
3. Multiple and undifferentiated curb cuts and front parking areas along east side of Palm Ridge Road and shared use path.
4. City has recently installed native planting area and shared use path rest area within the island at Periwinkle Way and Palm Ridge Road.
5. Native planting areas to be completed along Palm Ridge Road as part of the Periwinkle Way Restoration Project (Where?).
6. Vacant properties zoned for Town Center Limited commercial development on west side of Palm Ridge Road between Tarpon Bay Road and Library Way.
7. Long term future of City of Sanibel office/CHR/senior center uses and property?
8. Pelican Place commercial center property nonconforming in terms of Town Center General commercial district zoning dimensional standards including front yard set back and buffer requirements.
9. Lake Palms condominium property on north side of Wooster Lane zoned for Town Center General commercial uses.
10. Opportunity for significant redesign, engineering and improvement of shared use path along Palm Ridge Road, including road, drainage, sewer, landscape and shared use path widening.
11. Opportunity for shared use path extension along Wooster Lane to Historic Village, City Hall, Big Arts and Library.
12. Pedestrian and parking cross access connections along east side of Palm Ridge Road.
13. Shared use path connection along Tarpon Bay Road to J N Ding Darling Refuge and Tarpon Bay Explorers. Environmentally sensitive lands will constrain the feasibility of this long range extension.
14. Rear of commercial properties align east side of Palm Ridge Road north of Wooster Lane adjoin lake and conservation land.

Figure 1

**PALM RIDGE ROAD FOCUS AREA  
EXISTING CONDITIONS AND PERMITTED COMMERCIAL REDEVELOPMENT  
PERIWINKLE WAY WEST COMMERCIAL DISTRICT PLAN**

Source: Planning Department  
July 2008

| Address             | Commercial Center/<br>Establishment | Existing<br>Zoning         | Parcel(s) Size<br>(Sq. Ft.) | Permitted<br>Commercial<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial/<br>Nonresidential<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial<br>Units | Existing<br>Residential<br>Units | Existing<br>Parking<br>Spaces | Year<br>Built |
|---------------------|-------------------------------------|----------------------------|-----------------------------|---------------------------------------|--|--|----------------------------------|-------------------------------|---------------|
| 2496 Palm Ridge Rd. | Town Center                         | Town Cntr. Gen'l.<br>(TCG) | 32,000<br><i>32,433</i>     | 3,840<br><i>4,072</i>                 | 3650   | 4  |                                  |                               | 1965          |
| 2460 Palm Ridge Rd. | Tarpon Bay Center                   | TCG                        | 25,500<br><i>26,552</i>     | 3,060<br><i>5,558</i>                 | 2650<br>(1920)   | 2<br>(1)   |                                  |                               | 1979          |
| 2440 Palm Ridge Rd. | Pelican Place                       | TCG                        | 25,500<br><i>27,512</i>     | 3,060<br><i>10,000</i>                | 5600<br>(2100)   | 4<br>(2)   |                                  |                               | 1980          |
| 2410 Palm Ridge Rd. | Palm Court Center                   | TCG                        | 37,500<br><i>6,743</i>      | 4,500                                 | 2700   | 5  | 6                                |                               | 1971          |
| 2402 Palm Ridge Rd. | Baywind Plaza                       | TCG                        | 36,450<br><i>20,337</i>     | 4,374<br><i>5,160</i>                 | 1800   | 3  | 1                                |                               | 1974          |
| 2400 Palm Ridge Rd. | Palm Ridge Plaza                    | TCG                        | 26,400                      | 3,168                                 | 4900   | 4  | 6                                |                               | 1974          |
| 2330 Palm Ridge Rd. | Palm Ridge Place                    | TCG                        | 148,200<br><i>191,542</i>   | 17,784<br><i>23,931</i>               | 16,275<br>(2200)   | 13<br>(2)  |                                  |                               | 1980          |
| 2340 Periwinkle Way | Village of Sanibel                  | TCG                        | 135,300                     | 16,236<br><i>19,218</i>               | 7975<br>(7309)   | 10<br>(10)   |                                  |                               | 1986          |

Figure 1 (Cont.)

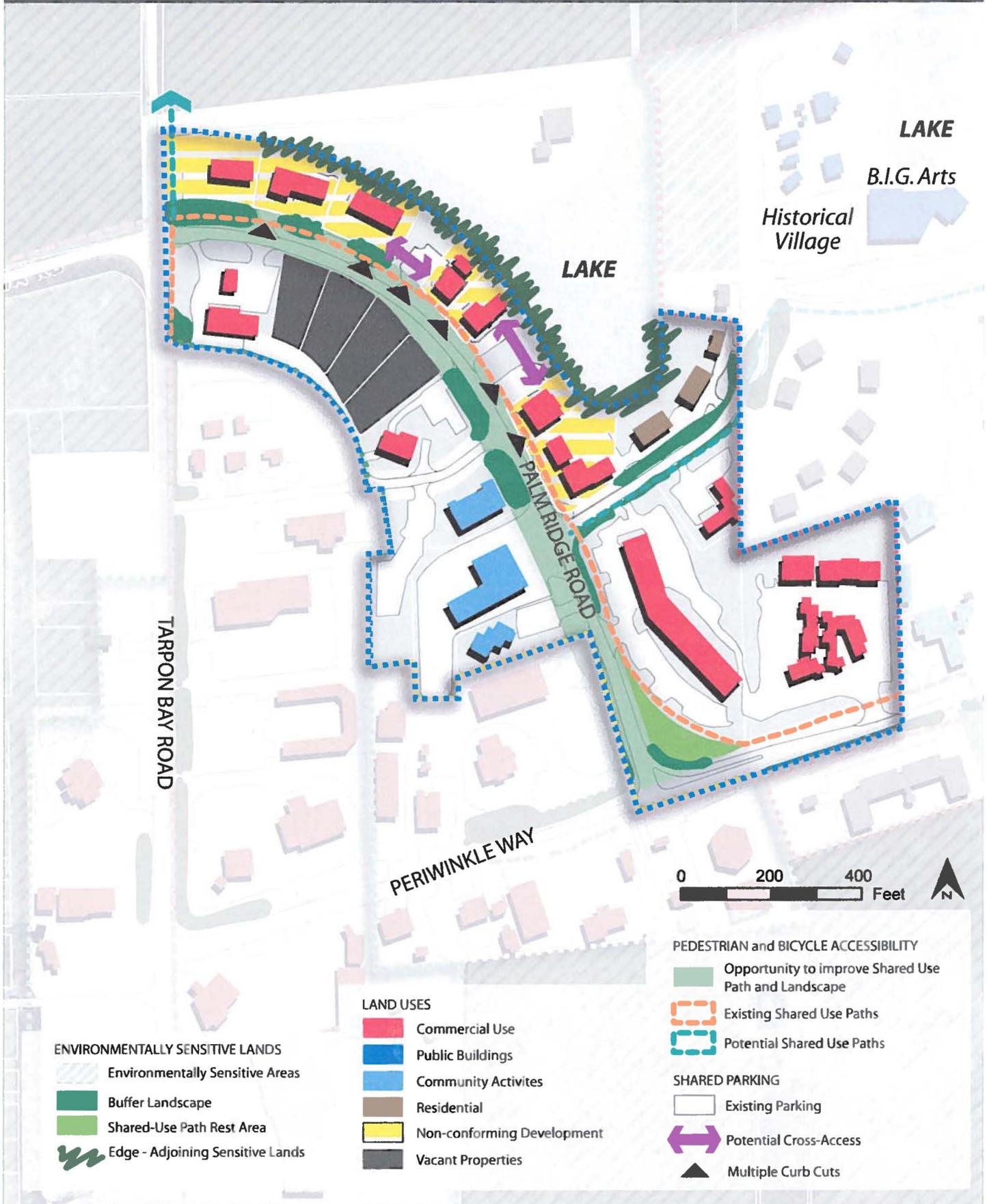
**PALM RIDGE ROAD FOCUS AREA  
EXISTING CONDITIONS AND PERMITTED COMMERCIAL REDEVELOPMENT  
PERIWINKLE WAY WEST COMMERCIAL DISTRICT PLAN**

Source: Planning Department  
July 2008

| Address             | Commercial Center/<br>Establishment | Existing<br>Zoning       | Parcel(s) Size<br>(Sq. Ft.) | Permitted<br>Commercial<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial/<br>Nonresidential<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial<br>Units | Existing<br>Residential<br>Units | Existing<br>Parking<br>Spaces | Year<br>Built |
|---------------------|-------------------------------------|--------------------------|-----------------------------|---------------------------------------|--|--|----------------------------------|-------------------------------|---------------|
| 2323 Wooster Lane   | Sanibel Prof. Center                | TCG                      | 28,500                      | 3,420<br>3,815                        | 5000<br>(1000)   | 5 (1)  |                                  |                               | 1986          |
| 2320 Wooster Lane   | Lake Palms Condo.                   | TCG                      | 32,400                      | 3,888<br>10,080                       | N/A  |  | 10                               |                               | 1986          |
| 2495 Palm Ridge Rd. | Hess Plaza                          | Town Cntr. Ltd.<br>(TCL) | 32,780                      | 3,934                                 | 6600   | 3  |                                  |                               | 1980          |
| N/A                 | Vacant                              | TCL                      | 76,000                      | 9,120                                 | N/A  |  |                                  |                               |               |
| 2407 Palm Ridge Rd. | Wachovia Bank                       | TCL                      | 30,130                      | 3,615<br>3,398                        | 2000   | 1  |                                  |                               | 1979          |
| 2401 Library Way    | City of Sanibel/Civic<br>Center     | TCL                      | 55,150<br>22,797            | 6,618<br>5,838                        | 4800   |  |                                  |                               | 1980          |
| 2351 Palm Ridge Rd. | Sanibel Fire & Rescue<br>Station    | TCL                      | 65,180<br>36,860            | 7,821<br>16,210                       | 15,150   |  |                                  |                               | 2004<br>1984  |
| 2341 Palm Ridge Rd. | Sanibel<br>Accommodations           | TCL                      | 21,000                      | 2,520<br>2,718                        | 2750   | 1  |                                  |                               |               |
| 2331 Palm Ridge Rd. | CVS Pharmacy                        | TCL                      | 67,000<br>57,807            | 8,040<br>11,906                       | 10,356   | 1  |                                  |                               | 1983          |
| <b>TOTAL</b>        |                                     |                          |                             |                                       |  |  |                                  |                               |               |

# Palm Ridge Road Focus Area

## Issues & Opportunities



Periwinkle Way West Commercial District  
Redevelopment Policies

**Periwinkle Way Focus Area**  
**Preliminary Existing Conditions, Issues and Opportunities**  
**For Review with Planning Department and WRT**

August 2008

1. Concentration of pre-existing nonconforming commercial structures on south side of focus area.
2. Lot size and multiple ownership limits coordinated redevelopment.
3. Assembly of parcels for redevelopment supported by Sanibel Plan.
4. Redevelopment subject to 12% FAR of TCG commercial zoning district
5. Small scale, character and detail of existing commercial buildings. Redevelopment to be consistent with TCG architectural and site planning guidelines.
6. No pedestrian or vehicular cross access.
7. Multiple curb cuts and uncoordinated points of ingress and egress.
8. Shared parking not feasible given current configuration of lots and ownership.
9. Non-conforming parking lot use separated from vacant restaurant property.
10. Several buildings currently have mixed use occupancy: retail; restaurant; service, residential.
11. History of Code Enforcement/Violations.
12. Current lots and structures nonconforming in terms of various dimensional standards, including front (100' from CL), side (15'-25' based on frontage) and rear (20') setbacks, coverage (45%), developed area (50%) and vegetation buffer areas (20').
13. Lots connected by existing 10 ft. shared use path.
14. Long range consideration for shared use path on north side of Periwinkle Way ROW?
15. Rear of southern commercially zoned lots adjoin Interior Wetlands Conservation District and Environmentally Sensitive Lands Conservation District.
16. Consider redevelopment relationships of small parcels with existing Bailey's Center PUD and Islander Center.

Figure 3

**PERIWINKLE WAY FOCUS AREA  
EXISTING CONDITIONS AND PERMITTED COMMERCIAL REDEVELOPMENT  
PERIWINKLE WAY WEST COMMERCIAL DISTRICT PLAN**

Source: Planning Department  
July 2008

| Address             | Commercial Center/<br>Establishment                       | Existing<br>Zoning        | Parcel(s) Size<br>(Sq. Ft.) | Permitted<br>Commercial<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial/<br>Nonresidential<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial<br>Units | Existing<br>Residential<br>Units | Existing<br>Parking<br>Spaces | Year<br>Built |
|---------------------|---|---------------------------|-----------------------------|---------------------------------------|--|--|----------------------------------|-------------------------------|---------------|
| 2408 Periwinkle Way | Sun Trust Bank  | Town Center Ltd.<br>(TCL) | 56,361                      | 6,763                                 | 4,000  | 1  |                                  | 25                            | 1996          |
| 2422 Periwinkle Way | She Sells Sea Shells                                      | TCL                       | 29,645                      | 3,557                                 | 2,600  | 1  | 1                                | 14                            | 1965          |
| 2430 Periwinkle Way | Armenia Group<br>Sanibel Sweet Treats<br>& Gourmet Eatery | TCL                       | 44,093                      | 5,291                                 | 5,000  | 2  |                                  | 30                            | 1991          |
| 2353 Periwinkle Way | Winds Center  | Town Center Gen<br>(TCG)  | 64,822                      | 7,779                                 | 8,000<br>(4,000)   | 3<br>(2)   |                                  | 75                            | 1979          |
| 2359 Periwinkle Way | Lucky Dog   | TCG                       | 13,576                      | 1,629                                 | 1,000  | 1  | 1                                | 5                             | 1974          |
| 2361 Periwinkle Way | Sanibel Storage   | TCG                       | 10,927                      | 1,311                                 | 2,000  | 1  |                                  | 5                             | 1973          |
| 2365 Periwinkle Way | MacIntoch Books &<br>Paper                                | TCG                       | 17,727                      | 2,127                                 | 1,950  | 1  | 1                                | 13                            | 1966          |
| 2407 Periwinkle Way | Islander Center   | TCG                       | 58,068                      | 6,968                                 | 9,100  | 5  |                                  | 54                            | 1978          |
| 2411 Periwinkle Way | Vacant (Restaurant)                                       | TCG                       | 10,743                      | 1,289                                 | (2,000)  | (1)  | (1)                              | 4                             | 1965          |

Figure 3 (Cont.)

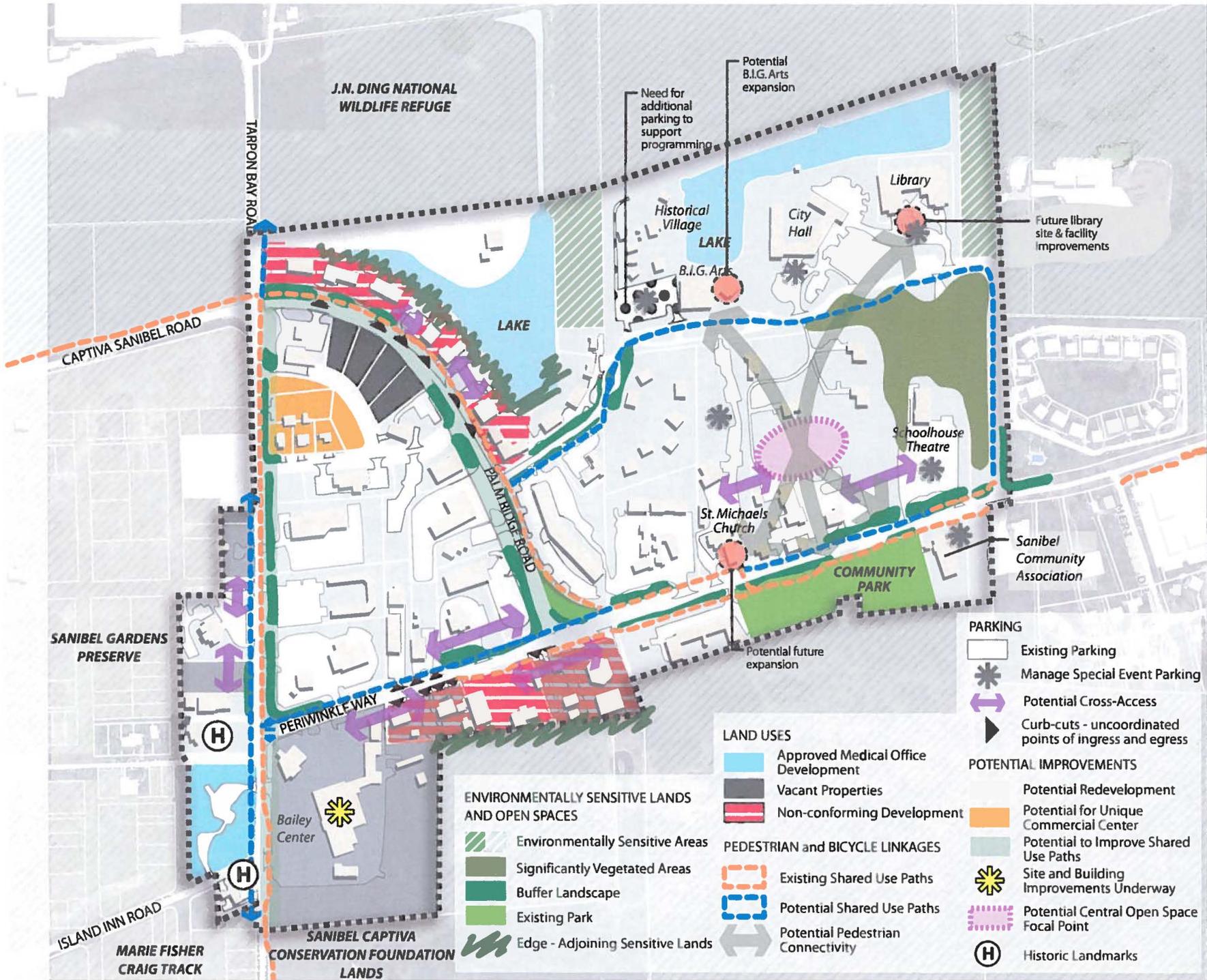
**PERIWINKLE WAY FOCUS AREA  
EXISTING CONDITIONS AND PERMITTED COMMERCIAL REDEVELOPMENT  
PERIWINKLE WAY WEST COMMERCIAL DISTRICT PLAN**

Source: Planning Department  
July 2008

| Address             | Commercial Center/<br>Establishment    | Existing<br>Zoning | Parcel(s) Size<br>(Sq. Ft.) | Permitted<br>Commercial<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial/<br>Nonresidential<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial<br>Units | Existing<br>Residential<br>Units | Existing<br>Parking<br>Spaces | Year<br>Built |
|---------------------|--|--------------------|-----------------------------|---------------------------------------|--|--|----------------------------------|-------------------------------|---------------|
| 2427 Periwinkle Way | Cottages to Castles<br>Sunglasses Ltd. | TCG                | 15,138                      | 1,817                                 | 2,000  | 2  | 0                                | 10                            | 1966          |
| 2429 Periwinkle Way | Parking lot (For vacant<br>restaurant) | TCG                | 13,965                      | 1,676                                 | N/A  | N/A  | 0                                | 20                            |               |
| 2431 Periwinkle Way | Periwinkle<br>Consignment              | TCG                | 20,500                      | 2,460                                 | 1,250  | 1  | 2                                | 9                             | 1960          |

# PERIWINKLE WAY WEST

Issues & Opportunities



- PARKING**
- Existing Parking
  - Manage Special Event Parking
  - Potential Cross-Access
  - Curb-cuts - uncoordinated points of ingress and egress
- POTENTIAL IMPROVEMENTS**
- Potential Redevelopment
  - Potential for Unique Commercial Center
  - Potential to Improve Shared Use Paths
  - Site and Building Improvements Underway
  - Potential Central Open Space Focal Point
  - Historic Landmarks

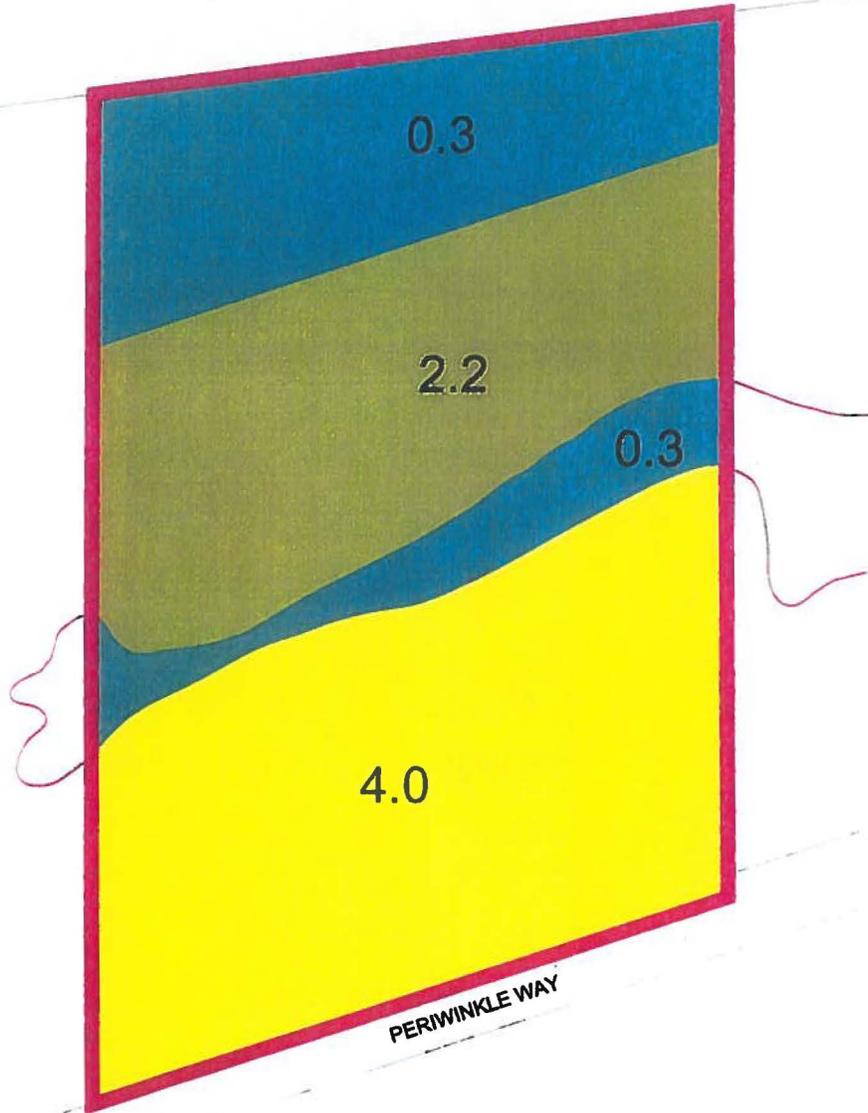
- LAND USES**
- Approved Medical Office Development
  - Vacant Properties
  - Non-conforming Development
- PEDESTRIAN and BICYCLE LINKAGES**
- Existing Shared Use Paths
  - Potential Shared Use Paths
  - Potential Pedestrian Connectivity

- ENVIRONMENTALLY SENSITIVE LANDS AND OPEN SPACES**
- Environmentally Sensitive Areas
  - Significantly Vegetated Areas
  - Buffer Landscape
  - Existing Park
  - Edge - Adjoining Sensitive Lands



**9.5± acre Periwinkle Way Parcel  
Focus Area A  
Periwinkle Way West  
Commercial District Plan**

north side of road between Dunlop Road and Palm Ridge Road



**LEGEND**

- 0.3 1 D.U. 3.34 ACRES
- 2.2 1 D.U. PER 0.45 ACRES
- 4.0 1 D.U. PER 0.25 ACRES

PARCEL AREAS ARE FROM  
LEE COUNTY GRAPHIC TAX MAPS.  
SURVEY REQUIRED FOR ACCURATE ACREAGE

**DEVELOPMENT INTENSITY**

4.0 ACRES AT 4.0 DU/ACRE = 16.0 UNITS  
PLUS (+)  
2.9 ACRES AT 2.2 DU/ACRE = 6.4 UNITS  
PLUS (+)  
2.6 ACRES AT 0.3 DU/ACRE = 0.8 UNITS  
EQUALS (=)  
TOTAL 23.2 UNITS  
MAXIMUM PERMITTED NUMBER OF UNITS

**FIGURE 4**



Periwinkle Way West Commercial District  
Redevelopment Policies

**Tarpon Bay Focus Area  
Preliminary Existing Conditions, Issues and Opportunities  
For Review with Planning Department and WRT**

August 2008

1. Limited land area for new commercial development.
2. Potential for redevelopment of the former restaurant property at 708 Tarpon Bay Road for commercial or residential use. Potential acquisition to expand adjoining conservation land.
3. Long term future of Sanibel Post Office property? Current location results in isolated automobile trips. No linkage with adjoining commercial properties. Potential redevelopment in conjunction with vacant adjoining restaurant property.
4. Assembly of small parcels supported by the Sanibel Plan.
5. Potential for coordinated redevelopment with Olde Sanibel Shops.
6. Improved parking and limited potential commercial construction on northern portion of Olde Sanibel Sops.
7. Preservation of two Sanibel Historic Landmarks: Cooper Homestead (Olde Sanibel Shops) and former School for Black Children (Lily & Co.).
8. Recent medical/office redevelopment approved for western parcel of Bailey's Shopping Center Property PUD.
9. Site and building improvements underway at Bailey's Shopping Center.
10. Short and long range potential for major improvements and redevelopment at Bailey's Shopping Center. Potential linkages to adjoining commercial properties to the east on Periwinkle Way.
11. Potential for pedestrian connections between gallery properties located at Tarpon Bay Road and Library Way, including vacant corner parcel, to create a unique mixed commercial center.
12. No commercial traffic access to and from adjoining commercial properties on Sanibel Boulevard.
13. Long term potential western Tarpon Bay shared use path extension and connection between commercial properties (ROW, drainage and environmental constraints).
14. Residential redevelopment potential within Bailey's Shopping Center Property PUD (Alex Alley).
15. Shared use path improvements on east side of Tarpon Bay Road (Define?).
16. Native planting areas to be installed in 2008 as part of Periwinkle Way restoration project?

Figure 2

**TARPON BAY ROAD FOCUS AREA  
EXISTING CONDITIONS AND PERMITTED COMMERCIAL REDEVELOPMENT  
PERIWINKLE WAY WEST COMMERCIAL DISTRICT PLAN**

Source: Planning Department  
July 2008

| Address             | Commercial Center/<br>Establishment   | Existing<br>Zoning        | Parcel(s) Size<br>(Sq. Ft.) | Permitted<br>Commercial<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial/<br>Nonresidential<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial<br>Units | Existing<br>Residential<br>Units<br>(Vacant) | Existing<br>Parking<br>Spaces | Year<br>Built |
|---------------------|---------------------------------------|---------------------------|-----------------------------|---------------------------------------|--|--|--|-------------------------------|---------------|
| 520 Tarpon Bay Road | Lily & Co.                            | Town Center Gen<br>(TCG)  |                             |                                       | 2,400  | 1  |  |                               |               |
| 2477 Periwinkle Wah | Bailey's Shopping Ctr.                | PUD<br>(East parcel)      |                             |                                       | 49,530   | 15   | 9  |                               |               |
| N/A                 | Vacant                                | PUD<br>(West parcel)      |                             |                                       | Vacant   | N/A  |  |                               |               |
| 630 Tarpon Bay Road | Olde Sanibel Shoppes                  | TCG                       |                             |                                       | 5,266<br>(3,275)   | 5<br>(3)   | 1  |                               |               |
| 650 Tarpon Bay Road | U.S. Post Office                      | TCG                       |                             |                                       | 6,000  | N/A  |  |                               |               |
| 708 Tarpon Bay Road | Vacant (Restaurant)                   | TCG                       |                             |                                       | (2,880)  | (1)  | 1  |                               |               |
| 751 Tarpon Bay Road | Tower Gallery<br>Sweet Melissa's Cafe | Town Center Ltd.<br>(TCL) |                             |                                       | 2,000  | 2  |  |                               |               |
| 2490 Library Way    | Hirdie Girdie Gallery                 | TCL                       |                             |                                       | 1,000  | 1  |  |                               |               |
| 2480 Library Way    | Tin Can Alley Gallery                 | TCL                       |                             |                                       | 500  | 1  | 1  |                               |               |
| 2470 Library Way    | Sanibel Glass & Mirror                | TCL                       |                             |                                       | 2,000  | 1  |  |                               |               |

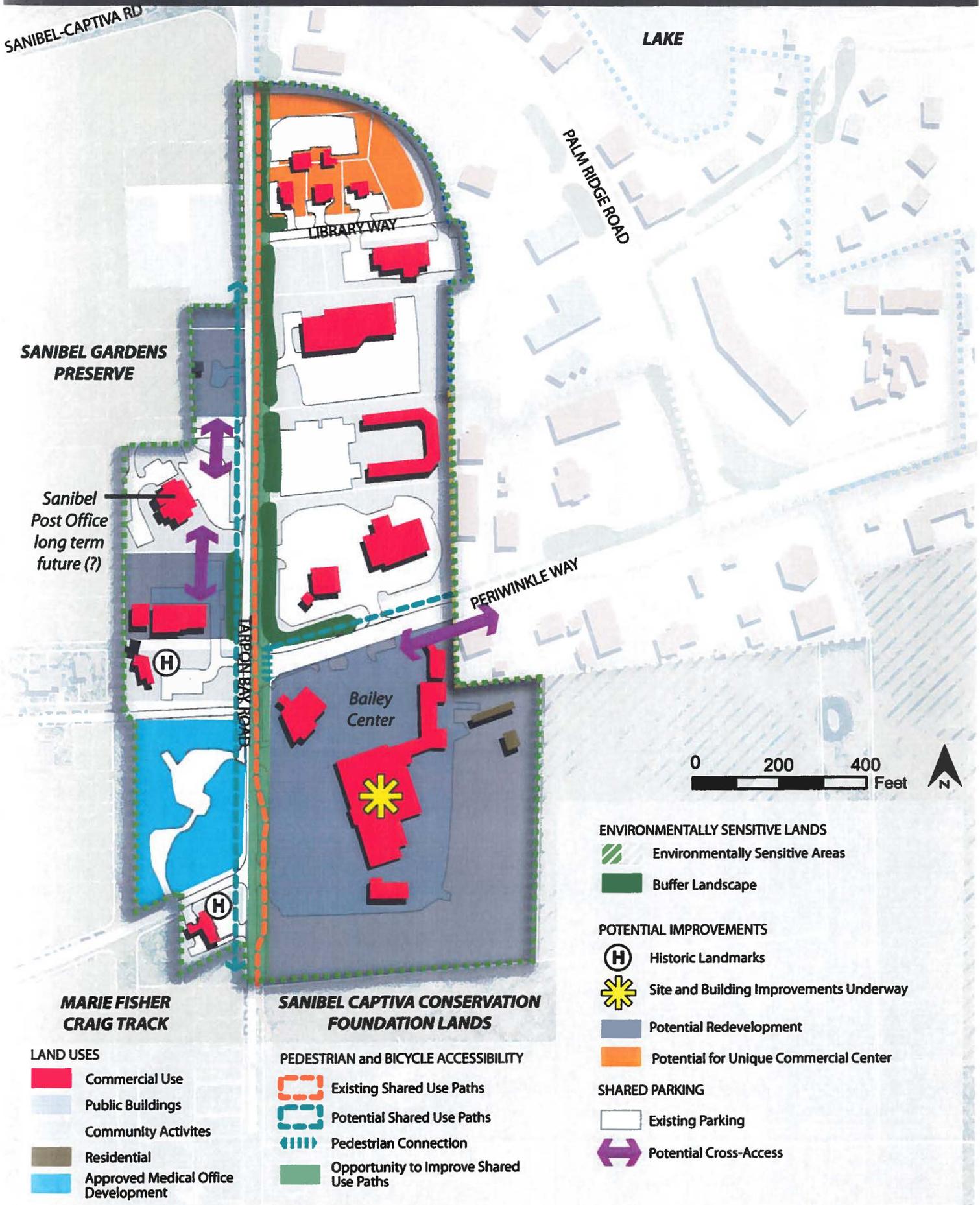
Figure 2 (Cont.)

**TARPON BAY ROAD FOCUS AREA  
EXISTING CONDITIONS AND PERMITTED COMMERCIAL REDEVELOPMENT  
PERIWINKLE WAY WEST COMMERCIAL DISTRICT PLAN**

Source: Planning Department  
July 2008

| Address             | Commercial Center/<br>Establishment | Existing<br>Zoning | Parcel(s) Size<br>(Sq. Ft.) | Permitted<br>Commercial<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial/<br>Nonresidential<br>Floor Area | Existing<br>Occupied/<br>(Vacant)<br>Commercial<br>Units | Existing<br>Residential<br>Units<br>(Vacant) | Existing<br>Parking<br>Spaces | Year<br>Built |
|---------------------|-------------------------------------|--------------------|-----------------------------|---------------------------------------|--|--|--|-------------------------------|---------------|
| 2475 Library Way    | Sanibel Captiva<br>Community Bank   | TCL                |                             |                                       | 3,500  | 1  |  |                               |               |
| 703 Tarpon Bay Road | Timbers Center                      | TCL                |                             |                                       | 11,750   | 5  |  |                               |               |
| 695 Tarpon Bay Road | Sanibel Promenade                   | TCL                |                             |                                       | 11,250<br>(750)  | 12<br>(1)  |  |                               |               |
| 2450 Periwinkle Way | Bank of America                     | TCL                |                             |                                       | 5,000  | 1  |  |                               |               |
| 2460 Periwinkle Way | Seven-Eleven                        | TCL                |                             |                                       | 2,700  | 1  |  |                               |               |

# Tarpon Bay Road Focus Area Issues & Opportunities



- LAND USES**
- Commercial Use
  - Public Buildings
  - Community Activities
  - Residential
  - Approved Medical Office Development

- PEDESTRIAN and BICYCLE ACCESSIBILITY**
- Existing Shared Use Paths
  - Potential Shared Use Paths
  - Pedestrian Connection
  - Opportunity to Improve Shared Use Paths

- ENVIRONMENTALLY SENSITIVE LANDS**
- Environmentally Sensitive Areas
  - Buffer Landscape
- POTENTIAL IMPROVEMENTS**
- H Historic Landmarks
  - Site and Building Improvements Underway
  - Potential Redevelopment
  - Potential for Unique Commercial Center
- SHARED PARKING**
- Existing Parking
  - Potential Cross-Access

Sanibel  
Periwinkle Way West District

Town Center Focus Area  
Issues and Opportunities

**1. Preserve, Restore and Connect Environmentally Sensitive Lands**

- Preserve unique environmental characteristics of each property
- Incorporate additional green space (in commercial area of Nave property)
- Connect with surrounding environmentally sensitive lands

**2. Maintain, Integrate and Improve Public Spaces**

- Improve roads, sidewalks, open spaces to improve connectivity
- Potential central open space(s) focal point connected to adjoining uses (Nave property)

**3. Enhance and Expand Pedestrian and Bicycle Accessibility**

- Shared use path extension along Dunlop Road
- Opportunities for internal linkages between properties
- Maintain, improve, expand pedestrian and bicycle connections between focus areas

**4. Provide Opportunities for Shared Parking / 5. Continue to Introduce Parking Management Strategies**

Enable vehicular cross access, shared use parking and joint parking management strategies

**6. Support Seasonal Special Events and Provide Safe and Efficient Pedestrian and Vehicular Access and Off – Street Parking**

- Manage special event parking

**7. Retain and Support Island Serving Commercial Uses**

- Retain and Support Island Serving Commercial Uses

**8. Support Mixed-Use Site Plans and Structures Consistent with the Sanibel Plan and Land Development Code**

- Support Mixed-Use Site Plans and Structures Consistent with the Sanibel Plan and Land Development Code

**9. Residential Densities within the Town Center Focus Area shall be Consistent with the Sanibel Plan and Land Development Code**

**10. Below Market Rate Housing**

**11. Improvement and Expansion of the Town Center’s Civic and Cultural Facilities**

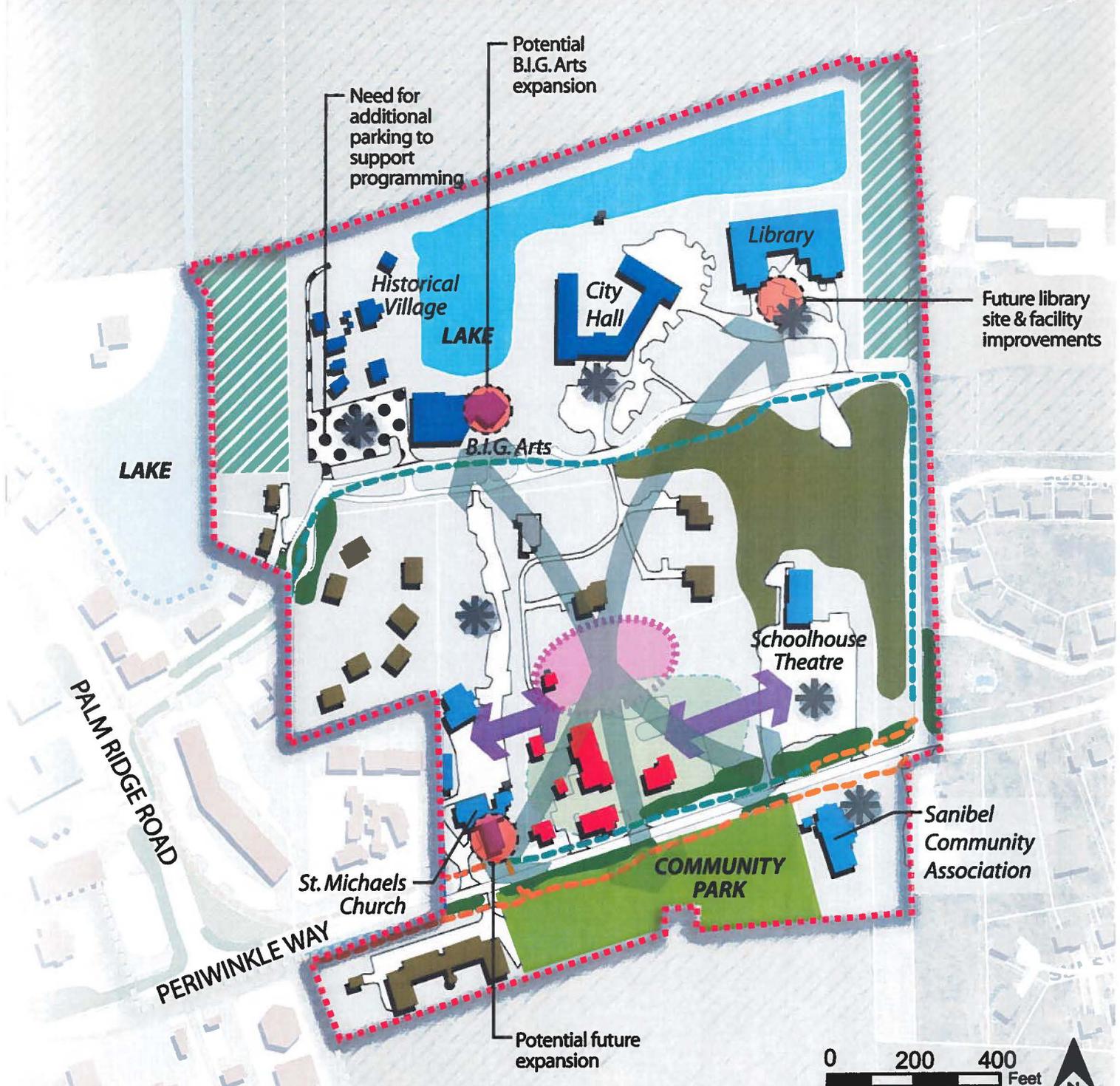
Define strategies for improving and expanding public and community facilities as warranted

**12. Future Town Center Redevelopment shall be Consistent with the City’s adopted Architectural Design and Site Planning Standards and Guidelines**

- Encourage green building and infrastructure design

# Town Center Focus Area

## Issues & Opportunities



- ENVIRONMENTALLY SENSITIVE LANDS AND OPEN SPACES**
- Environmentally Sensitive Areas
  - Significantly Vegetated Areas
  - Buffer Landscape
  - Existing Parks
  - Potential Expansion of Green Space

- PUBLIC SPACES**
- Potential Central Open Space Focal Point
- LAND USES**
- Commercial Use
  - Public Buildings
  - Institutional / Civic Facilities
  - Residential

- PARKING**
- Existing Parking
  - Manage Special Event Parking
  - Potential Cross-Access
- PEDESTRIAN and BICYCLE LINKAGES**
- Existing Shared Use Paths
  - Potential Shared Use Paths
  - Potential Pedestrian Connectivity

**Table 1**  
**Detailed Profile and Summary of Land Development code**  
**Requirements and Zoning Analysis for the Nave Property**

**A. EXISTING CONDITIONS<sup>1</sup>:**

|  |  |
|--|--|
| <b>1. Parcel Size</b>  | 9.7 Acres  |
| <b>2. Ecological Zones</b>   | Lowland Wetlands; Upland Wetlands and Mid Island Ridge   |
| <b>3. Development Intensity (Figure 4)</b><br><i>(See LDC Section 126-976 Applicability of regs. to parcels ... w/ varying residential densities)</i>      | 4.0 DUs/Ac or 1 DUs/.25 Acres<br>2.2 Dus/Ac or 1 DUs/.45 Acres<br>0.3 Dus/Ac or 1 DUs/3.34 Acres   |
| <b>4. Existing Land Uses (Figure 5)</b><br>Residential<br>Commercial (Sanibel Square Center)   | 3 Single Family Residential Units<br>16,891sf Commercial Floor Area  |
| <b>4. Commercial Zones</b><br><i>(See Attachment 4)</i>  | Town Center General (TCG)<br>5.4 Acres @ 12% Floor Area Ratio  |
| <b>6. Permitted Land Uses</b><br>Residential<br><i>(See Attachment 5)</i><br><br>Commercial <i>(See LDC Ch 126; Art VIII)</i><br><i>(See Attachment 4)</i> | Single Family and Two Family<br>Multi-Family <i>(w/in 400' of Periwinkle not in Lowlands)</i><br>Cluster Housing <i>(See LDC Section 86; Art III; Div 3)</i><br>Below Market Rate Housing <i>(See LDC Chapter 102)</i><br>All Permitted Commercial Uses<br><i>(LDC Article VIII, division 3)</i> |

**B. PERMITTED DEVELOPMENT**

|  |   |
|--|---|
| <b>1. Residential<sup>2</sup> (See Figure 4)</b><br>4.0 Acres @ 4.0 Dus/Acre<br>2.9 Acres @ 2.2 DUs/Ac<br>2.6 Acres @ 0.3 DUs/Ac<br><b>Total (See LDC Section 126-976)<sup>3</sup></b> | 16 Dwelling Units<br>6.4 Dwelling Units<br>0.8 Dwelling Units<br><b>23 Dwelling Units</b>   |
| <b>2. Commercial</b><br><i>(See Attachment 4)</i>  | <b>28,000sf of Commercial Floor Area</b><br><i>(See LDC Ch 126; Art VIII Permitted &amp; Conditional Uses)</i>  |
| <b>3. Combined Residential &amp; Commercial<sup>3</sup></b><br><i>(Conditional Use - See LDC Section 126.87)</i>   | 1 Du, in addition to the 4 Dus permitted outside the TCG District, can be developed for every 1,000sf reduction of permitted com. floor area (not to exceed the total of 23 Dus for the entire 9.5 acre parcel). Ergo:<br><b>23 Dus &amp; 9,000sf of Com. Floor Area</b><br><b>to</b><br><b>5 Dus &amp; 27,000sf of Com. Floor Area</b> |

<sup>1</sup> Total acreage and leasable square feet defined by Appraisal Report prepared by Carlson Norris and Associates, Inc., April 14, 2006.

<sup>2</sup> Based on the analysis completed by bean, Whitaker, Lutz & Kareh, Inc. (December 2007)

<sup>3</sup> Survey and site plan required for computation of specific permitted residential density and commercial floor area.

**Figure 5**

**Aerial Photograph of Nave Property  
Existing Conditions, Uses and Facilities**



**Summary of Current Commercial Land Use Regulations  
by Commercial District**

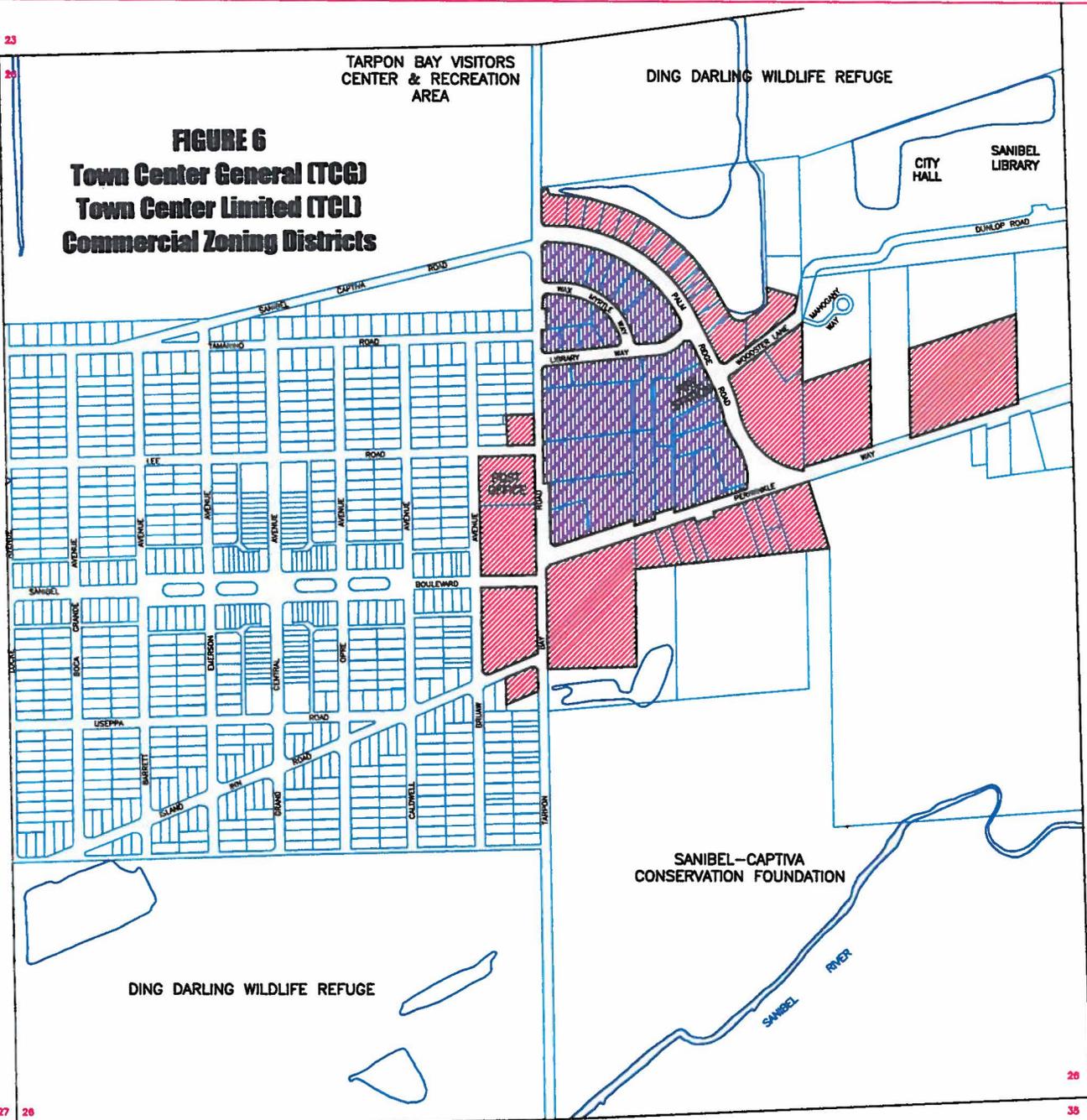
| <b>Commercial Land Use Regulations</b>       | <b>General Commercial District</b>  | <b>Town Center General Commercial District</b>                          | <b>Town Center Limited Commercial District</b>  |
|--|---|---|---|
| <b>Permitted Uses</b>                        | All commercial uses, except for conditional uses, that are permitted in the City of Sanibel<br>Sec. 126-491 | Same as General District<br>Sec. 126-511                                | Same as General District, except that Apparel, Children's Wear, Gift and Jewelry stores are prohibited Sec. 126-531 |
| <b>Conditional Uses</b>                      | All conditional uses that are permitted in the City of Sanibel<br>Sec. 126-492                              | Same as General District<br>Sec. 126-512                                | Same as General District<br>Sec. 126-532  |
| <b>Maximum Floor Area Ratio</b>              | 10% for parcels larger than 20,000sf<br>5% for all other parcels<br>Sec 124-494(a)                          | 12% for parcels >20,000sf<br>5% for all other parcels<br>Sec 126-514(a) | Same as Town Center General District<br>Sec 126-534(a)  |
| <b>Height</b>                                | 45 feet above mean sea level<br>Sec 126-494(b)  | Same as General District<br>Sec. 126-514(b)                             | Same as General District<br>Sec. 126-534(b)   |
| <b>Front Yard Setbacks</b>                   | 100 feet from centerline of major roads<br>50 feet from centerline of local roads<br>Sec. 126-494(c)        | Same as General District<br>Sec. 126-514(c)                             | Same as General District<br>Sec. 126-534(c)   |
| <b>Side Yard Setbacks</b>                    | 25 feet for parcel with >125' of road frontage<br>15 feet all other parcels<br>Sec. 126-494(d)              | Same as General District<br>Sec. 126-514(d)                             | Same as General District<br>Sec. 126-534(d)   |
| <b>Rear Yard Setbacks</b>                    | 20 feet<br>Sec. 126-494(d)  | Same as General District<br>Sec. 126-514(d)                             | Same as General District<br>Sec. 126-534(d)   |
| <b>Coverage with Impermeable Surfaces</b>    | 45% of lot area<br>Sec 126-494(e)   | Same as General District<br>Sec. 126-514(e)                             | Same as General District<br>Sec. 126-534(e)   |
| <b>Developed Area and Vegetation Removal</b> | 50% of lot area<br>Sec 126-494(f)   | Same as General District<br>Sec. 126-514(f)                             | Same as General District<br>Sec. 126-534(f)   |

Notes: Off-street Parking Requirements are not included in this table.

Sections of the Land Development Code are cited for reference to the full list of permitted and conditional uses and the complete statement of the development regulations.

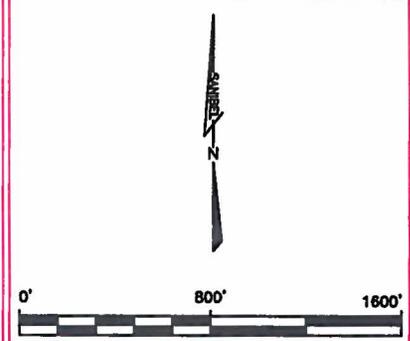
Consult with Land Development Code, Chapter 126. Zoning, Article XIV. Supplementary District Regulations, Division 5 Commercial Uses Generally regarding the following regulations pertaining to: commercial unit size; economic and traffic impacts; maximum size of commercial buildings; formula retail; architectural standards; site planning standards; and standards for compatibility with wildlife habitat, conservation land and residential areas.

**FIGURE 6**  
**Town Center General (TCG)**  
**Town Center Limited (TCL)**  
**Commercial Zoning Districts**

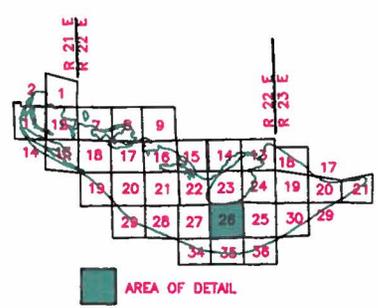


**LEGEND**

- PROPERTY LINES
- EDGE OF WATER
- GENERAL COMMERCIAL DISTRICT
- TOWNCENTER GENERAL COMMERCIAL DISTRICT
- TOWNCENTER LIMITED COMMERCIAL DISTRICT



**KEY MAP**



| SECTION | TOWNSHIP | RANGE |
|---------|----------|-------|
| 26      | 46S      | 22E   |

**COMMERCIAL ZONING MAP**

COMPILED BY:  
 Dean Whitaker, Lutz & Korsh, Inc. (68949)  
 ENGINEERS-SURVEYORS-PLANNERS  
 12811 WINDWARD WALKWAY - SUITE 1, WEST PALM BEACH, FLORIDA 33411-3211  
 (561) 841-1211



## Summary of Permitted Residential Uses and Required Conditions for Residential Districts

Source: LDC Chapter 126 Zoning, Article VII, Residential Districts

Planning Department  
February 2008

| Residential Districts       | Permitted Residential Uses                                  | Minimum Lot Area                                      | Maximum Height <sup>1</sup> | Front Yard Setback                     | Side Yard Setbacks | Rear Yard Setback | Setback from Open Water Bodies | Coverage (Impermeable Surface)                                 | Vegetation - Removal and Developed Area                        |
|-----------------------------|---|---|-----------------------------|--|--------------------|-------------------|--------------------------------|--|--|
| E-1 Blind Pass Area Zone    | 1 Family DU<br>Duplex DU<br>Cluster Dev.                    | 20,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 25% of Lot Area  | 30% of Lot Area  |
| E-2 Gulf Beach Ridge Zone   | 1 Family DU<br>Duplex DU<br>Cluster Dev.<br>Multi-Family DU | 20,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 25% of Lot Area  | 30% of Lot Area  |
| D-1 Lowlands Wet Lands Zone | 1 Family DU<br>Cluster Dev.                                 | 20,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 15% of Lot Area  | 20% of Lot Area  |
| D-2 Uplands Wetlands Zone   | 1 Family DU<br>Duplex DU<br>Cluster Dev.<br>Multi-Family DU | 15,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 25% of Lot Area  | 30% of Lot Area  |
| F – Mid-Island Ridge Zone   | 1 Family DU<br>Duplex DU<br>Cluster Dev.<br>Multi-Family DU | 10,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 30% of Lot Area  | 35% of Lot Area  |
| C – Mangrove Forest Zone    | 1 Family DU   | 20 acres or<br>20,000 Sq. Ft. for<br>existing parcels | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 1% of Lot Area   | 2% of Lot Area   |
| G – Altered Land Zone       | 1 Family DU<br>Duplex DU<br>Cluster Dev.<br>Multi-Family DU | 10,000 Sq. Ft.  | 35 Ft.                      | 50 Ft. Local Rds.<br>75 Ft. Major Rds. | 10 Ft.             | 10 Ft.            | 20 Ft.                         | 35% (Lot ≤<br>10,000 Sq. Ft.)<br>30% (Lot ><br>10,000 Sq. Ft.) | 40% (Lot ≤<br>10,000 Sq. Ft.)<br>30% (Lot ><br>10,000 Sq. Ft.) |

<sup>1</sup>Maximum Height for Multi-family buildings in the Resort Housing District is 45 ft.  
See Angle of Light, Chimney, Gable Ends, Dormer and Other Architectural Features

### ATTACHMENT 5

**Summary of Permitted Residential Uses  
and Required Conditions for  
Residential Districts**

# Maps

Tax Appraisal Assessments; Planning Department

Town Center Commercial Area; Beon, Whitaker,  
Lutz & Kareh

Commercial Zoning Map; Beon, Whitaker, Lutz &  
Kareh

*October 21, 1996* Sanibel Town Center; Wallace,  
Roberts, & Todd

*October 24, 1996* Town Square Conceptual Design  
*June 6, 2000* Sanibel Town Center; Wallace, Roberts,  
& Todd

*July 28, 2000* Existing Land Uses; Planning  
Department



1,165,000-land  
 450,490-imp.  
 # 1,615,490-

240,000-land  
 284,960-imp  
 # 525,960-

Not Assessed

384,000-

40,000  
 23,970  
 # 63,970

80,000  
 20,930  
 # 100,930

121,080-  
 200,490-  
 # 321,570

# 161,200-

Appraisal Assessments



1,165,000 - land  
 450,490 - imp.  
 \$ 1,615,490 -

240,000 - land  
 284,960 - imp.  
 \$ 525,960 -

Not Assessed

384,000 -

|                  |                  |                        |
|------------------|------------------|------------------------|
| 40,000<br>23,970 | 80,000<br>20,930 | 121,080 -<br>200,490 - |
| \$40,000 -       | \$63,970 -       | \$100,930 -            |
|                  |                  | \$321,570 -            |
|                  |                  | \$161,200 -            |

Appraisal Assessments

Name 26-46-22-T2 - 00009.0000  
 Theater site 00010.0000  
 Com. Ass 00011.0000  
 00012.0000  
 00013.0000  
 00014.0000  
  
 Paulsen 26-46-22-T3 - 00004.0090  
  
 Com. Ass. 25-46-22-T1 - 00002.0010

Total - Charles Nave  
 1,615,490  
 Bldg 450,490 Land \$ 1,165,000  
 S.C.A.  
 525,960, Bldg 284,960 Land 240,000  
 S.C.A.  
 321,570 Bld 200,490 Land 121,080  
 Gerald Lauer  
 100,930 B-20,930 Land 80,000  
 Robert Beckus  
 63,970 B-23,970 Land 40,000  
 G Lauer  
 VACANT - 40,000 LAND  
  
 G. Paulsen  
 Vacant \$ 384,000  
  
 S.C.A.  
 161,200 Vacant

OWNER

Assess. Value

Land Value

Imp Value

Total Value

8 properties

Gerry Bell

339-6150

(Roy)

T1

1/1

2.89 AC  
USA

3/13

5.17 AC  
USA

SECF

3/200

18.34 AC

3

1

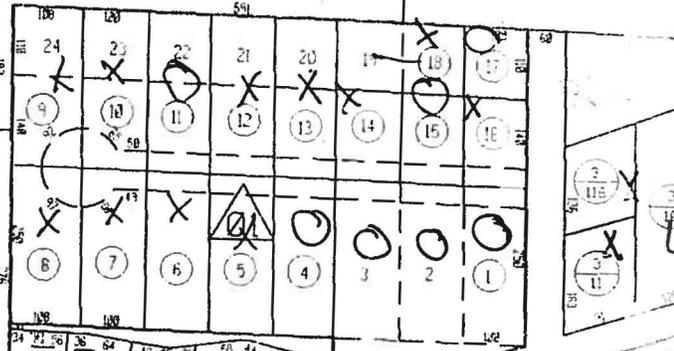
5.43 AC

3/12

22.85 AC

City

City



3/100

3.90 AC

City

22/22

5/4

4.32 AC

5/2A

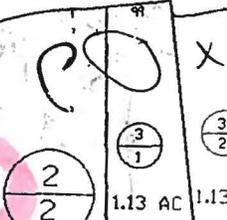
3.38 AC

3/4

6.89 AC

5/2

6.67 AC



1.13 AC

1.13 AC

1.5 AC

2.92 AC

3/408

3/409

3/434

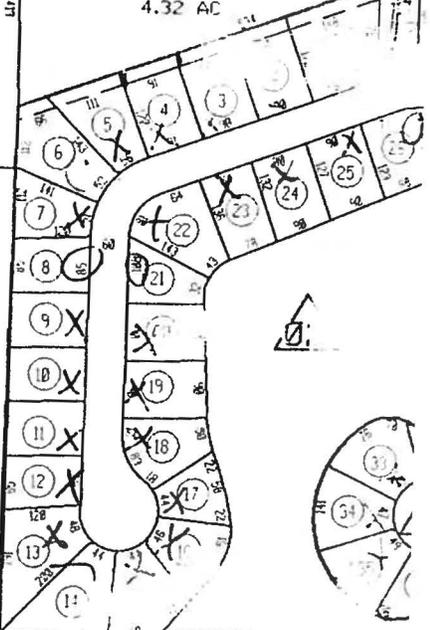
3/407

3/406

3/401

3/402

3/403



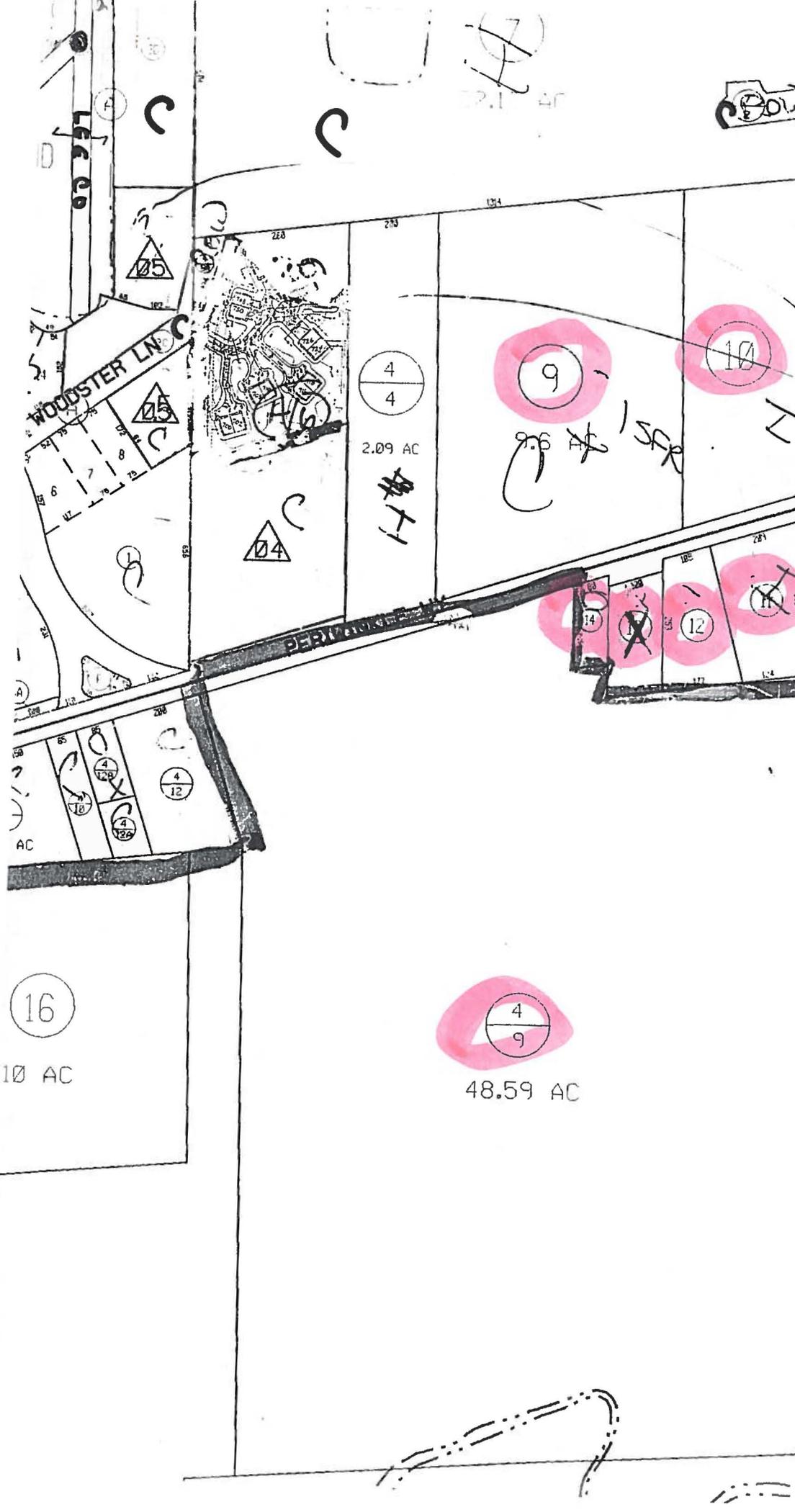
23

11.7 AC

SECF

A SECF

LAND 1/4 - NW 1/4 - SW 1/4 SECTION 25



- SANIBEL PROFESS
- VILLAGE OF SANI
- LAKE PALMS C
- TOWN CENTER PROFESSIONAL PI

T4

- SANIBEL GARDEN PB.7/15
- SANIBEL GARDEN PB.7/17

**12** HC

**T3**

16

10 AC

48.59 AC

4  
4

2.09 AC

9

10

11

12

14

4  
12  
4  
12

# Maps

Tax Appraisal Assessments; Planning Department

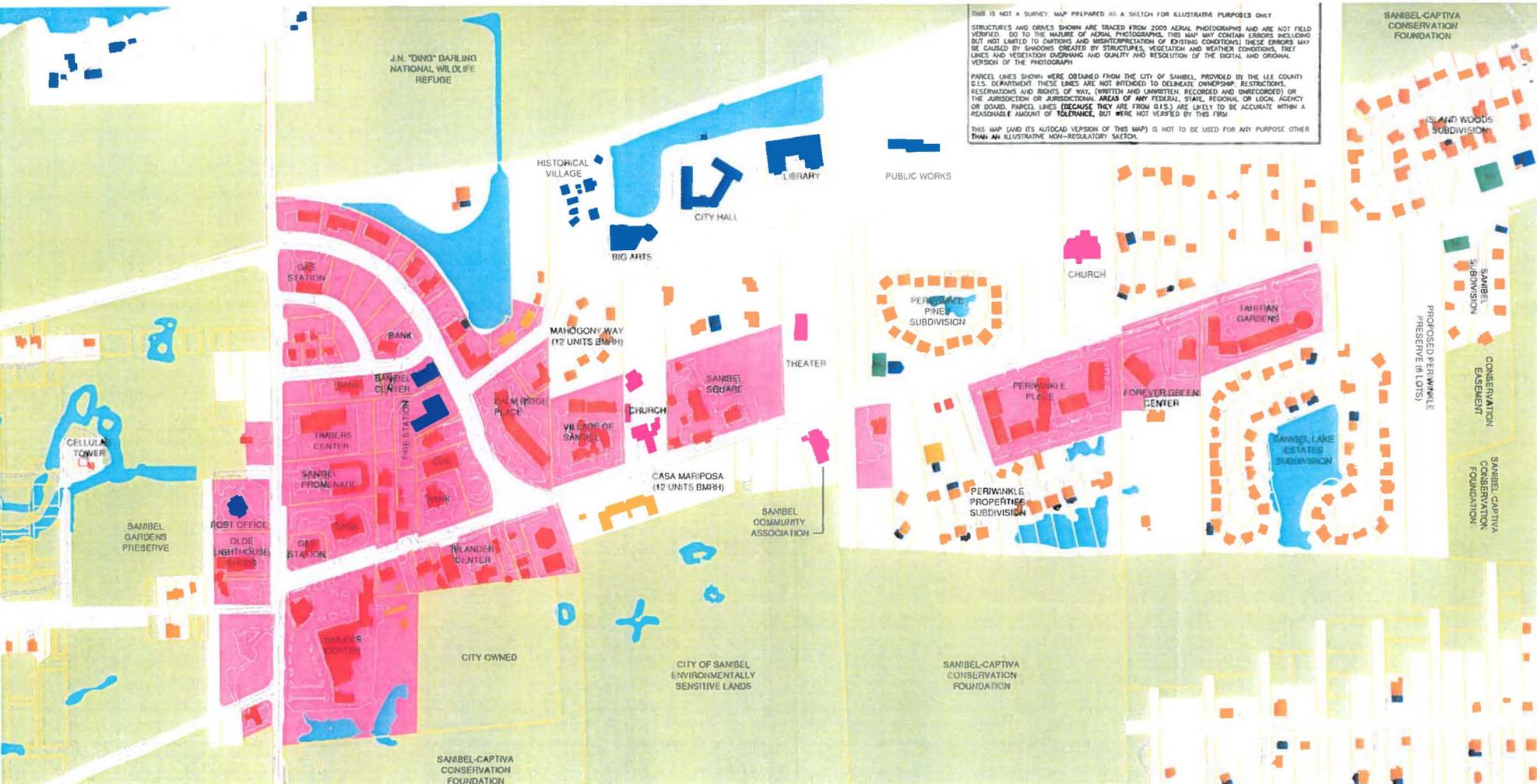
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Lutz & Kareh

Commercial Zoning Map; Beon, Whitaker, Lutz &  
Kareh

*October 21, 1996* Sanibel Town Center; Wallace,  
Roberts, & Todd

*October 24, 1996* Town Square Conceptual Design  
*June 6, 2000* Sanibel Town Center; Wallace, Roberts,  
& Todd

*July 28, 2000* Existing Land Uses; Planning  
Department



NOT TO SCALE

COMPILED BY  
 Deon, Whitaker, Lutz & Kohn, Inc. 03-0113  
 ENGINEERS-SURVYORS-PLANNERS  
 541 WOODROW BOULEVARD, FORT MYERS, FLORIDA 33919-5910  
 (889) 461-1331

# TOWNCENTER COMMERCIAL AREA AND WESTERN SEGMENT OF PERIWINKLE WAY CORRIDOR

- LAND USES AND COMMERCIAL ZONING**
- COMMERCIAL USE
  - COMMERCIAL ZONED LANDS
  - PUBLIC FACILITY USE
  - INSTITUTIONAL USE
  - RESIDENTIAL USE  
SINGLE-FAMILY AND DUPLEX UNITS
  - RESIDENTIAL USE  
MULTI-FAMILY UNITS
  - CONSERVATION USE



# Maps

Tax Appraisal Assessments; Planning Department

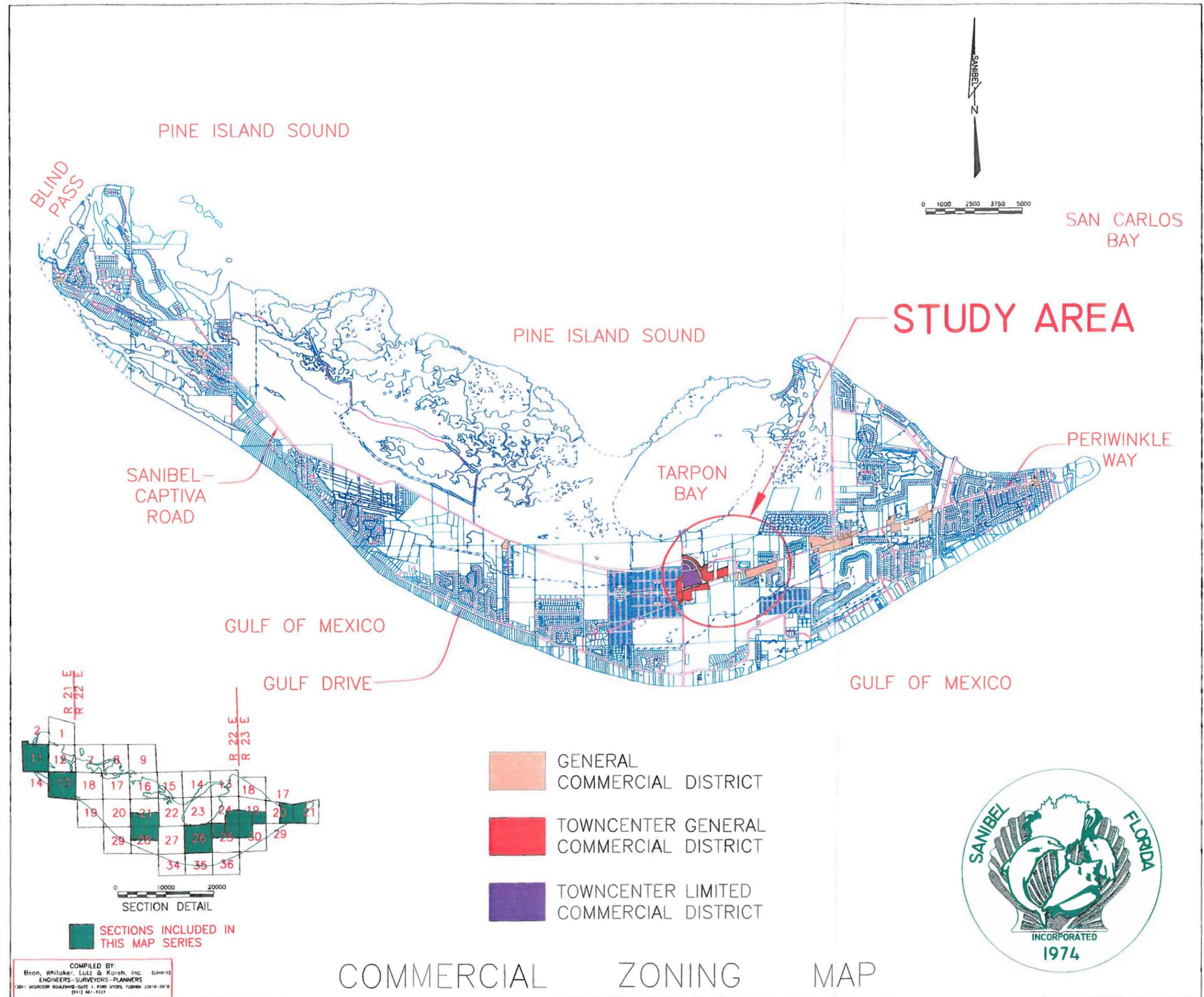
Town Center Commercial Area; Beon, Whitaker,  
Lutz & Kareh

Commercial Zoning Map; Beon, Whitaker, Lutz &  
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*October 21, 1996* Sanibel Town Center; Wallace,  
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& Todd

*July 28, 2000* Existing Land Uses; Planning  
Department



COMPILED BY:  
 Bean, Whitaker, Lutz & Korsh, Inc. (3348113)  
 ENGINEERS-SURVEYORS-PLANNERS  
 3041 MCCLELLAN BOULEVARD-SUITE 1, FORT MYERS, FLORIDA 33919-5810  
 (813) 481-1333

# COMMERCIAL ZONING MAP

FIGURE 1

# Maps

Tax Appraisal Assessments; Planning Department

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Lutz & Kareh

Commercial Zoning Map; Beon, Whitaker, Lutz &  
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& Todd

*July 28, 2000* Existing Land Uses; Planning  
Department

Ken  
**FAX**

**Date** 10/21/96

**Number of pages including cover sheet** 5

**TO:** Bruce A. Rogers  
Director of Planning  
City of Sanibel

**FROM:** Albert Riddle  
WRT

**Phone** 941.472.4136  
**Fax Phone** 941.472.8826

**Phone** 305.448.0788  
**Fax Phone** 305.443.8431

**CC:**

**REMARKS:**  Urgent  For your review  Reply ASAP  Please Comment

Bruce,

These are the copies of the revised concepts.

Should we show the area South of the Periwinkle as acquired park??

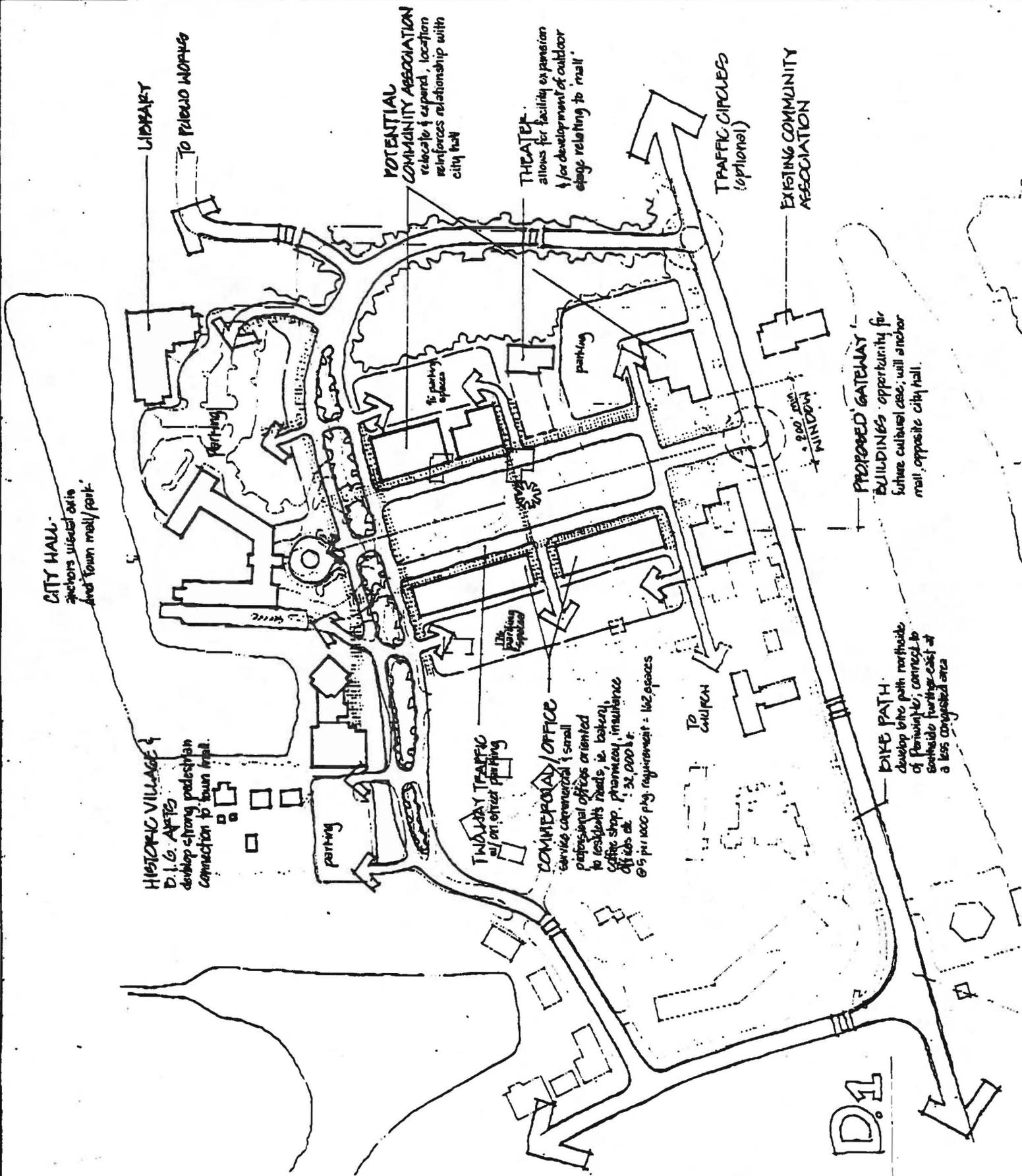
Please call Patrea St. John upon receipt to discuss, thank you.

Albert Riddle

**RECEIVED**  
OCT 21 1996  
Planning Dept.  
City of Sanibel

# MINI-MALL

|              |              |
|--------------|--------------|
| Project Name | MINI-MALL    |
| Date         | 9/26/96      |
| Scale        | 1/4" = 1'-0" |



**CITY HALL**  
anchors western axis  
and town mall/park

**HISTORIC VILLAGE**  
D.I.G. ARTS  
develop strong pedestrian  
connection to town mall.

**INDUSTRY TRADING**  
all on street parking

**COMMERCIAL/OFFICE**  
service commercial & small  
professional offices oriented  
to residents needs, i.e. bakery,  
coffee shop, pharmacy, insurance  
offices etc. 32,000 sq ft  
@ 5 per 1000 pop. requirement - 162 spaces

**POTENTIAL  
COMMUNITY ASSOCIATION**  
relocate & expand, location  
reinforces relationship with  
city hall

**THEATER**  
allows for facility expansion  
& for development of outdoor  
stage relating to mall

**EXISTING COMMUNITY  
ASSOCIATION**

**TRAFFIC CIRCLES  
(optional)**

**PROPOSED GATEWAY  
BUILDINGS** opportunity for  
future cultural use; will anchor  
mall, opposite city hall.

**BIKE PATH**  
develop bike path north/south  
of Perimeter; connect to  
Southside further east at  
a less congested area

**LIBRARY**  
TO PUBLIC WORKS

900 sq ft  
WINDOW

D.1

D.1

CONCEPT

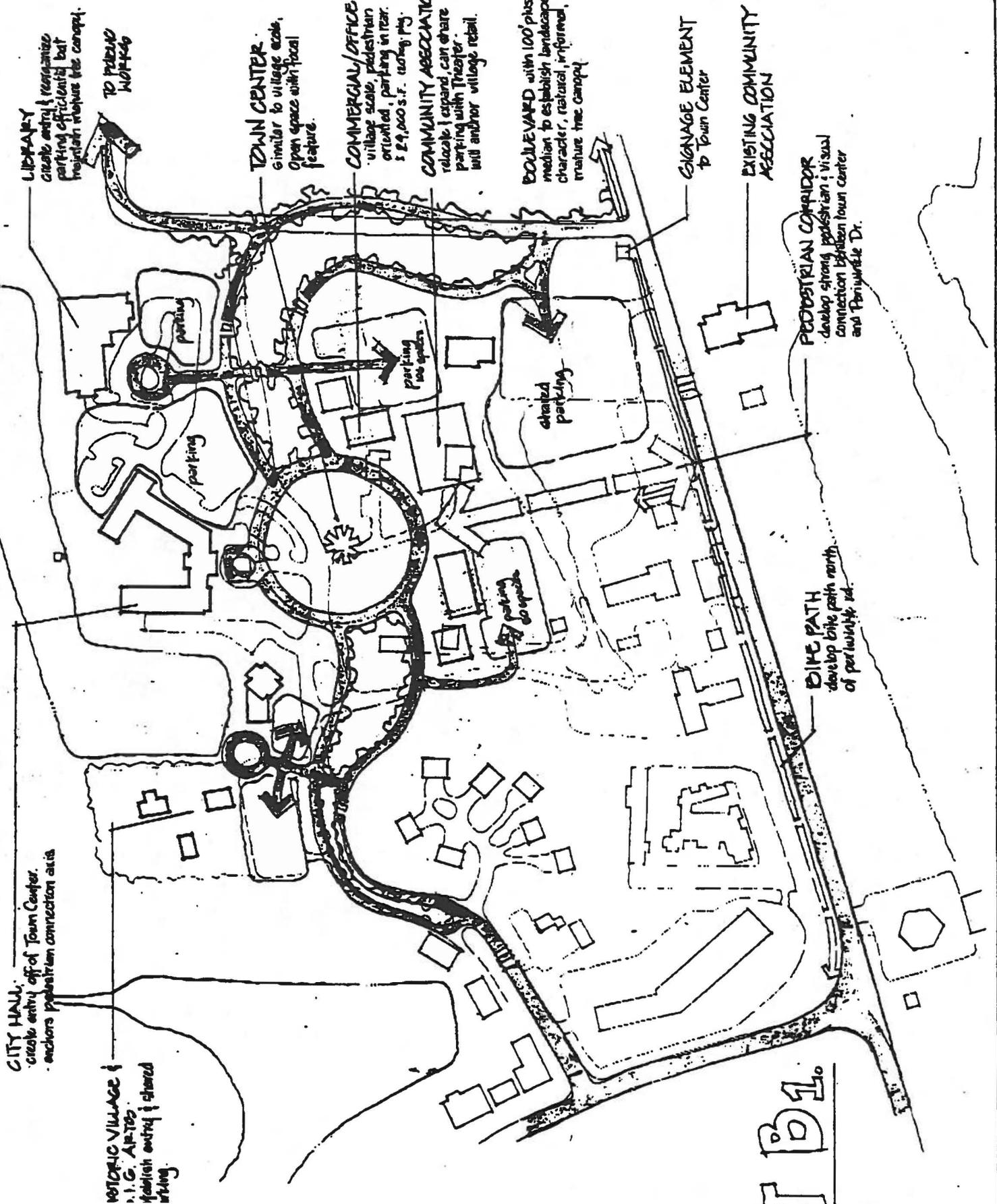
# SAMBEL TOWN CENTER

W/RT

1"=100'

9/26/96

10/1/96



**LIBRARY**  
 create entry & restaurant parking efficient but pedestrian vias the canopy.

TO PARKING WORKS

**TOWN CENTER**  
 similar to village scale, open space with focal feature.

**COMMERCIAL/OFFICE**  
 village scale, pedestrian oriented, parking in rear, 524,000 s.f. existing, new.

**COMMUNITY ASSOCIATION**  
 relocate & expand, can share parking with Theater, build another village retail.

**BOULEVARD** with 100' plus median to establish landscape character, restaurant, informal, mature tree canopy

**SIGNAGE ELEMENT** to Town Center

**EXISTING COMMUNITY ASSOCIATION**

**PEDESTRIAN CORRIDOR**  
 develop strong pedestrian & visual connection between town center and Pennington Dr.

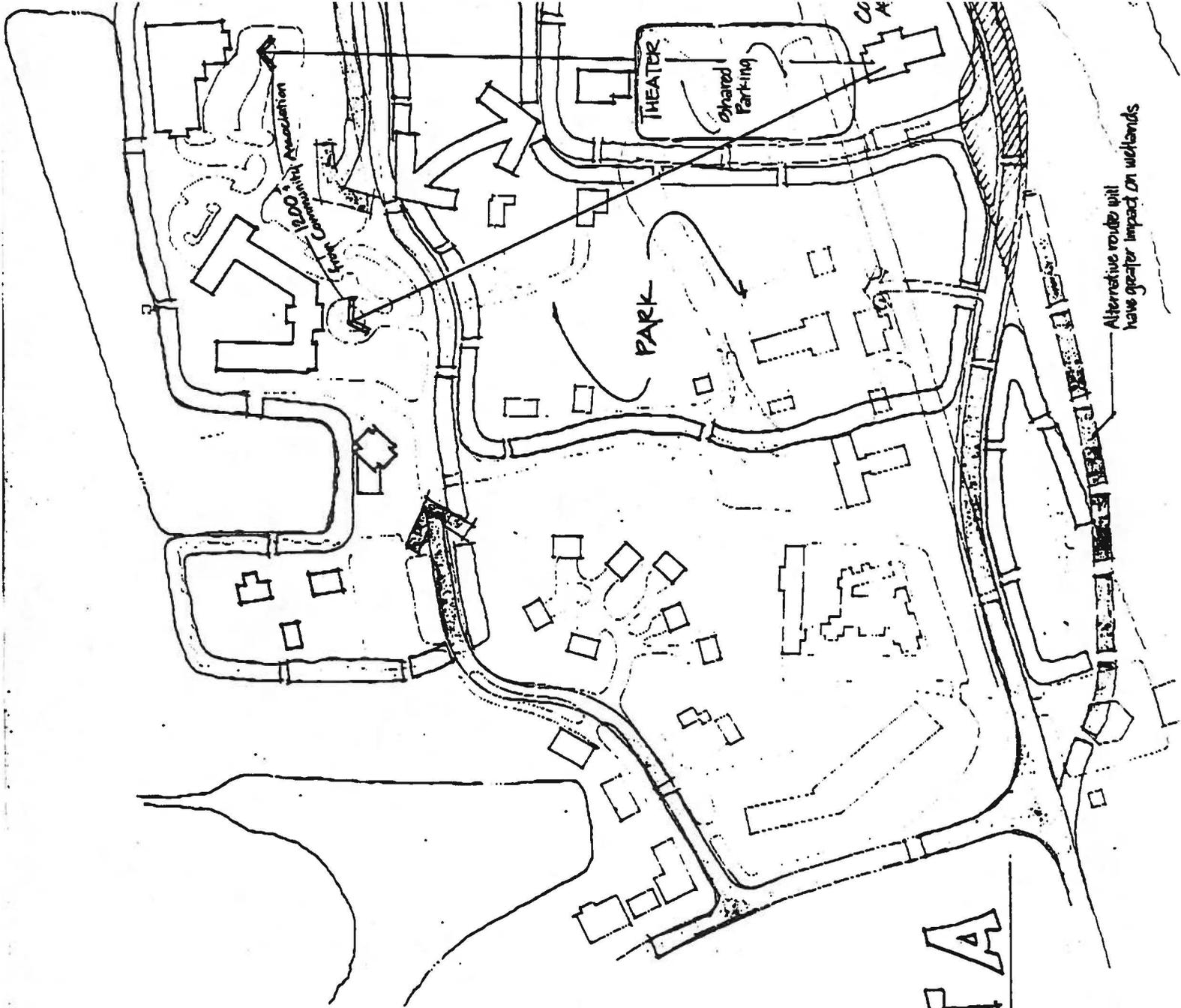
**BIKE PATH**  
 develop bike path north of Pennington rd.

**CITY HALL**  
 create entry off of Town Center, anchors pedestrian connection axis

**HISTORIC VILLAGE** (1.1.6, Art Deco, fashion entry & shared parking)

**IB1.**

CONCEPT



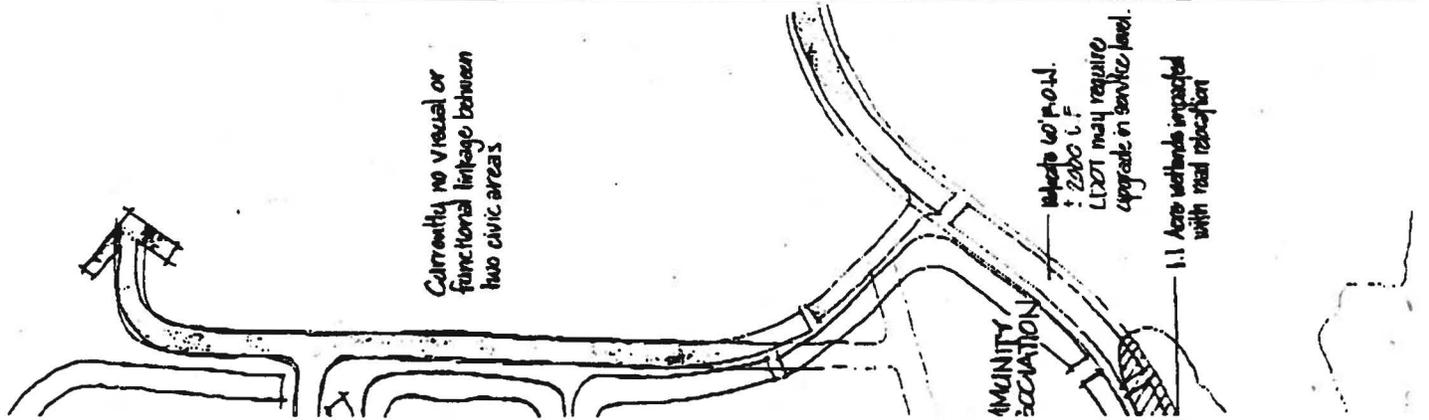
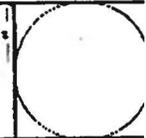
# CONCEPT A

**SANIBEL TOWN CENTER**

WRT  
 Planning &  
 Engineering

1" = 100'

9/26/96



# SANIBEL TOWN CENTER

WRT

1-100

9/26/96

**LIBRARY**  
create an entry off of town center circle. Organize parking & protect mature tree canopy.

To Public Works

**TOWN CENTER**  
town square, open space defined around hub civic bldgs and proposed Community Association Bldg.

**COMMUNITY ASSOCIATION**  
relocate & expand, find anchor for town center.

**THEATER**

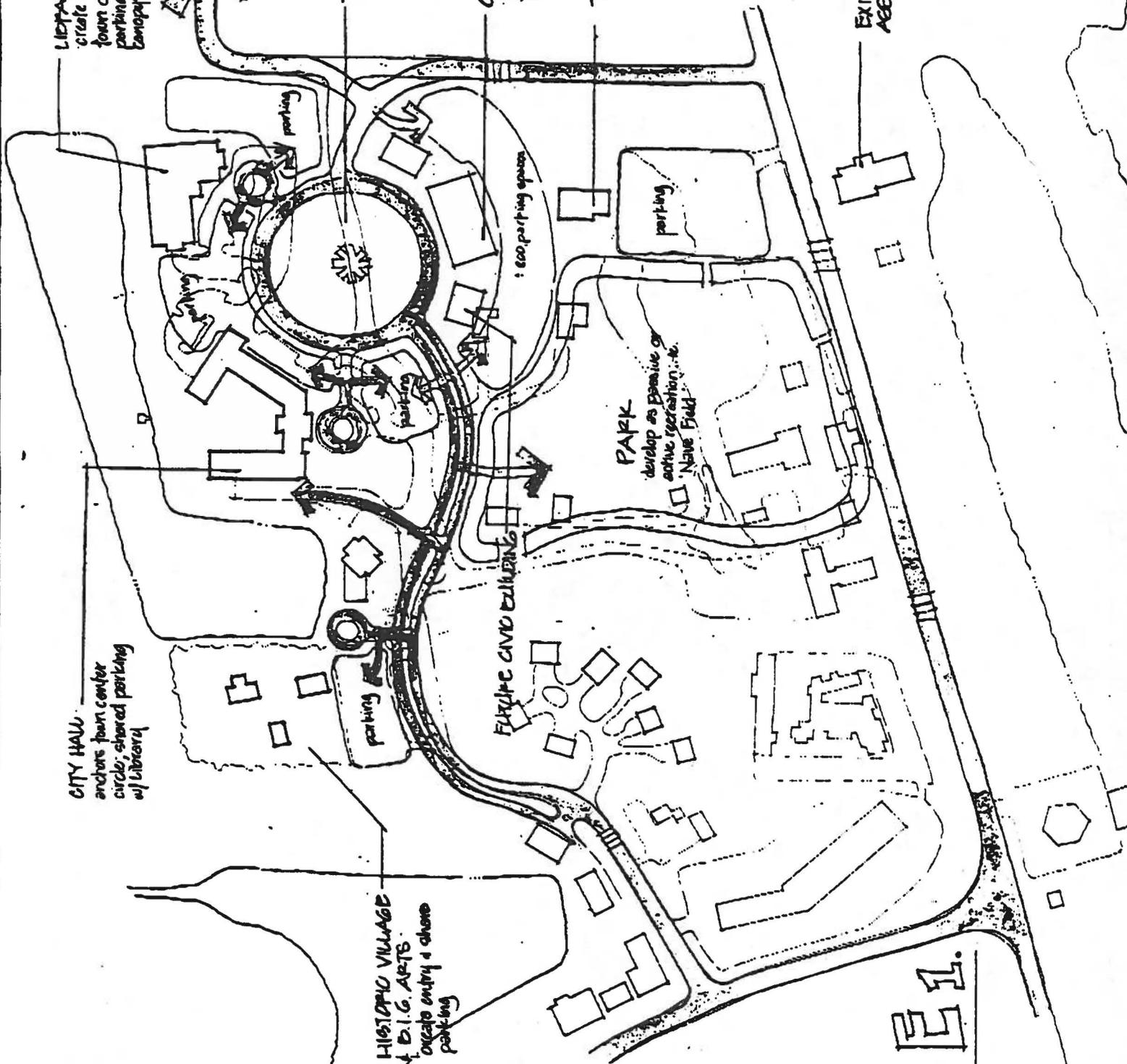
**EXISTING COMMUNITY ASSOCIATION**

**CITY HALL**  
anchors town center circle; shared parking w/ library

**FLORIAN CIVIC BUILDING**

**PARK**  
develop as passive or active recreation, i.e. 'Navy Field'

**HISTORIC VILLAGE**  
D.I.G. ARTS  
create entry & shared parking



# TE1

CONCEPT

# Maps

Tax Appraisal Assessments; Planning Department

Town Center Commercial Area; Beon, Whitaker,  
Lutz & Kareh

Commercial Zoning Map; Beon, Whitaker, Lutz &  
Kareh

*October 21, 1996* Sanibel Town Center; Wallace,  
Roberts, & Todd

*October 24, 1996* Town Square Conceptual Design  
*June 6, 2000* Sanibel Town Center; Wallace, Roberts,  
& Todd

*July 28, 2000* Existing Land Uses; Planning  
Department



# Maps

Tax Appraisal Assessments; Planning Department

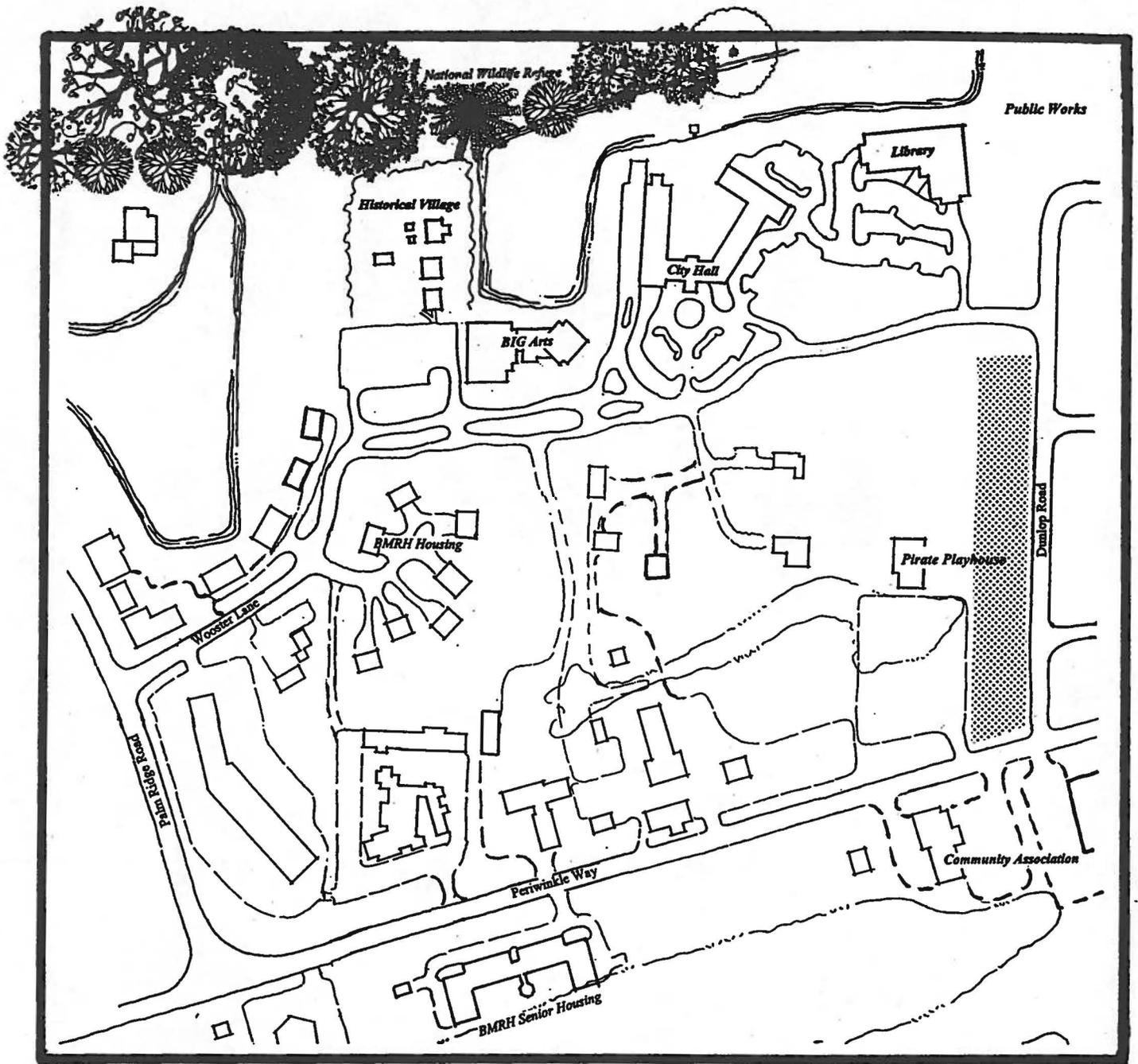
Town Center Commercial Area; Beon, Whitaker,  
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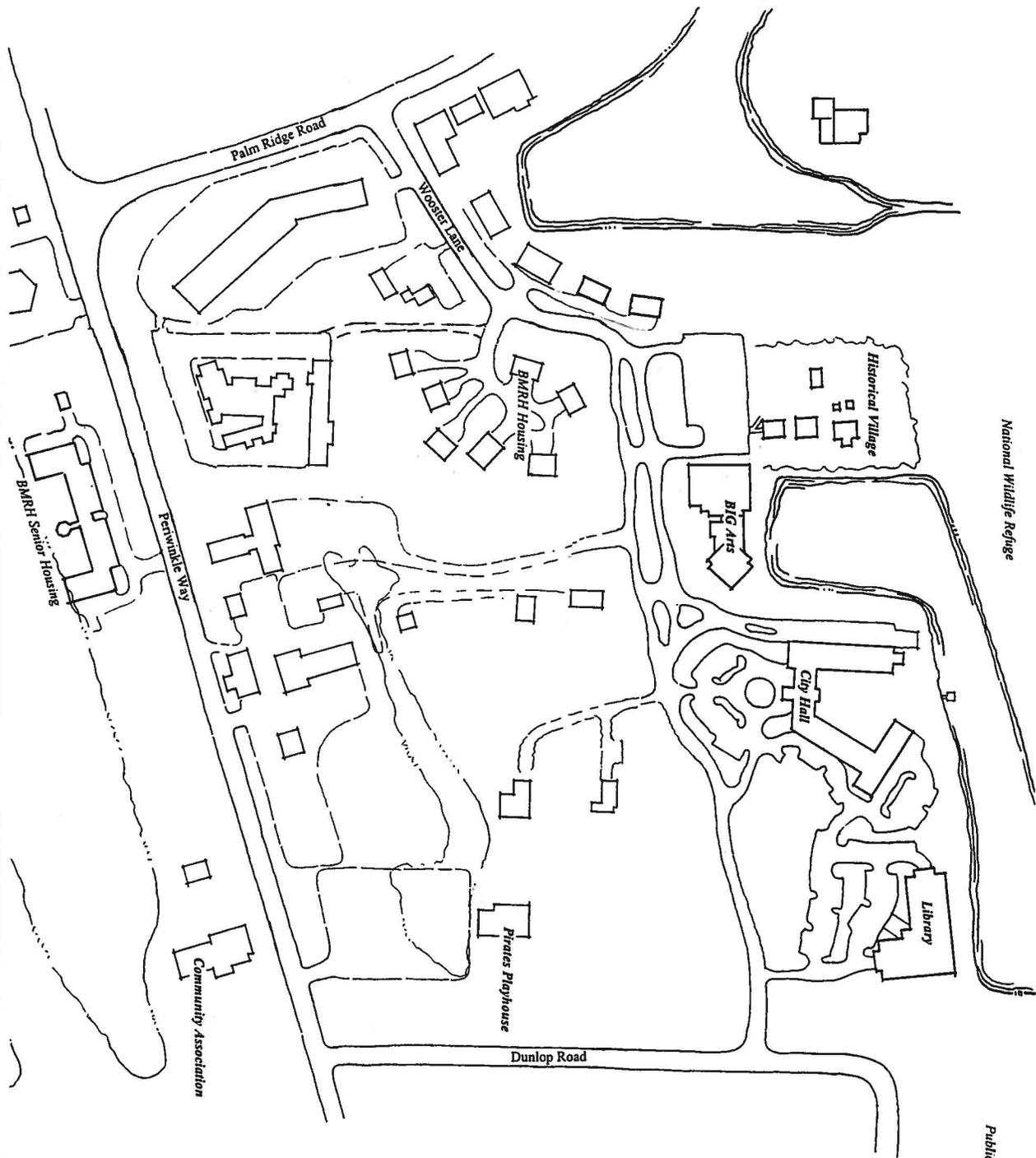
**LAND USES**

-  Commercial
-  Commercial/Residential
-  Public Facilities
-  Multi-Family/Cluster Residential
-  Single Family Residential
-  Roadways
-  Driveways & Parking
-  Residential Open Space
-  Wildlife Refuge
-  Water

**EXISTING LAND USES**

**Sanibel Town Center**

Informational – Non-regulatory Graphic  
by the Planning Department 7-28-00



Updated by the Planning Department 6-6-00

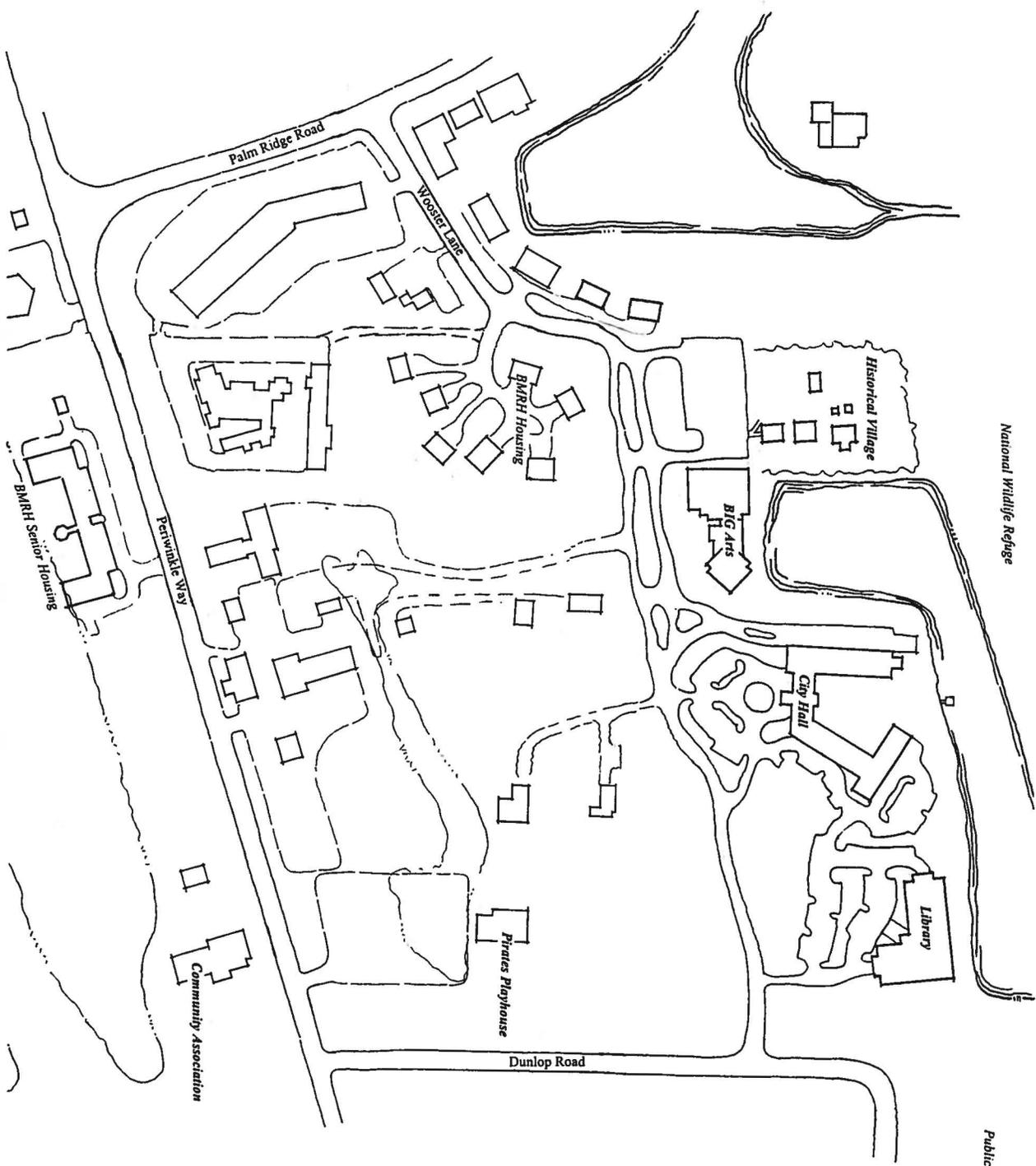


| Sheet No. | Revision | Date | Drawn | Checked |
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| 1/10/00   |          |      |       |         |

Scale: 1" = 200'

**WRT** Wallace  
Roberts &  
Todd  
Architects, Landscape Architects, Urban & Regional Planners

# SANIBEL TOWN CENTER



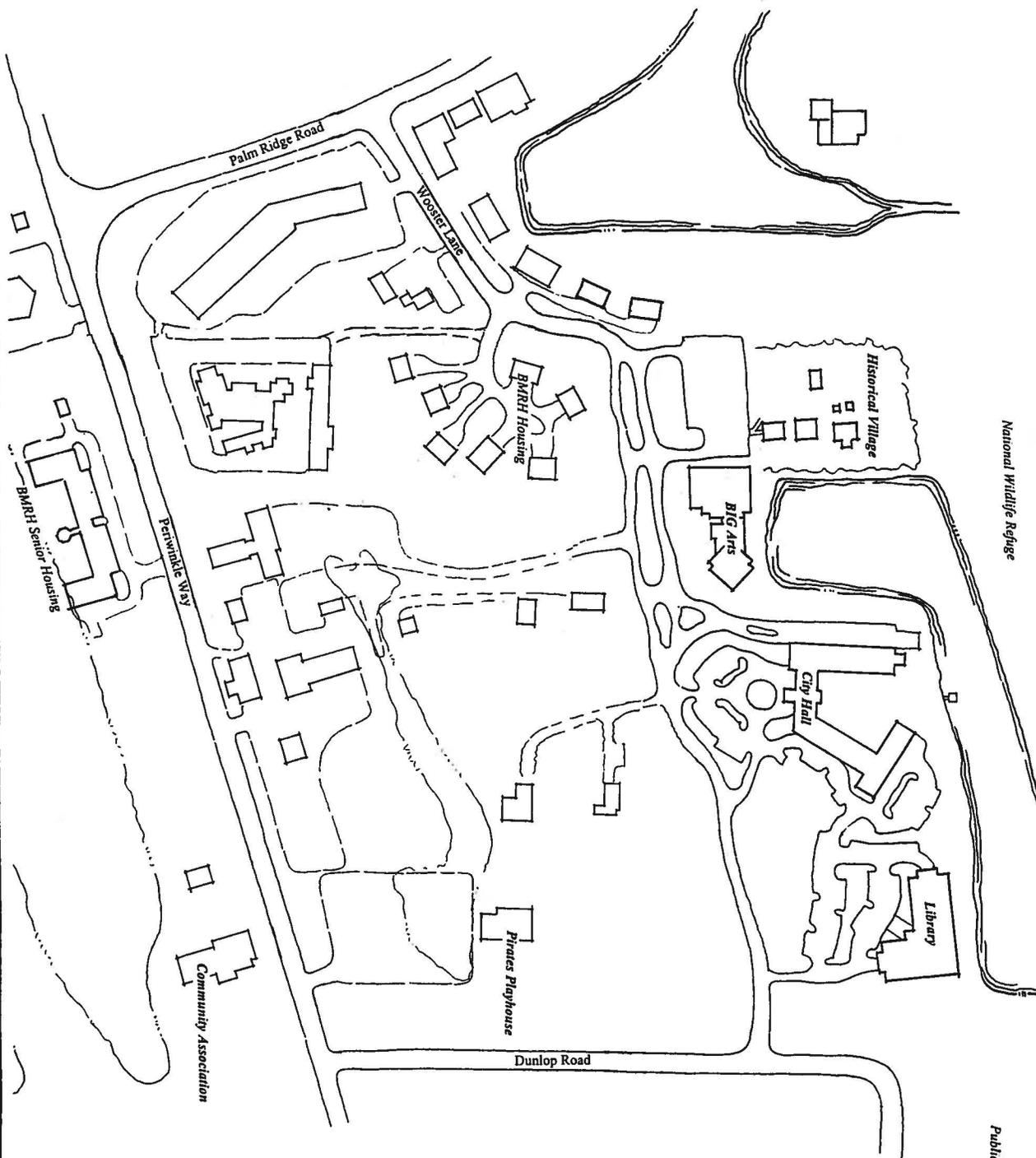
National Wildlife Refuge

Public Works



Updated by the Planning Department 6-6-00

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|--|-----------|---------|-------|---------|--|----------------------------|
|  | Sheet No. | 1/26/00 | Scale | 1"=200' | <b>WRT</b><br>Wallace Roberts & Todd<br><small>Architects, Landscape Architects, Urban &amp; Regional Planners</small> | <b>SANIBEL TOWN CENTER</b> |
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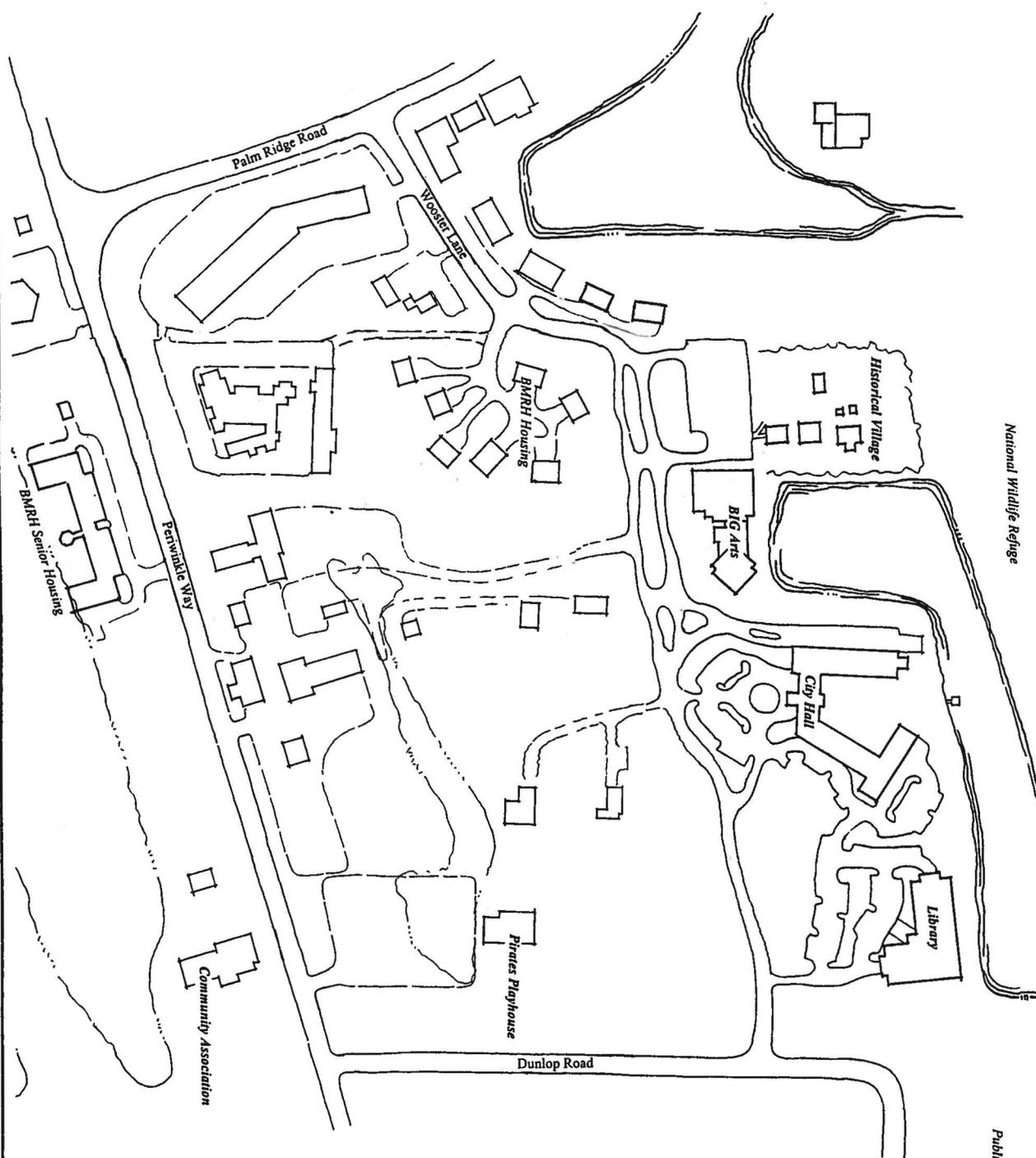


Updated by the Planning Department 6-6-00

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**WRT** Wallace Roberts & Todd  
 Architects, Landscape Architects, Urban & Regional Planners

# SANIBEL TOWN CENTER



National Wildlife Refuge

Public Works

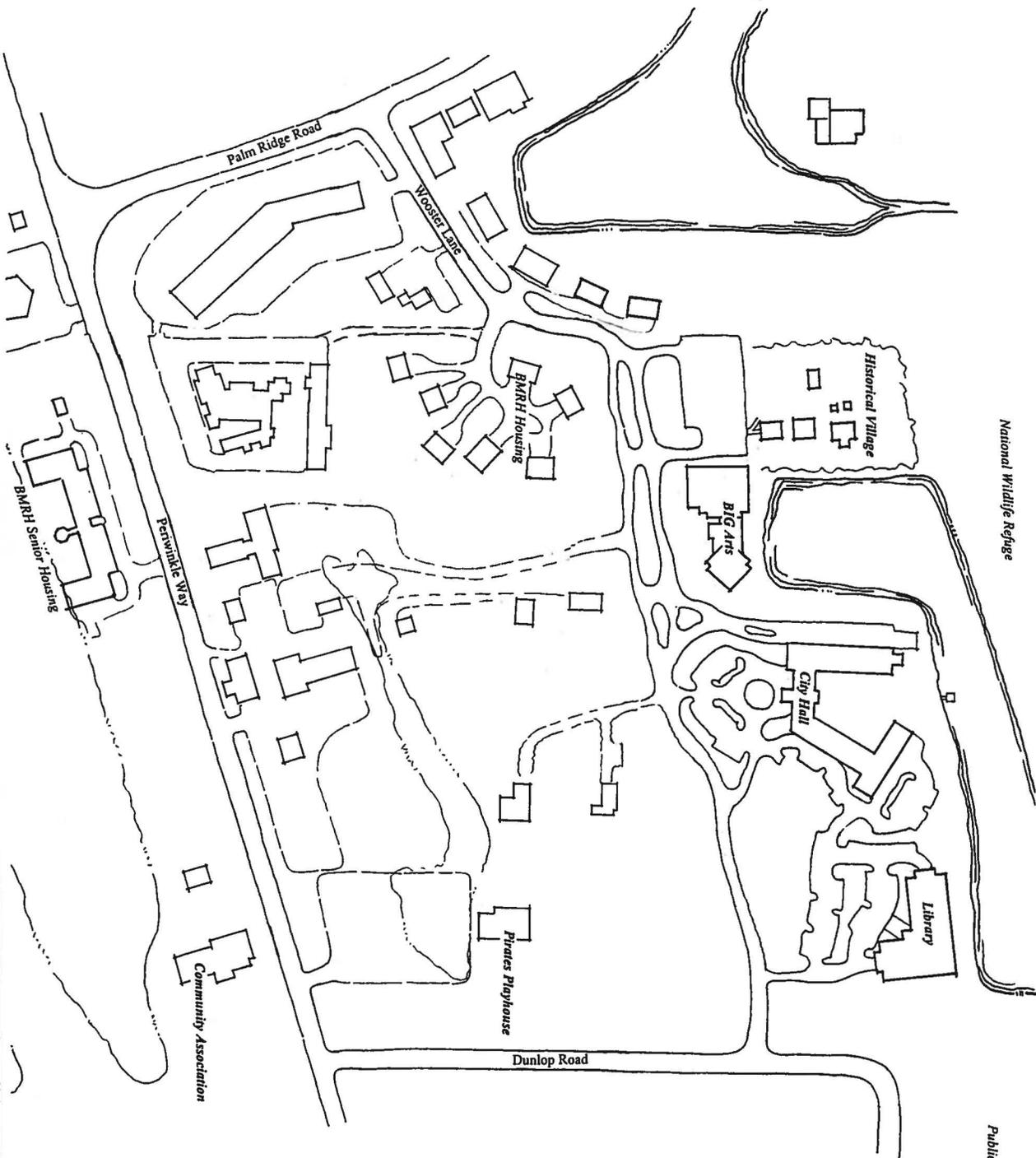


Updated by the Planning Department 6-6-00

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| DESIGNER    |        |         |
| CHECKED     |        |         |
| DATE        |        |         |
| SCALE       |        |         |
| PROJECT NO. |        |         |

**WRT** Wallace Roberts & Todd  
Architects, Landscape Architects, Urban & Regional Planners

# SANIBEL TOWN CENTER

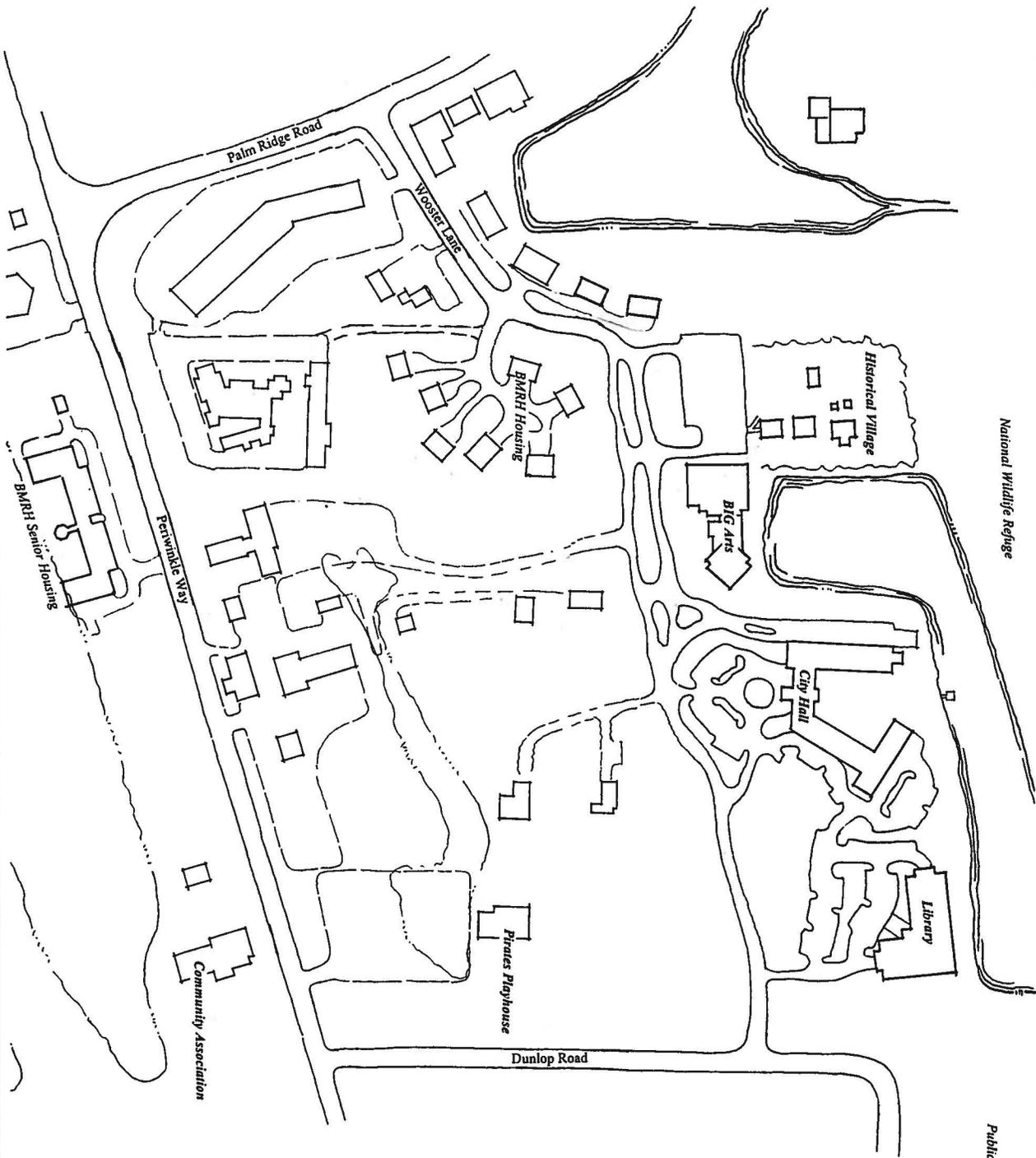


Updated by the Planning Department 6-6-00

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**WRT** Wallace  
Roberts &  
Todd  
Architects, Landscape Architects, Urban & Ecological Planners

# SANIBEL TOWN CENTER



National Wildlife Refuge

Public Works

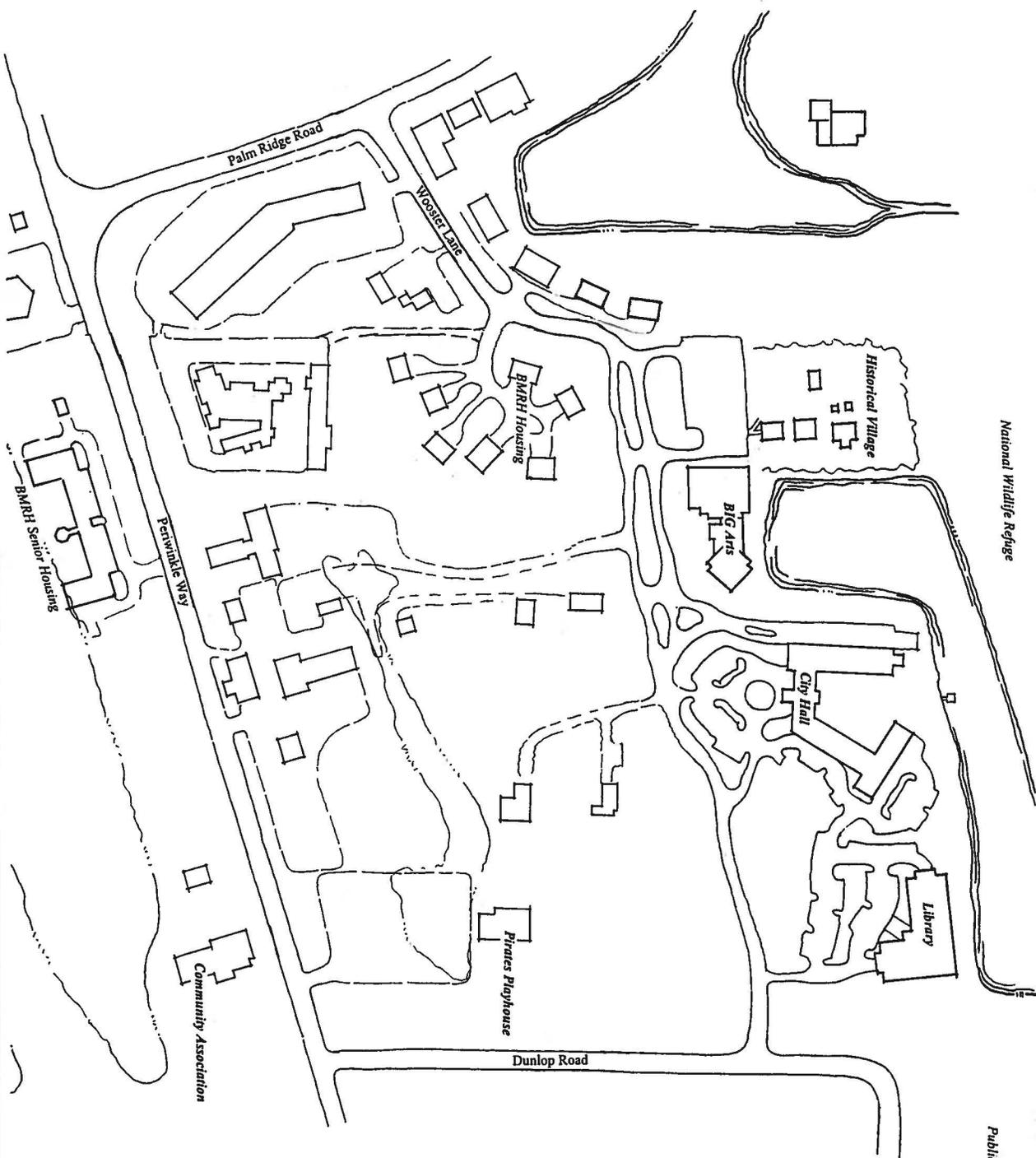


Updated by the Planning Department 6-6-00

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 Roberts &  
 Todd  
Architects, Landscape Architects, Urban & Ecological Planners

# SANIBEL TOWN CENTER

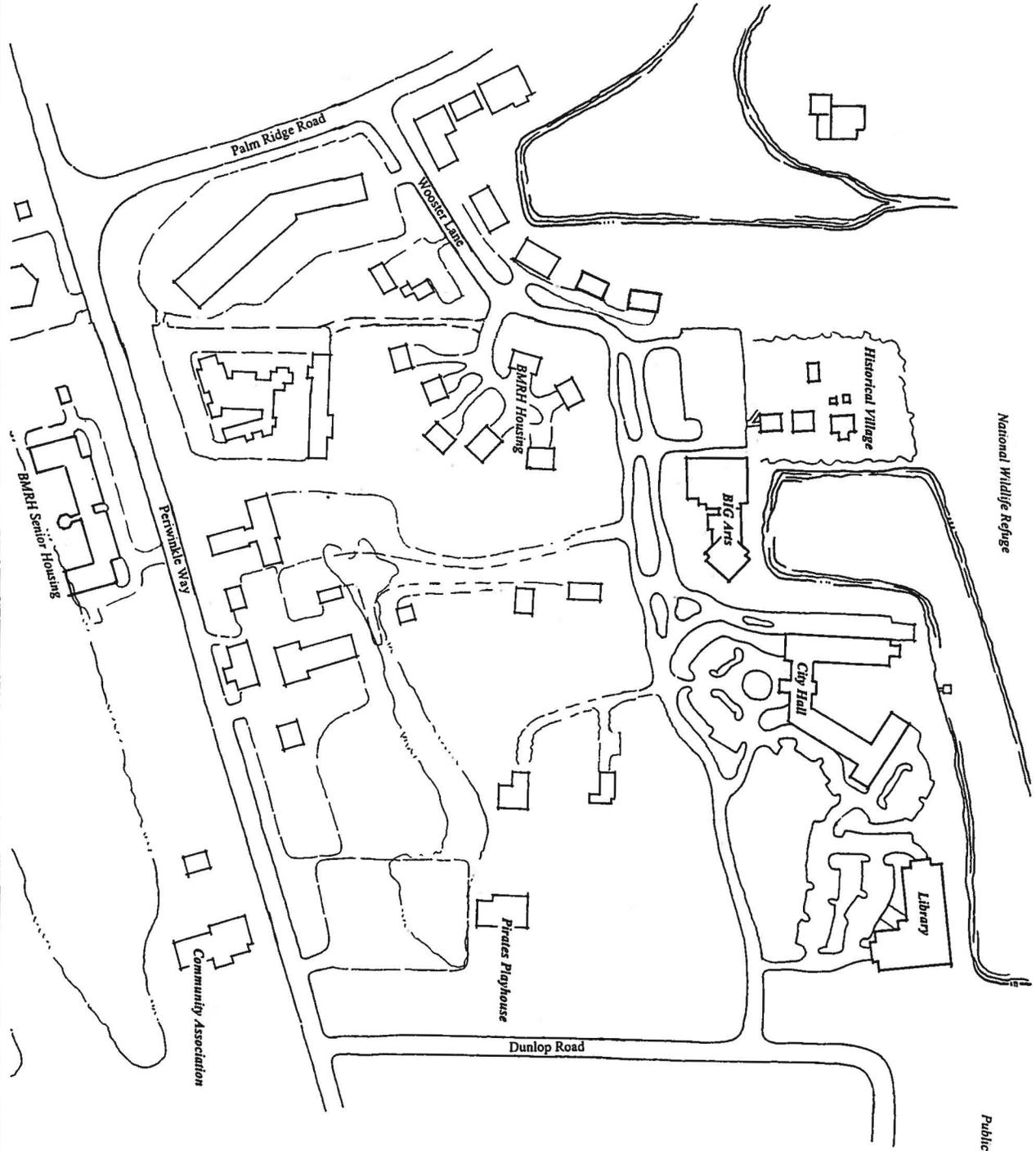


Updated by the Planning Department 6-6-00

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|  | PROJECT NO. _____                     |                       |                          |

**WRT** Wallace Roberts & Todd  
 ARCHITECTS, LANDSCAPE ARCHITECTS, URBAN & ENVIRONMENTAL PLANNERS

# SANIBEL TOWN CENTER

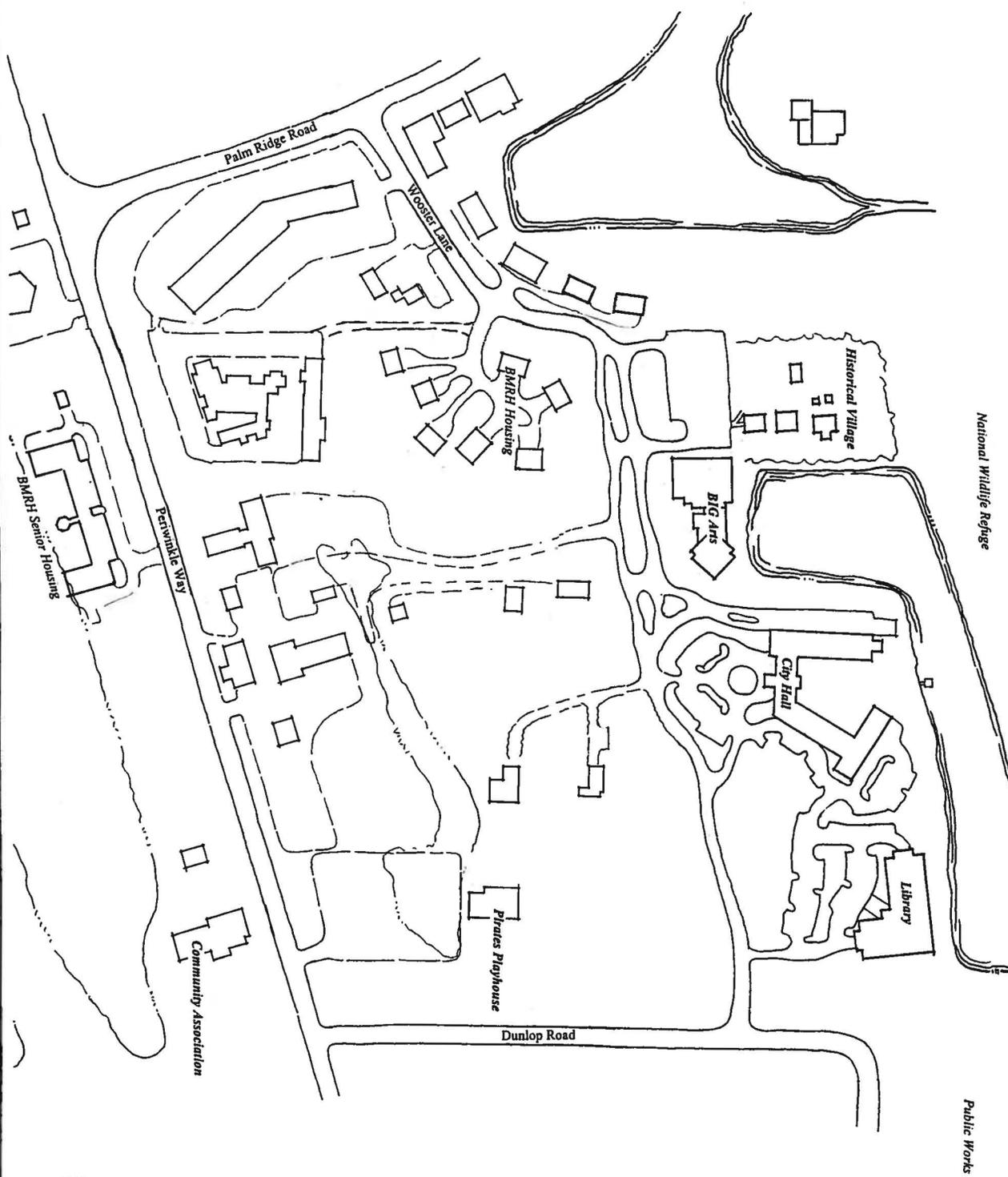


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**WRT** Wallace Roberts & Todd  
 Architects, Landscape Architects, Urban & Ecological Planners

# SANIBEL TOWN CENTER

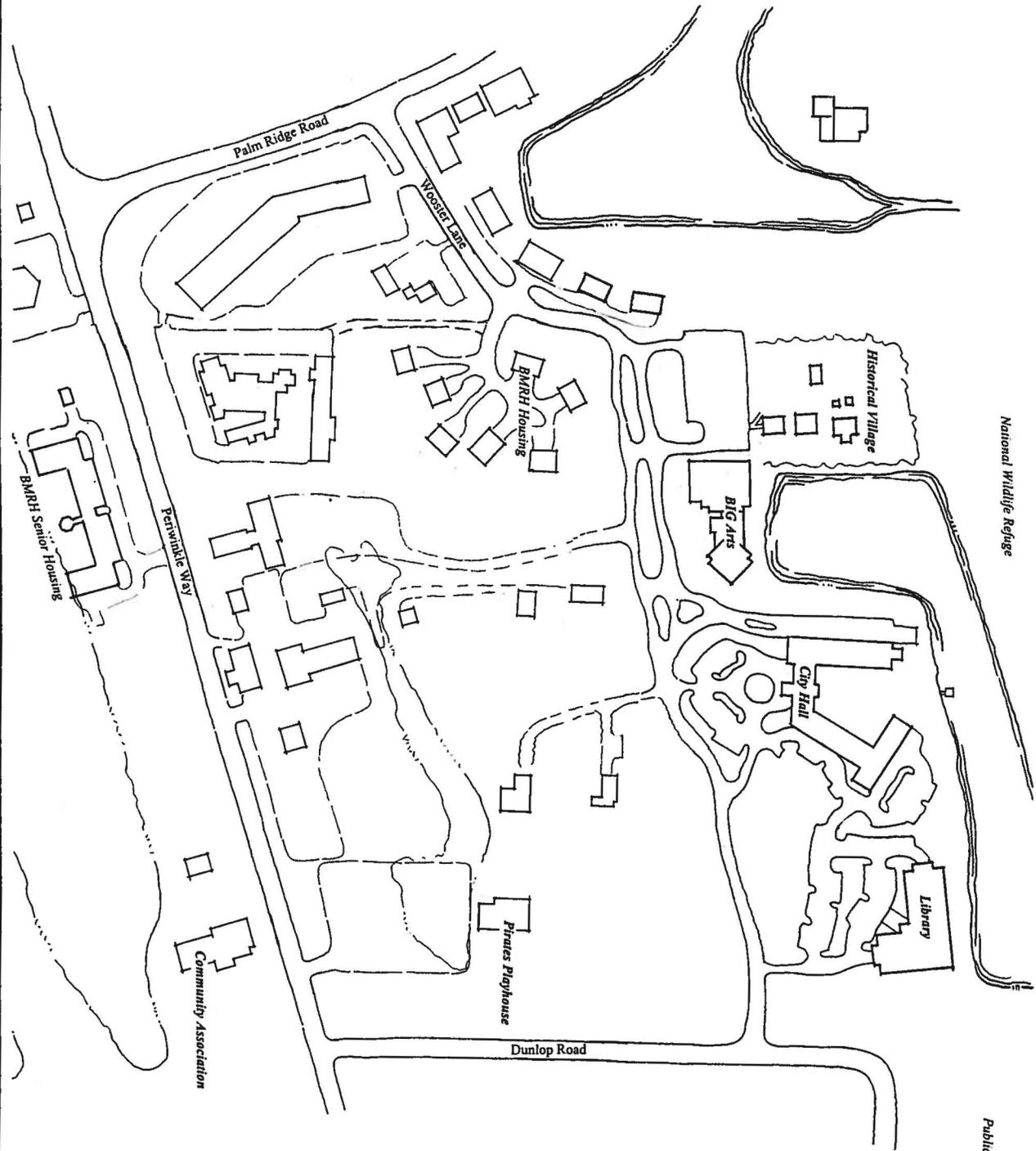


Updated by the Planning Department 6-6-00

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|  | DATE   | BY                     | REVISION |          |         |     |                        |
| 9/16/74  | WRT  | 1 <sup>st</sup> = 200' |          |          |         |     |                        |
| <p>1" = 200'</p>   |  |                        |          |          |         |     |                        |

**WRT**  
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 Roberts &  
 Todd  
 Architects, Landscape Architects, Urban & Environmental Planners

# SANIBEL TOWN CENTER



National Wildlife Refuge

Public Works

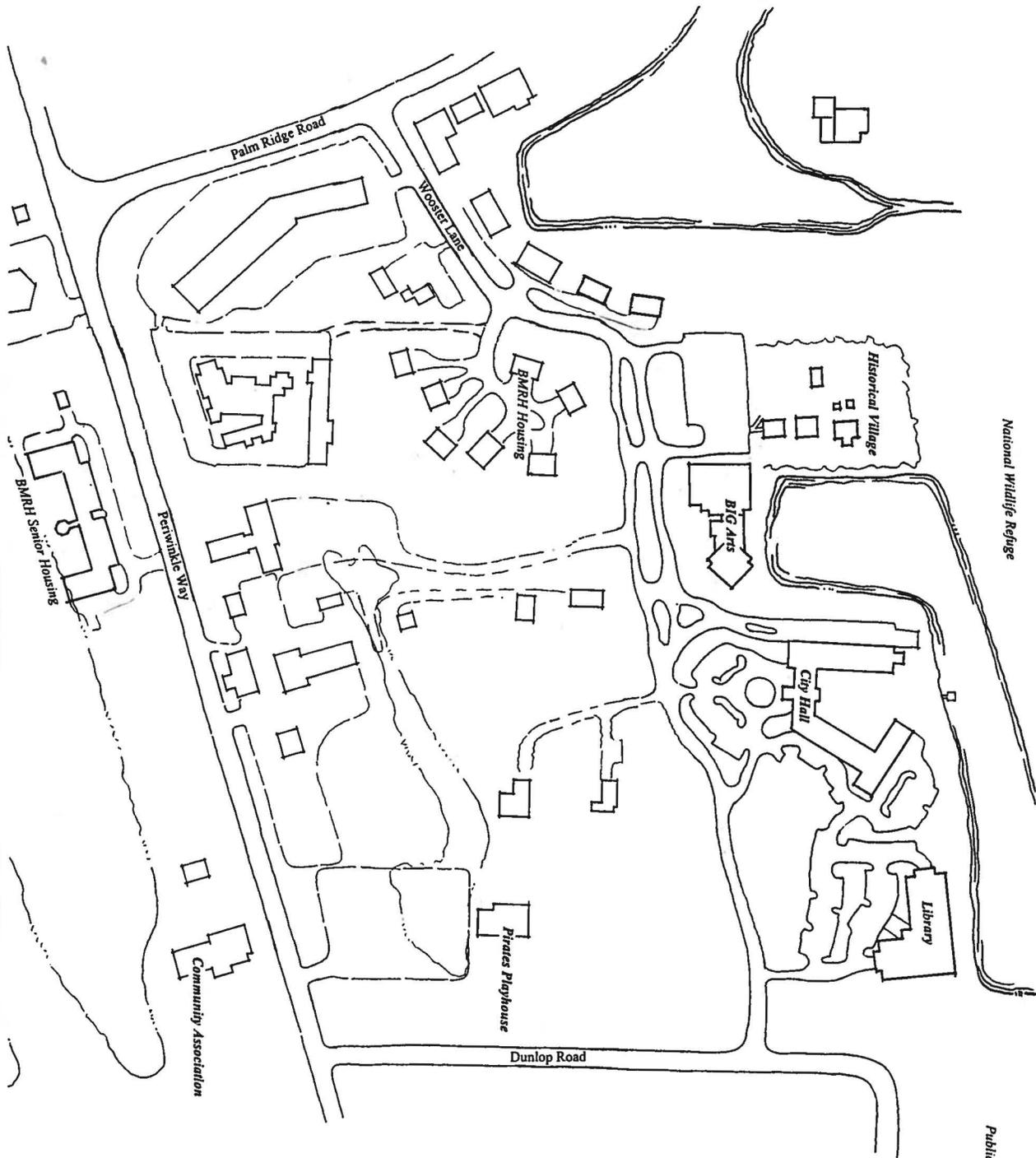


Updated by the Planning Department 6-6-00

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# SANIBEL TOWN CENTER



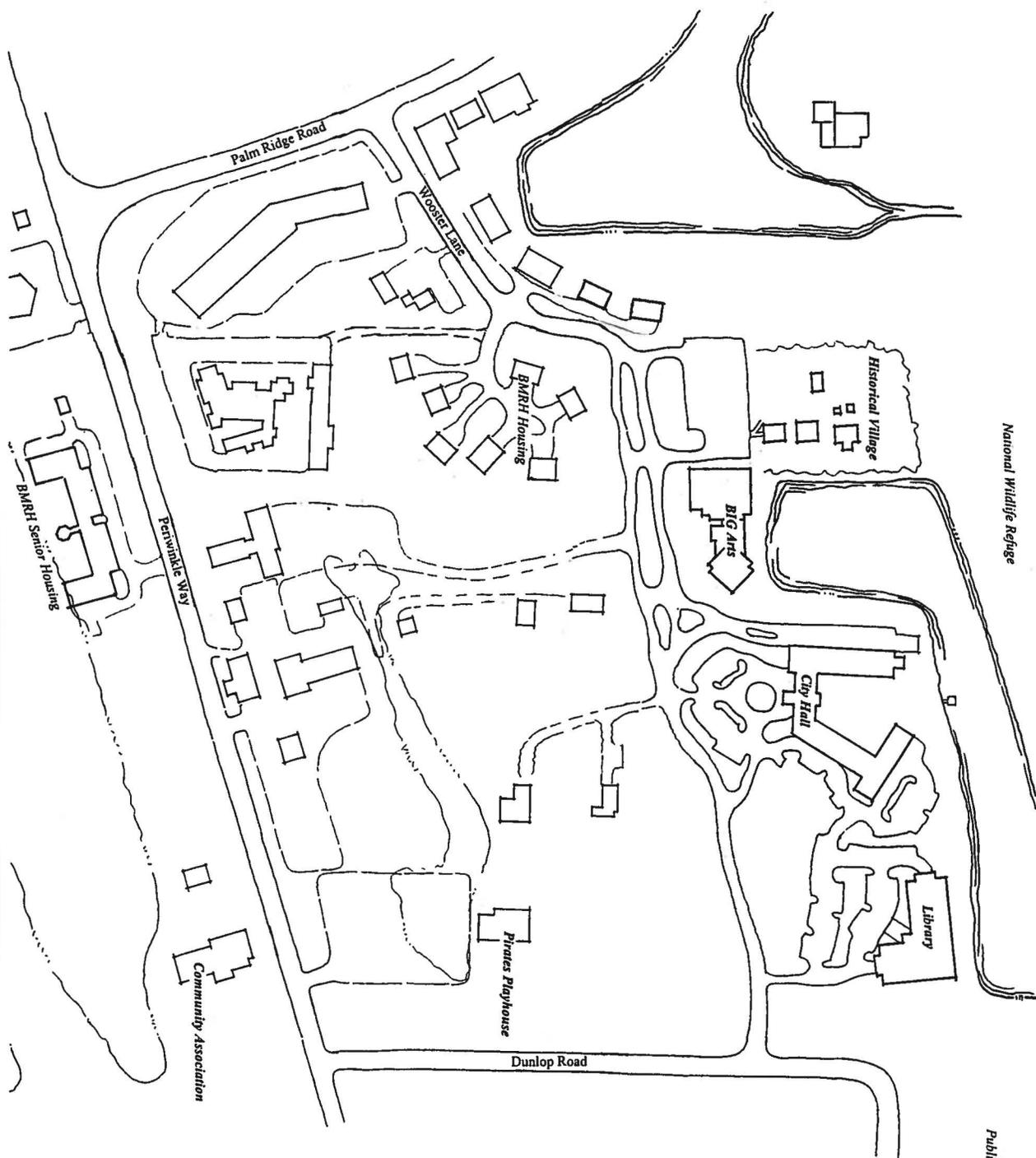
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 Wallace  
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 Todd  
Architects, Landscape Architects, Urban & Ecological Planners

# SANIBEL TOWN CENTER



National Wildlife Refuge

Public Works

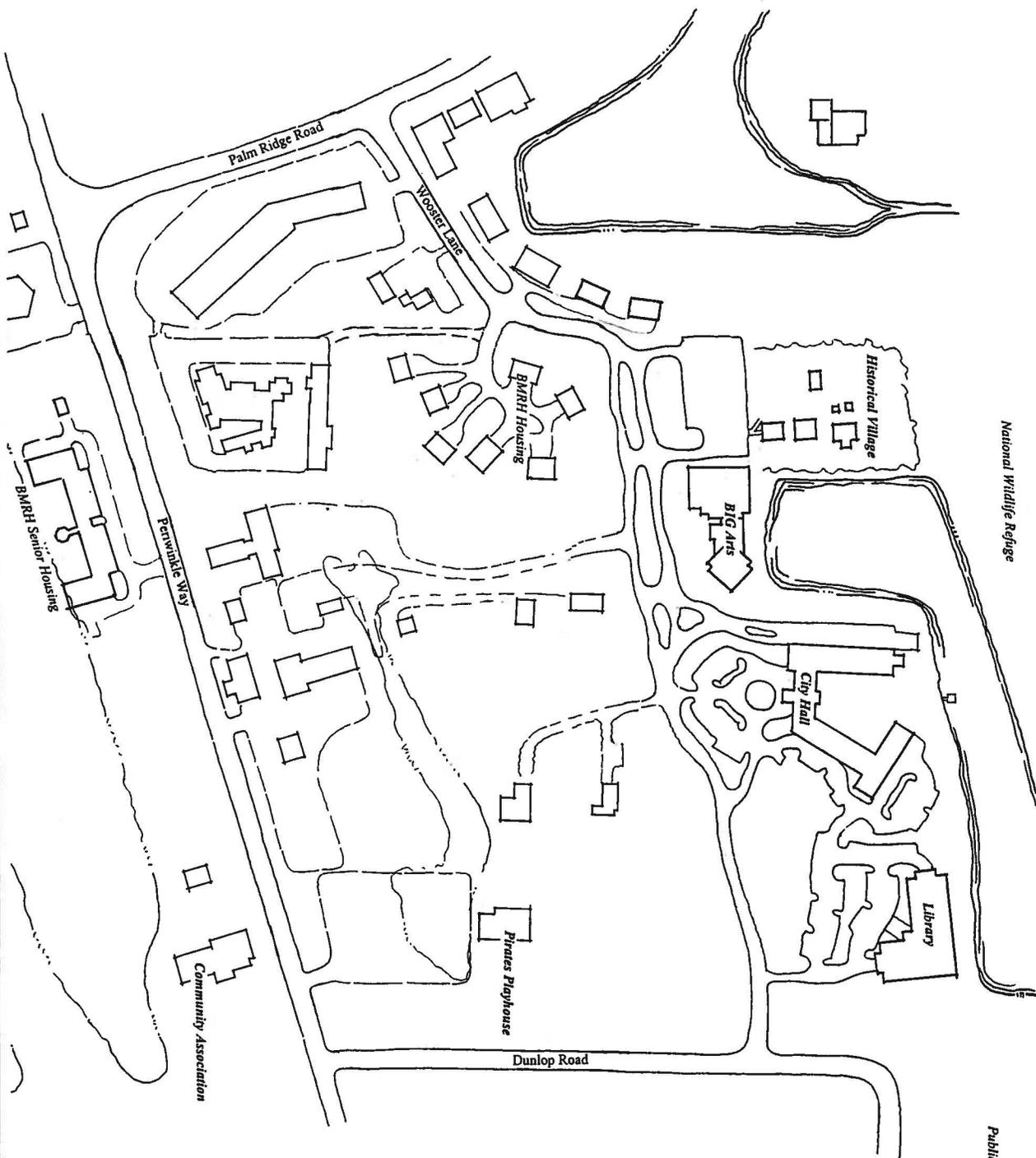


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**WRT** Wallace Roberts & Todd  
Architects, Landscape Architects, Urban & Regional Planners

# SANIBEL TOWN CENTER

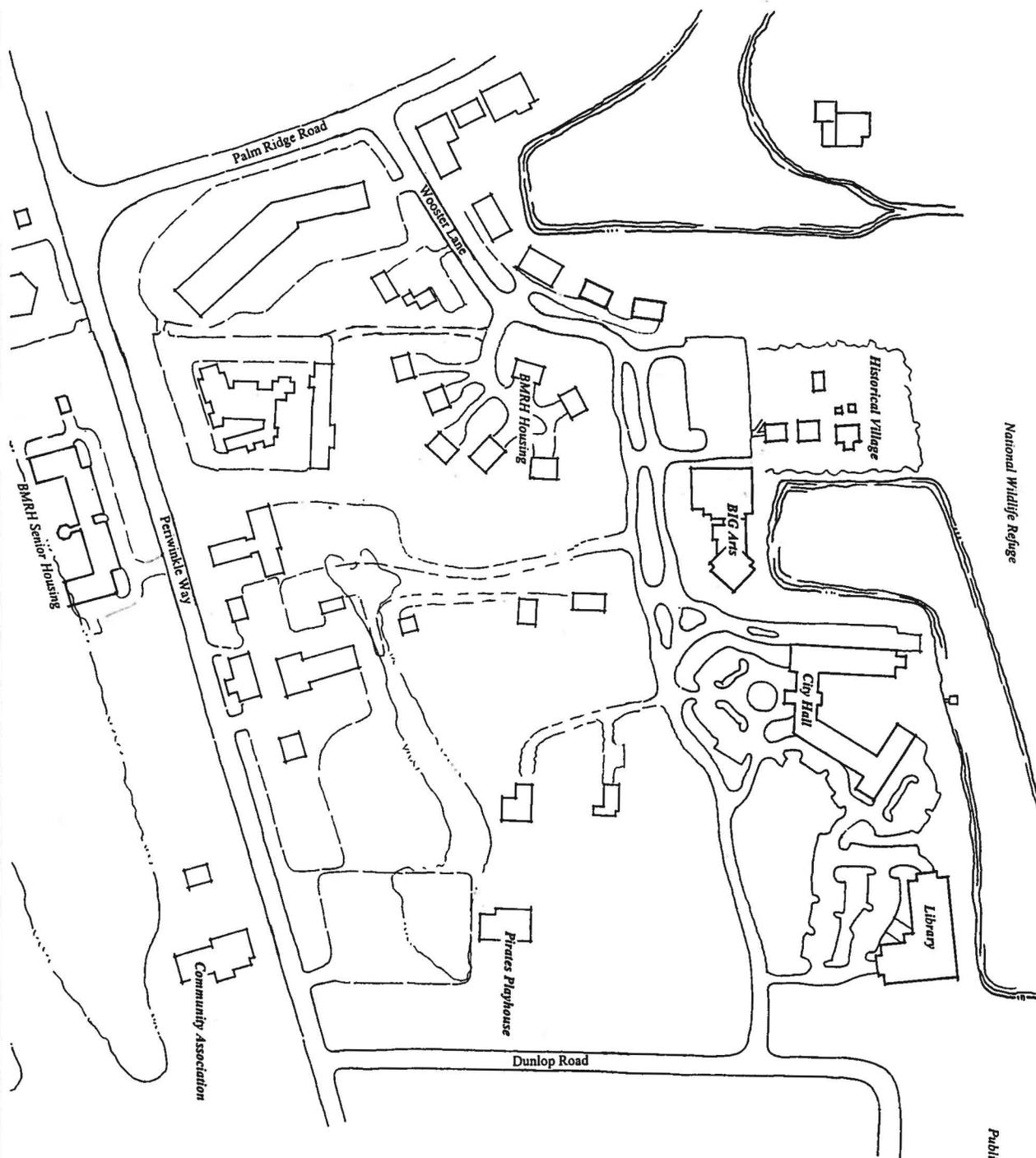


Updated by the Planning Department 6-6-00

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**WRT** Wallace Roberts & Todd  
 Architects, Landscape Architects, Urban & Ecological Planners

# SANIBEL TOWN CENTER

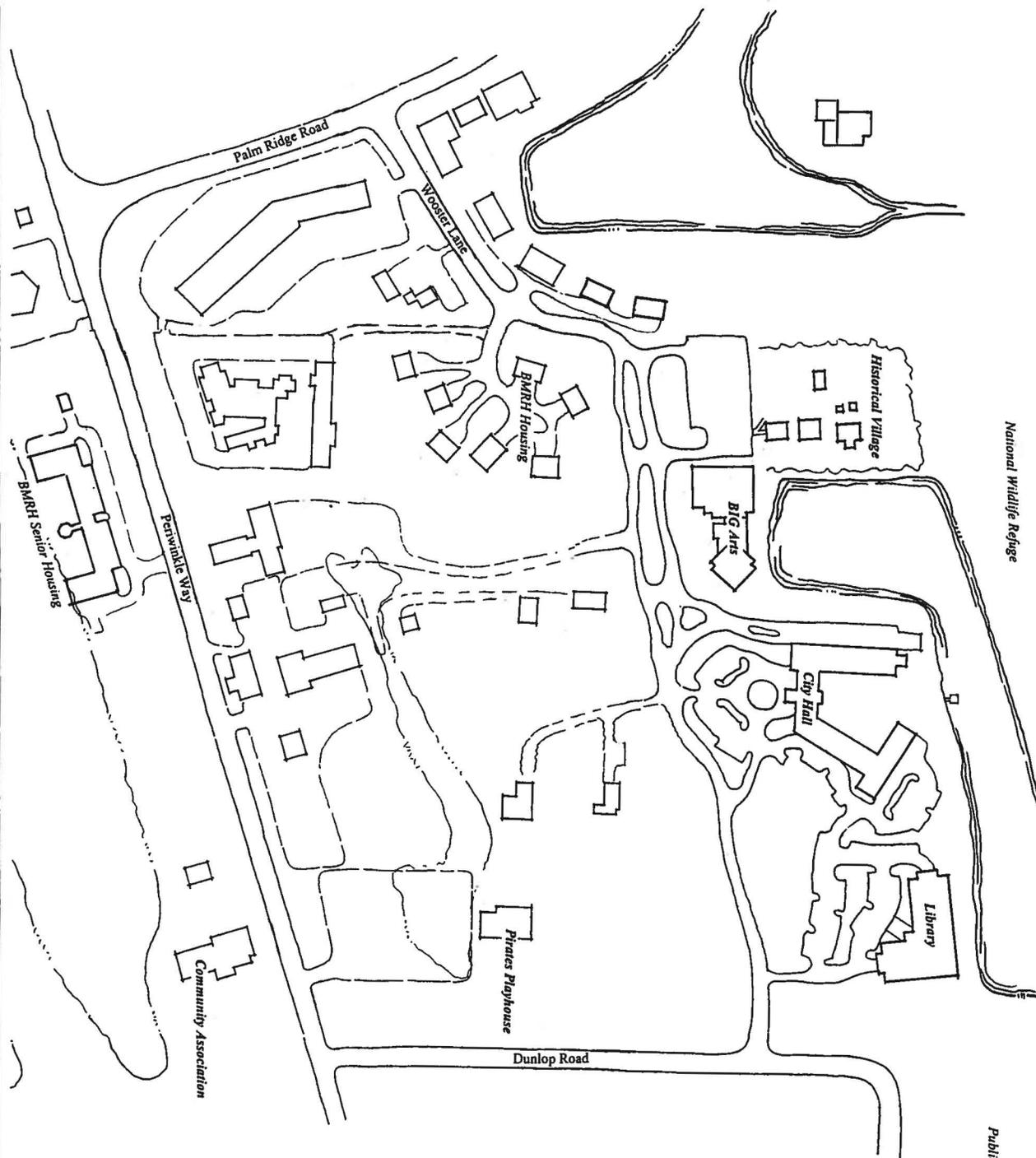


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| Drawn by    |           |
| Checked by  |           |
| Approved by |           |

**WRT** Wallace Roberts & Todd  
 Architects, Landscape Architects, Urban & Regional Planners

# SANIBEL TOWN CENTER



National Wildlife Refuge

Public Works

BMRH Senior Housing

Periwinkle Way

Community Association

Pirates Playhouse

Dunlop Road

Historical Village

BIG Arts

City Hall

Library

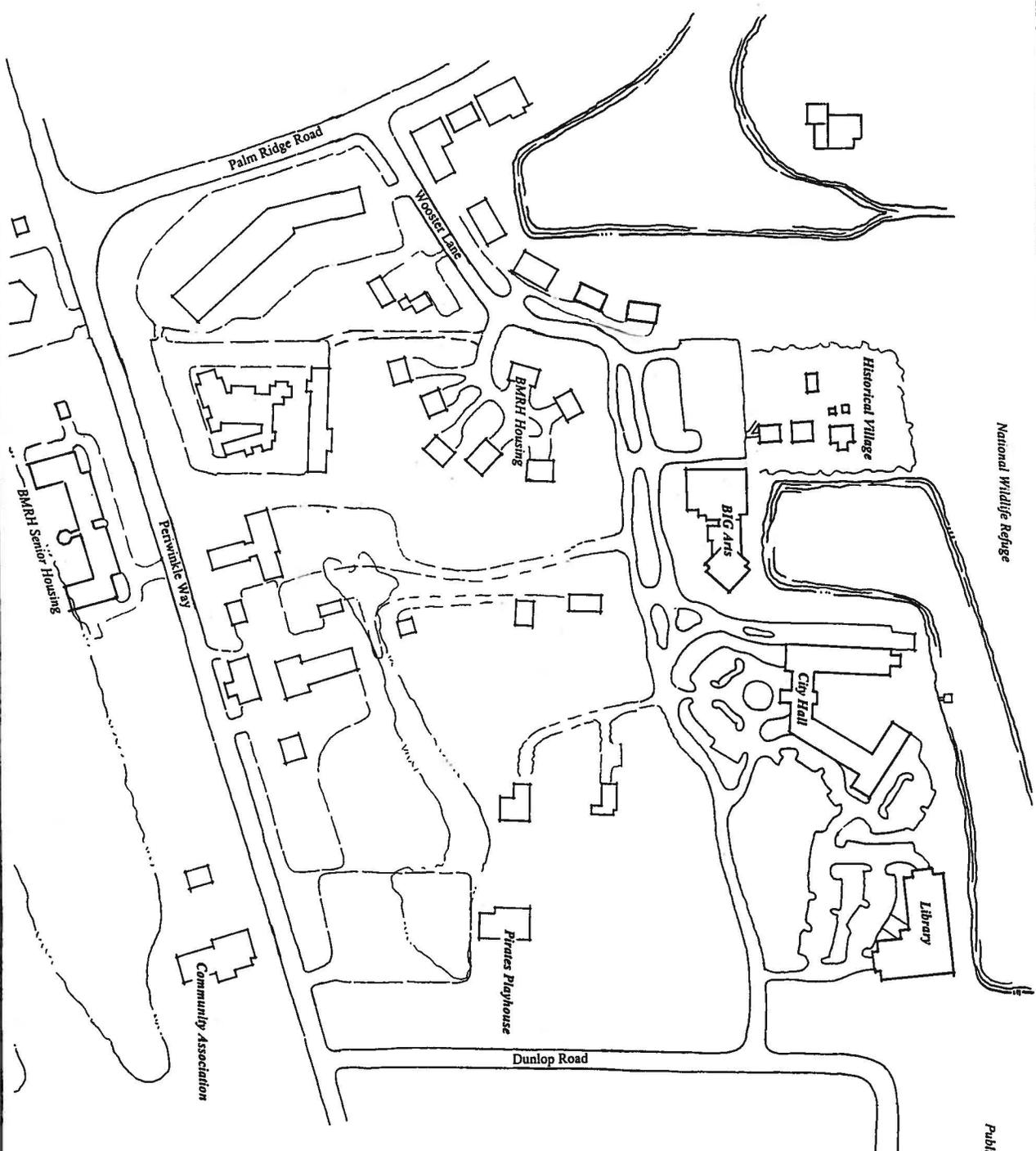


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|           | 9/25/00               |
| Author    | WRT                   |
| Checked   | Wesley Roberts & Todd |
| Drawn     | Wesley Roberts & Todd |
| Project   | Sanibel Town Center   |

**WRT**  
Wesley Roberts & Todd  
Architects, Landscape Architects, Urban & Ecological Planners

# SANIBEL TOWN CENTER

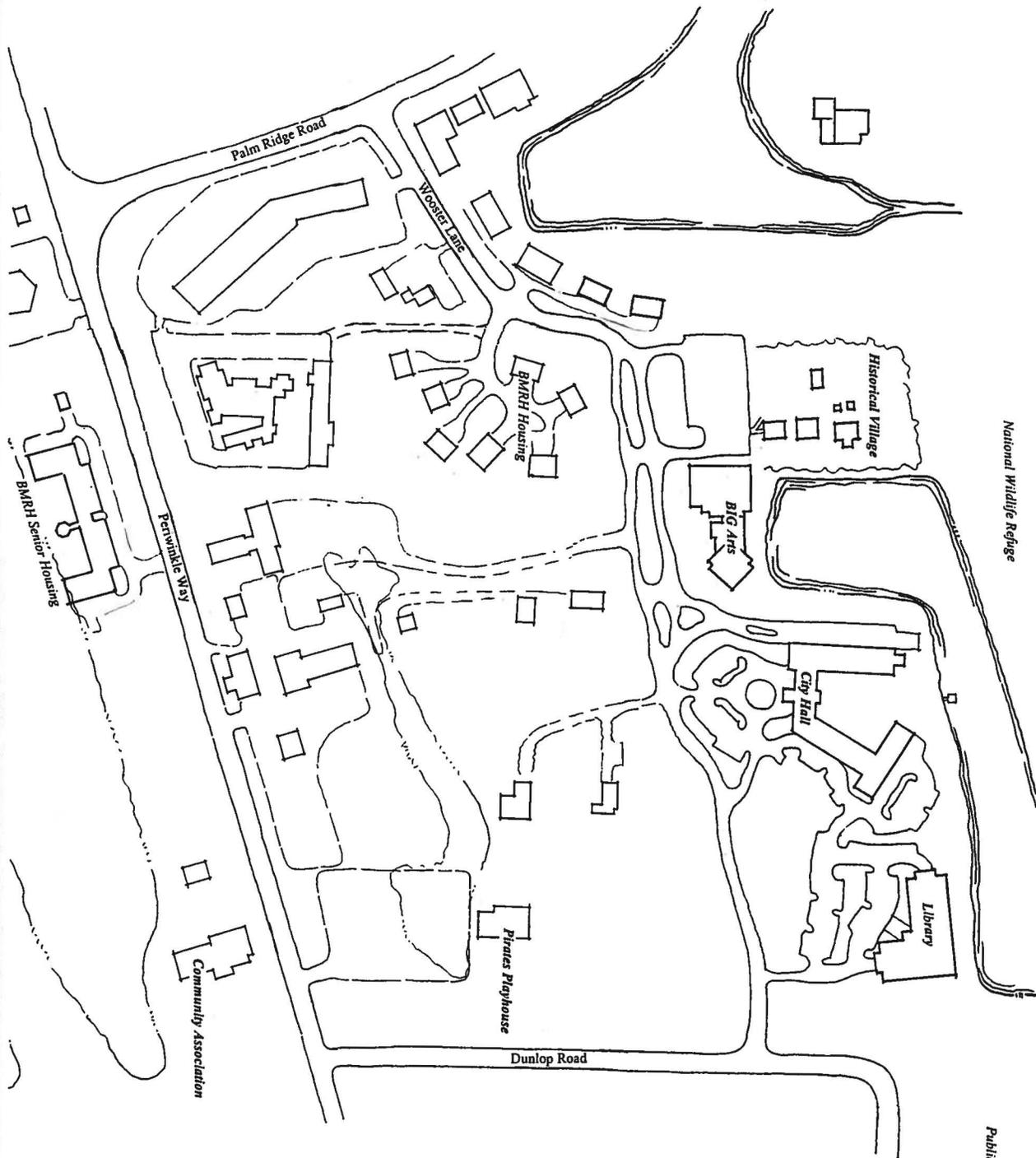


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**WRT** Wallace  
Roberts &  
Todd  
Architects, Landscape Architects, Urban & Environmental Planners

# SANIBEL TOWN CENTER



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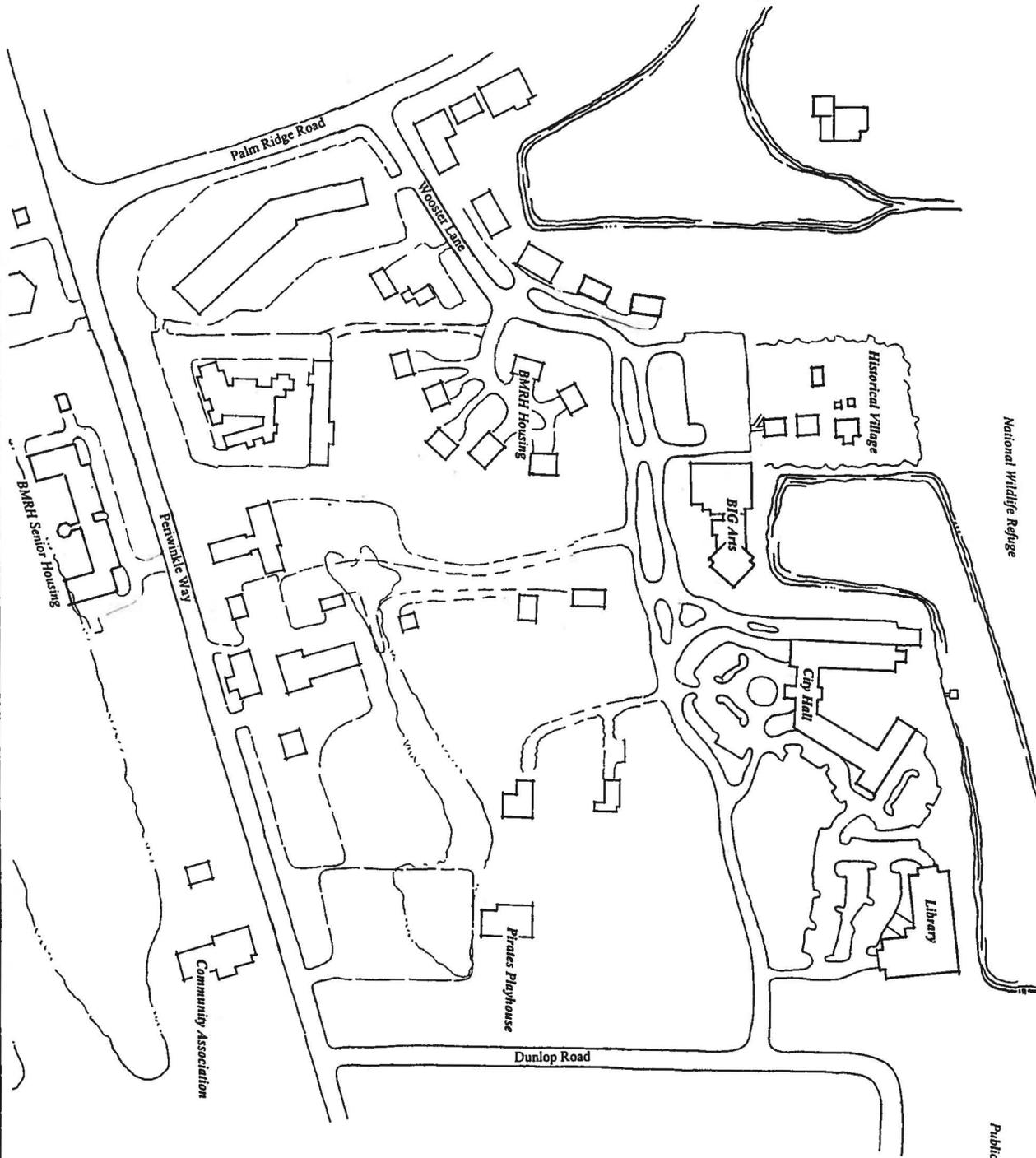


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| 1         |          |      |       |       | 1"=200' |

1"=200'

**WRT** Wallace Roberts & Todd  
Architects, Landscape Architects, Urban & Ecological Planners

# SANIBEL TOWN CENTER

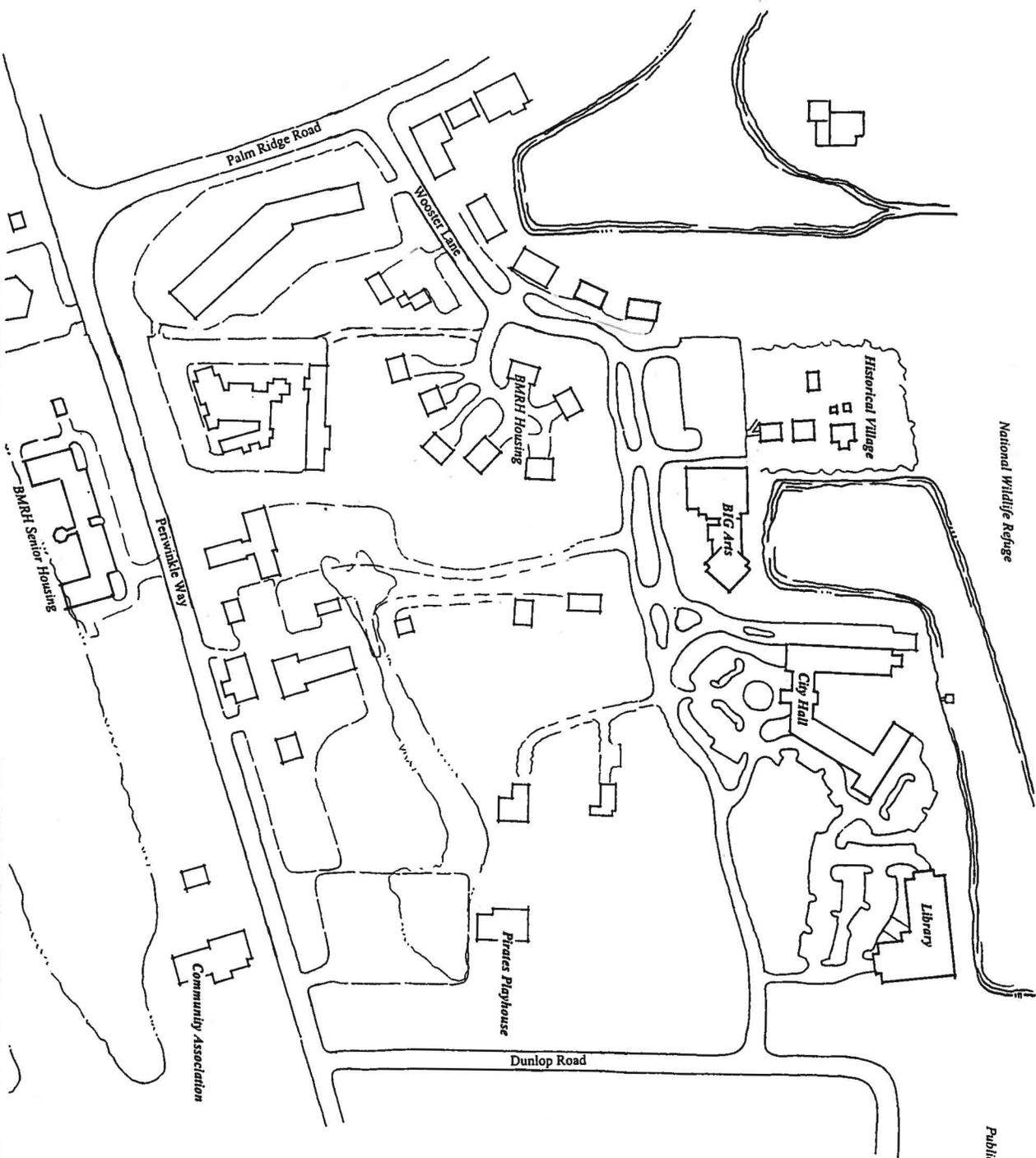


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| scale     | 1"=200' | author   |      |             |

**WRT** Wallace  
Roberts &  
Todd  
Architects, Landscape Architects, Urban & Environmental Planners

# SANIBEL TOWN CENTER



National Wildlife Refuge

Public Works

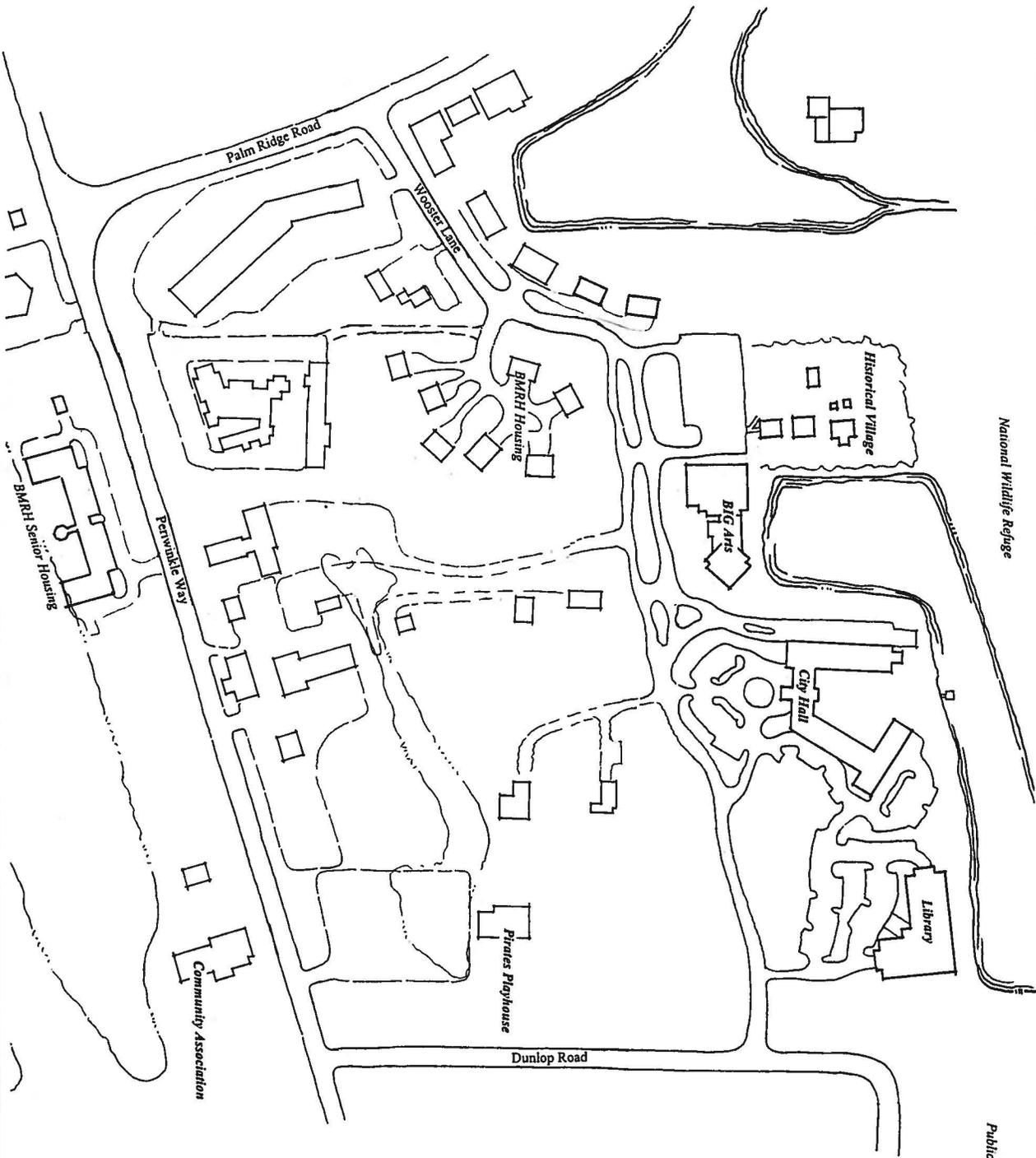


Updated by the Planning Department 6-6-00

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**WRT** Wallace  
Roberts &  
Todd  
Architects, Landscape Architects, Urban & Regional Planners

# SANIBEL TOWN CENTER

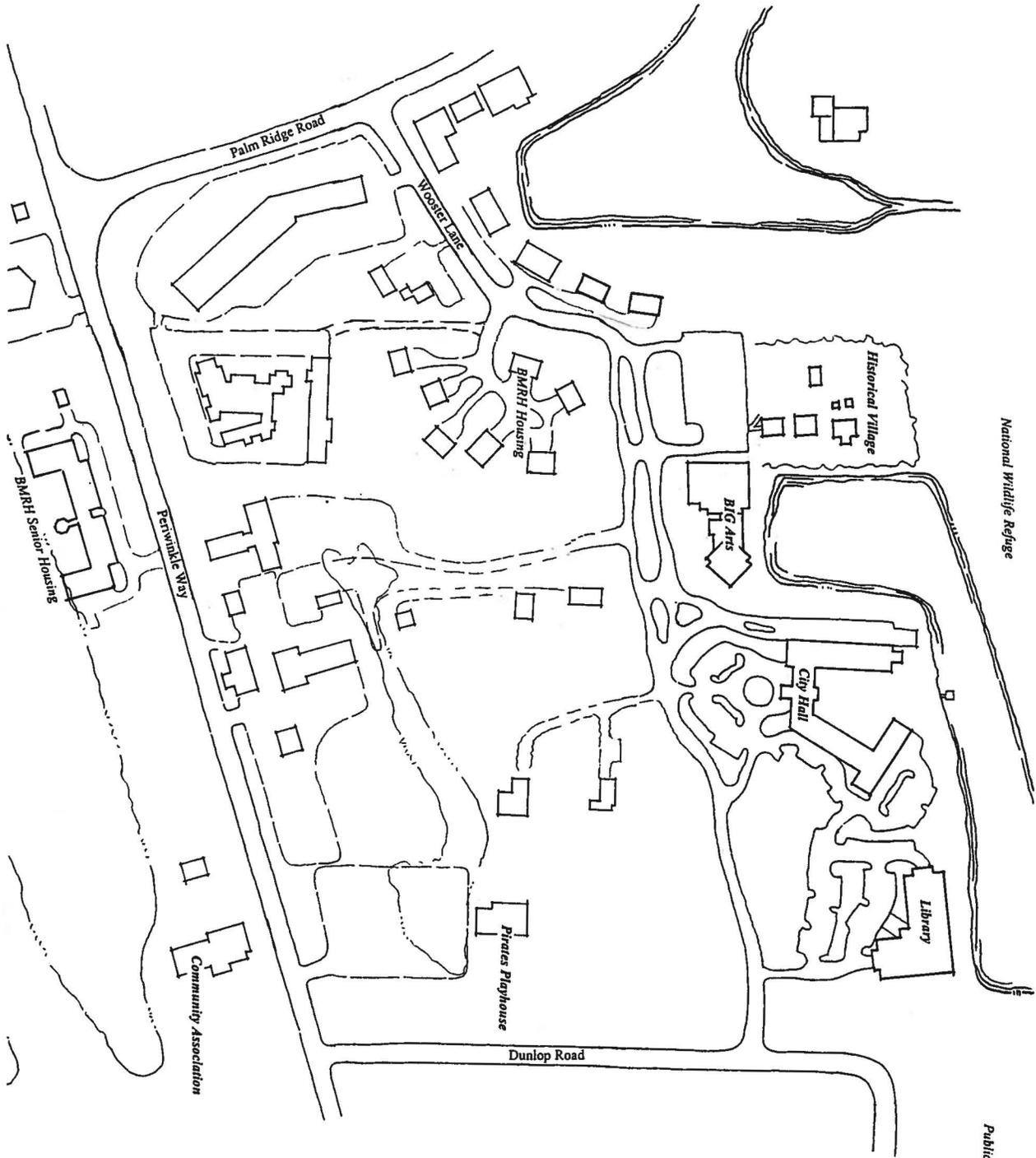


Updated by the Planning Department 6-6-00

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|  |           |          | 4/20/96 | 1" = 200' |             |

**WRT** Wallace  
Roberts &  
Todd  
Architects, Landscape Architects, Urban & Environmental Planners

# SANIBEL TOWN CENTER



BMRH Senior Housing

Penwinde Way

Community Association

Pirates Playhouse

Dunlop Road

BMRH Housing

Big Arts

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Library

Historical Village

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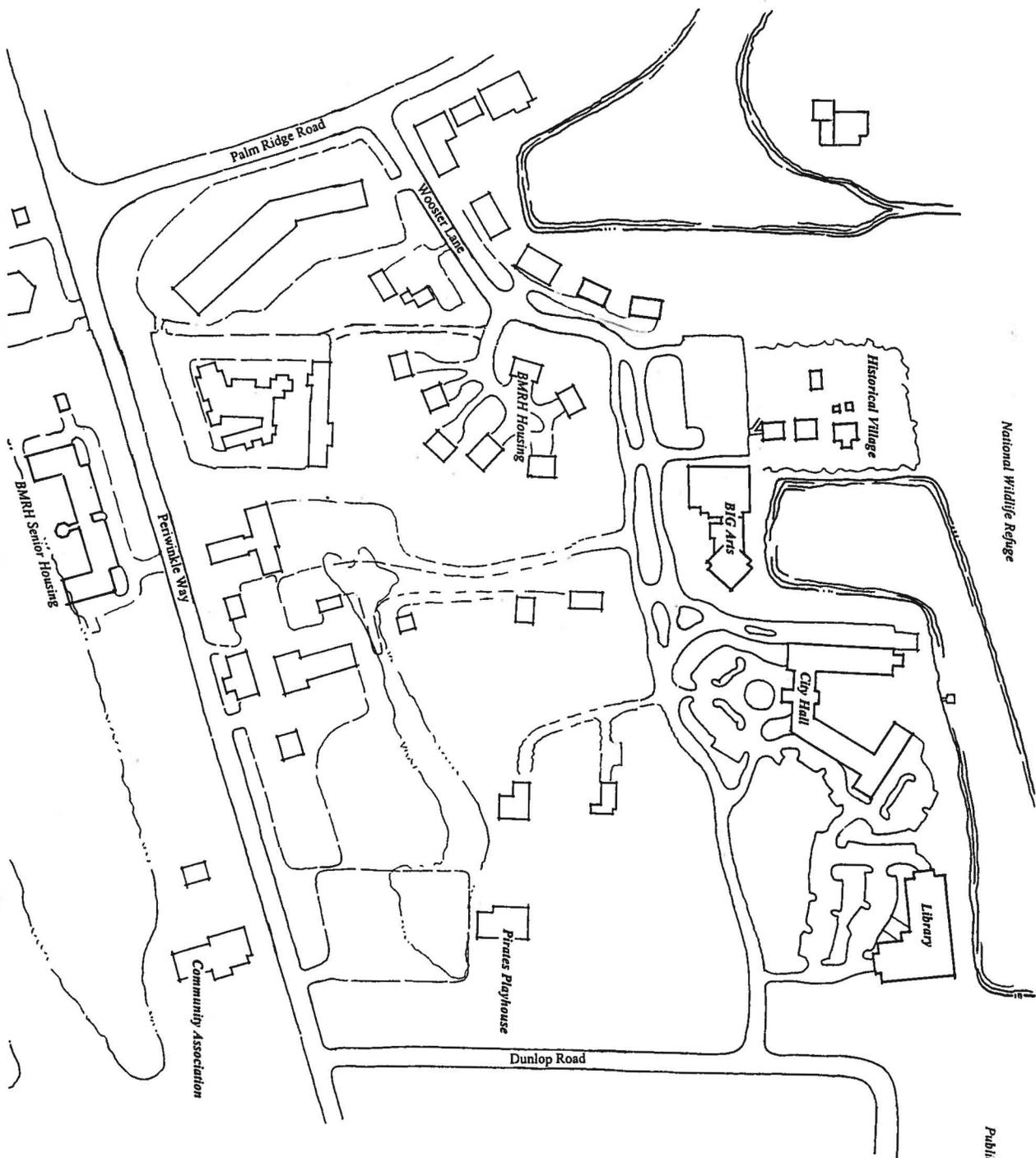


Updated by the Planning Department 6-6-00

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| Author      | WRT                    | Checked  |         |
| Designer    | Wallace Roberts & Todd | Reviewed |         |
| Project No. |                        | Approved |         |

WRT Wallace Roberts & Todd

# SANIBEL TOWN CENTER



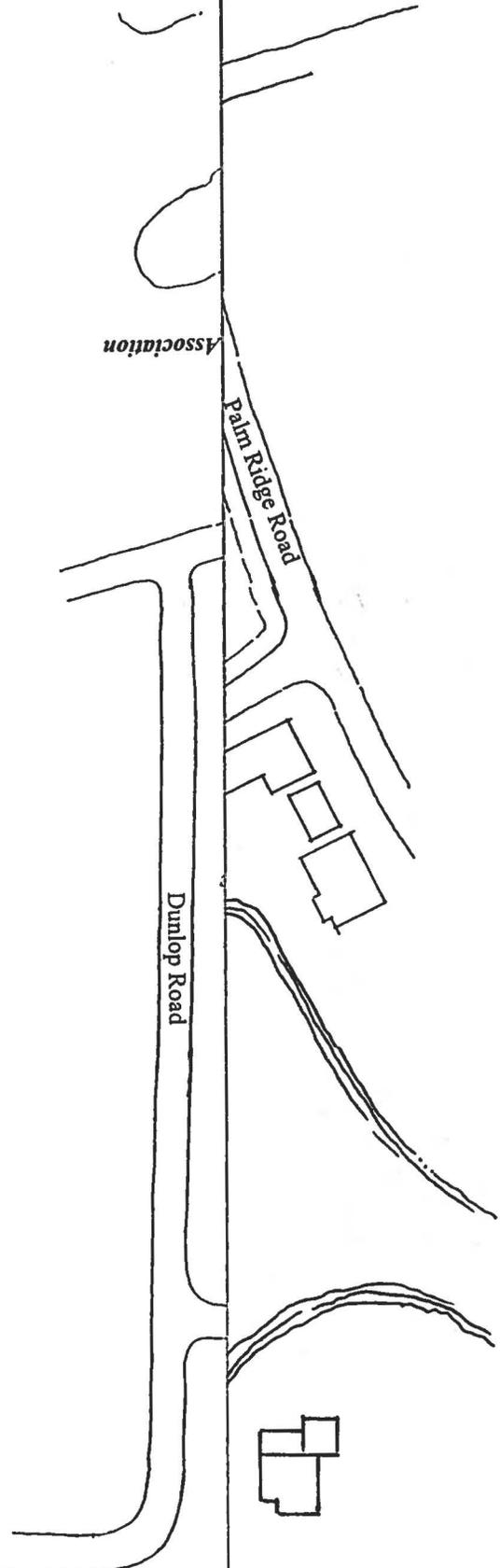
Updated by the Planning Department 6-6-00



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**WRT** Wallace  
Roberts &  
Todd  
Architects, Landscape Architects, Urban & Environmental Planners

# SANIBEL TOWN CENTER



Sanibel Association

Palm Ridge Road

Dunlop Road

Public Works



Updated by the Planning Department 6-6-00

|  |           |           |         |           |  |                            |
|--|-----------|-----------|---------|-----------|--|----------------------------|
|  | Sheet No. | Revisions | Date    | Scale     | <b>WRT</b><br>Wallace<br>Roberts &<br>Todd<br><small>Architects, Landscape Architects, Urban &amp; Economic Planners</small> | <b>SANIBEL TOWN CENTER</b> |
|  |           |           | 9/26/96 | 1" = 200' |  |                            |